



# City of Rohnert Park

## Facility Condition Assessment

Final Report



October 17, 2022

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# City of Rohnert Park

## Executive Summary

### Background

The City of Rohnert Park authorized Kitchell to conduct a series of Facility Condition Assessments (FCA) of 62 facilities that are owned by the City. The intent of the assessments is to obtain complete building and property deficiency evaluations, propose corrective and maintenance recommendations, and prepare budget estimates for the corrective work for each facility. The findings will be used as a basis for developing a strategy to implement short term and long-term necessary repairs, alterations, and improvements over the next ten years.

### Assessment Methodology

In assessing the condition of all the facilities, Kitchell's team of Facilities Condition Assessment (FCA) professionals identified those items in need of repair, retrofit or replacement necessary to preserve the existing facilities and enhance the safety and longevity of the facilities for the next ten years. Budget estimates were developed for observed deficiencies and were categorized with priority groups ranging from "Immediate" to "Potential". Deficiencies identified as "Informational" do not have an associated cost, and therefore were not included in the budget estimate.

The methodology used in this assessment included a visual non-destructive inspection of the facilities using ASTM standards (ASTM E2018-08) and industry best-practices checklists; interviews with maintenance personnel; analysis based on the available documentation (original and as-built drawings, precedent studies, reports and documents). Observed physical deficiencies at each facility were assigned a budget-level construction correction estimate.

Elements that were observed and assessed included those in the following broad categories. Confirmation of compliance with local, state and federal codes and with the Americans with Disabilities Act was not a part of the FCA.

### Site Elements

Visual examinations of the parking lot and grounds at each facility were conducted. The systems included grading, drainage, slope stabilization, protection, and erosion control. The parking lots were observed for pavement, striping, curbs, gutters and sidewalk damage, and obvious access barriers. Landscaping, retaining walls, perimeter fences, gates, recreational facilities and play fields were also inspected.

### Architectural Elements

Visual examinations of roof materials, flashings, penetrations, skylights and other appurtenances on the roofs were conducted. Exterior walls, windows and doors were examined for irregularities, structural damage, and wear. Interior finishes were observed for deficiencies and wear.

### Mechanical/Electrical/Plumbing/Fire Sprinkler Risers/Fire Alarm Systems Assessment

Visual examination of mechanical, electrical, and plumbing to determine condition and remaining useful life. Electrical systems reviewed included power distribution, lighting systems and fire alarm. Mechanical systems reviewed included HVAC, plumbing fixtures, visible waste and vent lines, pumps and motors, and sprinkler system adequacy.

### Life Safety Hazards

During the course of the site walk-through surveys, Kitchell immediately notified the City of any life safety hazards observed at the facilities.

One life safety hazard was identified and has been addressed.

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## Evaluation and Findings

The assessment prioritized observed physical deficiencies and recommendations into six categories. These priorities are a recommendation of when the deficient condition should be addressed. This is based on the best judgment that was made at the time of inspection and only on the condition of the system or building component. Observations weigh in on the defined industry standard useful life as referenced by the Building Owners and Managers Association (BOMA) and the American Society of Heating, Refrigerating, and Air-Conditioning Engineers (ASHRAE) recommendations. The prioritization categories are defined in the Priority Glossary included at the end of this section.

## Total Deficiency Cost

The total deficiency cost is the deficiency cost adjusted by a general construction factor, city cost index, non-construction cost and escalation. The general construction cost (1.4) includes the estimating contingency, general conditions, overhead and profit and insurance and bonds. The City cost index (1.192) is a compensation for cost variation by geographical location. The non-construction cost (1.3) includes architect/engineer fees, construction management, local client administration, permits, testing, etc. Escalation is calculated with an 8% cost increase within the first priority grouping and a 5% increase for each subsequent priority. Escalation accounts for the anticipated market increase calculated by in-house construction estimators.

## Facility Condition Index

The Facility Condition Index (FCI) is an industry standard asset management tool which measures the “constructed asset’s condition at a specific point in time” (US Federal Real Property Council, 2008). It is a functional indicator resulting from an analysis of operational indicators to obtain an overview of a facility’s condition as a numerical value.

The FCI number is obtained by aggregating the total cost of any needed or outstanding repair, renewal or upgrade requirement at a facility compared to the current replacement value of the facility components. The FCI describes the relative state of the physical condition of a facility versus a new facility with identical program and compliance with all current code requirements

The *Capital Renewal Cost* is the sum of the capital improvement costs for an assessed facility. Escalation is not factored into the anticipated capital improvement costs. The Capital Renewal cost assumes all identified deficiencies are addressed at time of the report and therefore do not require escalation as the costs indicate current market estimates. Failure to make timely capital replacements in buildings leads to increased costs of repair, often (28%) higher every five years than if planned replacements occur as indicated by our escalation factors.

The *Replacement Cost* is the current replacement cost of the facility at time of reporting. The Replacement Cost is based on Kitchell’s experience designing and constructing similar facilities and includes the following: estimating contingency, general conditions, overhead/profit, insurance, bonds, construction contingency, architect/engineer fees, construction management, permit, City administration, etc.

## Condition Index Grade

The Condition Index Grade Chart relates the FCI score to a grade level and to the potential impacts of the deficiencies. The narrative provides current industry standard subjective benchmarks indicating condition ratings for facilities with various FCI ranges. A letter grade, “A”, “B”, “C” or “D” has been added as a benchmark associating the facility’s condition with its respective FCI range.



## Facility Condition Index and Impact to Component Failure Risk and Staff

<b>Common Implications of FCI to Asset Portfolios</b>				
<b>FCI Grade</b>	<b>Impact to Facilities and Components</b>	<b>Examples of Component Issues</b>	<b>User Complaints and Morale</b>	<b>Maintenance Personnel Impact</b>
Grade A Good (FCI 0 to 0.04)	Facilities will look clean and functional. Limited and manageable component and equipment failure may occur.	Repairs and replacement are more of an aesthetic or general nature, such as wall painting, carpet replacement, roof repair, window caulking.	User complaints will be low and manageable. User morale will be positive and evident.	Facilities personnel time will be devoted to regular scheduled maintenance.
Grade B Fair (FCI 0.05 to 0.10)	Facilities will begin to show signs of wear. More frequent component and equipment failure will occur.	Repairs and replacement of specific systems, i.e. boiler, window replacements, interior renovations are required.	User complaints will occur with higher level of frequency. User morale may be affected.	Facilities personnel time may at times be diverted from regular scheduled maintenance.
Grade C Poor (FCI 0.11 to 0.30)	Facilities will look worn with apparent and increasing deterioration. Frequent component and equipment failure may occur. Occasional building shut down will occur.	Replacement of specific major systems are required, such as heating and plumbing systems, complete interior renovations, building envelope restoration. Shut down may affect users (i.e. roof or pipe leakage).	User complaints will be high with increased level of frequency. Concern about negative user morale will be raised and become evident.	Facilities personnel time will likely be diverted from regular scheduled maintenance and forced to “reactive” mode.
Grade D Critical (FCI over 0.31)	Facilities will look worn with obvious deterioration. Equipment failure will occur frequently. Occasional building shut down will likely occur. Management, health and safety risks are high.	Replacement of multiple systems required (i.e. mechanical, electrical, architectural and structural). Building heating system failure. Evacuation due to unaddressed roof leakage. Structural issues including envelope replacement.	User complaints will be very high with an unmanageable level of frequency. Lack of maintenance will affect user attitudes and morale.	Facilities personnel will not be able to provide regular scheduled maintenance due to high levels of “reactive” calls.

## Priority Glossary

Priority	Description	Explanation
1	Immediate - Short Term	Conditions in this category require immediate action to: a) correct a cited safety hazard, b) stop accelerated deterioration, and/or c) return a facility to operation. Deficiencies in this category should be addressed in 0-12 Months. The Escalation Factor in this category is 8%.
2	Crucial - Short Term	Conditions in this category, if not corrected expeditiously, will become critical within a year. Situations within this category include: a) intermittent operations, b) rapid deterioration, and c) potential life safety hazards. Deficiencies in this category should be addressed in Year 1-2. The Escalation Factor in this category is 13%.
3	Impending - Short Term	Conditions in this category require appropriate attention to preclude predictable deterioration or potential downtime and the associated damage or higher costs if deferred further. Deficiencies in this category should be addressed in Year 2-3. The Escalation Factor in this category is 18%.
4	Necessary - Long Term	Conditions in this category require long term consideration within Year 3-4. They include items that represent a sensible improvement to existing conditions. The Escalation Factor in this category is 23%.
5	Recommended - Long Term	Conditions in this category require long term consideration within Year 4-5. They include items that present a potential need in the future. The Escalation Factor in this category is 28%.
6	Planning - Long Term	Conditions in this category require long term consideration within Year 6-10. They include items that present a planning need in the future. The Escalation Factor in this in this category is 33%.
7	Informational	Conditions in this category require long term consideration. They include improvements that will preclude predictable decline or potential downtime and the associated damage and higher costs if they are deferred further. Conditions in this category also include items that represent sensible improvements to existing conditions and enhancements to the educational environment. Items that will improve usability or reduce long-term maintenance are also included. Deficiencies in this category are related to: Facility systems and components that will exceed the industry standard useful life; Facility systems and components modifications and improvements; Facility interior finishes improvements and replacements; Facility envelope elements improvements and replacements; Deficiencies in this category may also include items or systems which have exceeded their expected industry standard useful life; however, due to proper maintenance, they remain in good operational condition and should continue to function as required well beyond their useful service life. No estimate is provided for this priority condition.

## Industry Standard Useful Life - Architectural

Equipment	Industry Standard Useful Life Years	Industry Standard
2-Ply Modified Bitumen Roof		
Flat (Dead Level)	15	BOMA
Sloped (1/4 inch per foot)	20	BOMA
4-Ply Built-Up Roof		
Cold Tar	35	BOMA
Flat Asphalt (Dead Level)	18	BOMA
Sloped Asphalt (1/4 inch per foot)	25	BOMA
Modified Bitumen Roof		
Flat (Dead Level)	10	BOMA
Sloped (1/4 inch per foot)	15	BOMA
Singe Ply Roof		
EDPM Flat (Dead Level)	15	BOMA
EPDM Sloped(1/4 inch per foot)	20	BOMA
Thermoplastic(Hypalon, PVC)	20	BOMA

## Industry Standard Useful Life - Mechanical

Equipment	Industry Standard Useful Life Years	Industry Standard
Above Ground Tank	25	ASHRAE
Air Compressor	15	BOMA
Base Mounted Pumps	20	ASHRAE
Commercial AC Unit	10	BOMA
Condenser	15	BOMA
Electric Boiler	15	ASHRAE
Fan	15	ASHRAE
Furnace	18	ASHRAE
Gas Water Heater	15	BOMA
Heat pumps	15	BOMA
Pipe Mounted Pumps	15	ASHRAE
Sinks	30	BOMA
Sprinkler System	20	BOMA
Steel Boiler	24	ASHRAE
Tanks	25	BOMA
Urinals	30	BOMA
Vents	20	ASHRAE

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## Industry Standard Useful Life - Electrical

<b>Equipment</b>	<b>Industry Standard Useful Life Years</b>	<b>Industry Standard</b>
Battery	5	BOMA
Electric Motor	18	ASHRAE
Emergency Generator	20	BOMA
Fire Alarm	10	BOMA
Panel Boards	30	BOMA
Switch	25	BOMA
Transformers	30	BOMA
Switchboard	20	BOMA

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## Summary Charts

The Capital Renewal Costs By Priority Table, included in the report, is a summary of the anticipated capital renewal, replacement cost and current facility condition for the assessed facility. The cost represents the anticipated capital improvement expenditures by individual building and priority period. All detailed information related to these costs for the building can be found within the remaining sections of this report. In addition, Kitchell has provided a total renewal cost for each building, if the City were to address the improvements today or after 6 years.

## Conclusion

The table on the following page summarizes the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation. The percentages indicate the total cost percentages of recommended associated costs by priority and indicate when major costs will occur.

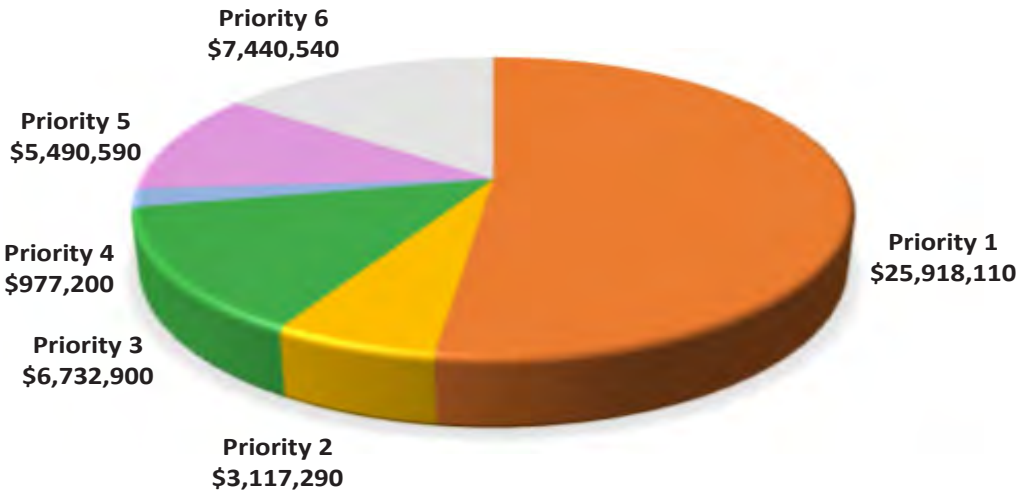
Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

## City of Rohnert Park Facility Condition Assessment

Capital Renewal Costs by Priority									
Building	Current Renewel Cost	Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total*	
		8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation		
Animal Shelter	\$1,618,920	\$666,580	\$1,360	\$298,790	\$0	\$747,320	\$217,530	\$1,931,580	
Benicia Pool Buildings and Restroom	\$281,500	\$26,990	\$233,990	\$41,160	\$0	\$10,280	\$8,730	\$321,150	
Boys and Girls Club (Benicia Park) Lease	\$850,550	\$277,470	\$14,430	\$185,610	\$7,320	\$506,050	\$29,720	\$1,020,600	
Burton Recreation	\$1,431,270	\$728,060	\$970	\$10,550	\$24,180	\$931,600	\$0	\$1,695,360	
Burton Recreation Storage Building	\$53,560	\$0	\$60,550	\$0	\$0	\$0	\$0	\$60,550	
Callinan Sports & Fitness Center	\$2,660,580	\$2,120,820	\$29,340	\$565,330	\$30,470	\$78,610	\$140,840	\$2,965,510	
City Hall	\$2,446,100	\$877,590	\$706,060	\$814,260	\$266,830	\$111,610	\$19,460	\$2,795,810	
Community Center	\$2,659,170	\$1,407,140	\$132,530	\$558,600	\$0	\$703,280	\$287,840	\$3,089,390	
Girl Scout Hut - Alicia Park	\$374,360	\$147,600	\$87,680	\$104,890	\$0	\$0	\$94,890	\$435,060	
Gold Ridge Admin Building	\$841,940	\$851,550	\$60,470	\$0	\$0	\$0	\$0	\$912,020	
Gold Ridge Recreation Center	\$2,040,480	\$850,390	\$134,170	\$1,199,330	\$0	\$142,690	\$8,730	\$2,335,310	
Golf Course Club House	\$883,550	\$556,230	\$0	\$0	\$0	\$206,020	\$276,180	\$1,038,430	
Golf Course Pro Shop, Snack Bar and Cart Barn	\$924,970	\$899,470	\$6,730	\$25,640	\$0	\$82,670	\$0	\$1,014,510	
Honeybee Pool	\$386,510	\$251,400	\$92,730	\$0	\$0	\$76,100	\$16,310	\$436,540	
Ladybug Recreation Building	\$373,720	\$156,620	\$0	\$159,880	\$0	\$105,290	\$14,670	\$436,460	
Library (Lease)	\$3,135,410	\$1,900,490	\$86,960	\$264,510	\$0	\$25,200	\$1,403,270	\$3,680,430	
Magnolia Pool Building and Restroom	\$336,850	\$241,240	\$60,560	\$0	\$0	\$0	\$79,730	\$381,530	
Park Restroom - Alicia Park	\$21,120	\$0	\$5,060	\$8,810	\$0	\$11,780	\$0	\$25,550	
Park Restroom - Alicia Park Ball Field	\$55,730	\$30,330	\$8,420	\$20,220	\$0	\$0	\$4,110	\$63,080	
Park Restroom - Benicia Ballfield	\$151,490	\$100,630	\$360	\$22,850	\$0	\$34,280	\$15,820	\$173,940	
Park Restroom - Colegio Vista Park /Concession	\$55,101	\$19,770	\$0	\$13,540	\$0	\$0	\$33,610	\$66,920	
Park Restroom - Dorotea Park	\$460	\$0	\$0	\$550	\$0	\$0	\$0	\$550	
Park Restroom - Eagle Park	\$64,170	\$4,910	\$43,840	\$24,600	\$0	\$0	\$0	\$73,350	
Park Restroom - Golis Park /Concession	\$66,040	\$20,430	\$0	\$25,840	\$0	\$0	\$11,900	\$58,170	
Park Restroom - Magnolia Park	\$70,020	\$51,560	\$720	\$2,650	\$0	\$0	\$25,850	\$80,780	
Park Restroom - Sunrise Park	\$53,740	\$15,120	\$15,890	\$12,710	\$0	\$0	\$19,870	\$63,590	
Park Restroom - Twin Creeks	\$23,340	\$740	\$0	\$2,980	\$0	\$590	\$26,180	\$30,490	
Public Safety Main	\$6,301,440	\$5,142,270	\$70,970	\$336,950	\$332,790	\$811,770	\$382,250	\$7,077,000	
Public Safety Main Fire Station 2 (Northern Station)	\$556,090	\$376,770	\$4,280	\$161,490	\$0	\$0	\$88,680	\$631,220	
Public Safety Main Fire Station 4 (Southern Station)	\$323,990	\$196,190	\$13,940	\$1,210	\$45,640	\$67,230	\$52,300	\$376,510	
Public Works Corporation Yard Shop	\$502,480	\$243,360	\$229,310	\$63,910	\$15,540	\$5,730	\$4,110	\$561,960	
Public Works Corporation Yard Warehouse	\$511,230	\$484,660	\$7,120	\$27,780	\$18,320	\$0	\$23,760	\$561,640	
Senior Center and Annex	\$2,009,830	\$1,347,440	\$43,340	\$180,720	\$65,230	\$91,800	\$593,490	\$2,322,020	
Sewer Pump Satation Lift Station I	\$114,000	\$56,590	\$6,800	\$0	\$0	\$0	\$73,960	\$137,350	
Sewer Pump Satation Lift Station II	\$155,980	\$1,232,440	\$20,160	\$129,550	\$0	\$0	\$287,070	\$1,669,220	
Sewer Pump Station - Maintenance Building	\$272,980	\$240,210	\$0	\$35,090	\$7,320	\$0	\$19,810	\$302,430	
Sewer Pump Station - Office	\$92,330	\$76,490	\$360	\$7,030	\$0	\$0	\$20,300	\$104,180	
Spreckels Performing Arts Center	\$4,463,440	\$2,946,400	\$6,040	\$48,540	\$5,660	\$469,700	\$1,752,190	\$5,228,530	
State Farm Building	\$1,104,480	\$593,600	\$297,390	\$203,510	\$0	\$121,750	\$32,130	\$1,248,380	
Tank 1	\$57,680	\$180	\$7,270	\$7,670	\$0	\$0	\$59,340	\$74,460	
Tank 2	\$108,840	\$21,930	\$9,440	\$36,730	\$5,500	\$0	\$59,340	\$132,940	
Tank 3	\$213,900	\$50,790	\$0	\$122,060	\$0	\$10,710	\$73,280	\$256,840	
Tank 4	\$164,180	\$27,890	\$7,950	\$101,670	\$0	\$0	\$60,130	\$197,640	
Tank 5	\$269,450	\$22,660	\$62,090	\$30,770	\$0	\$40,010	\$181,200	\$336,730	
Well 1	\$34,350	\$4,910	\$13,480	\$3,540	\$0	\$0	\$19,810	\$41,740	
Well 2	\$140,580	\$40,260	\$15,360	\$38,090	\$0	\$0	\$76,460	\$170,170	
Well 5	\$53,100	\$4,910	\$1,700	\$5,280	\$12,900	\$0	\$42,710	\$67,500	
Well 6	\$90,910	\$4,910	\$10,110	\$23,560	\$12,900	\$0	\$62,520	\$114,000	
Well 8-8a	\$79,110	\$5,470	\$0	\$19,570	\$0	\$13,420	\$62,520	\$100,980	
Well 10	\$82,560	\$4,910	\$20,160	\$3,190	\$0	\$0	\$76,460	\$104,720	
Well 12	\$42,590	\$34,680	\$0	\$12,370	\$0	\$0	\$0	\$47,050	
Well 14	\$67,960	\$0	\$0	\$0	\$0	\$13,420	\$76,460	\$89,880	
Well 15	\$53,360	\$37,260	\$3,400	\$18,730	\$0	\$0	\$0	\$59,390	
Well 22	\$79,840	\$8,230	\$0	\$29,770	\$0	\$0	\$62,520	\$100,520	
Well 29	\$105,180	\$0	\$3,640	\$41,120	\$12,900	\$12,360	\$62,520	\$132,540	
Well 31	\$35,850	\$0	\$11,850	\$0	\$0	\$0	\$33,750	\$45,600	
Well 34	\$84,480	\$52,430	\$11,960	\$0	\$0	\$13,420	\$19,810	\$97,620	
Well 35/Pump Station 3	\$155,900	\$17,750	\$4,050	\$0	\$0	\$0	\$180,750	\$202,550	
Well 41	\$101,110	\$21,340	\$11,780	\$9,820	\$6,340	\$32,480	\$42,710	\$124,470	
Well 42	\$135,860	\$0	\$11,850	\$26,540	\$0	\$13,420	\$122,960	\$174,770	
Copeland Creek at Commerce Blvd	\$26,830	\$0	\$3,060	\$4,230	\$25,280	\$0	\$0	\$32,570	
Copeland Creek at City Hall	\$137,580	\$92,460	\$48,380	\$10,820	\$0	\$0	\$0	\$151,660	
Copeland Creek at Seed Farm	\$495,080	\$1,960	\$27,850	\$517,680	\$36,810	\$0	\$0	\$584,300	
Copeland Creek at Railroad	\$51,970	\$0	\$52,430	\$6,590	\$0	\$0	\$0	\$59,020	
Copeland Creek at Snyder Lane	\$111,310	\$46,240	\$71,120	\$6,590	\$0	\$0	\$0	\$123,950	
Hinebaugh Creek at Commerce Blvd	\$21,100	\$0	\$0	\$0	\$25,970	\$0	\$0	\$25,970	
Hinebaugh Creek at Five Creek Intersection	\$80,360	\$46,240	\$3,060	\$36,910	\$4,410	\$0	\$0	\$90,620	
Five Creek at Eagle Park	\$311,470	\$138,690	\$157,250	\$49,700	\$2,230	\$0	\$0	\$347,870	
Coleman Creek at Golis Park	\$99,240	\$92,460	\$5,060	\$10,820	\$0	\$0	\$0	\$108,340	
Laguna De Santa at City Limits	\$63,790	\$0	\$60,460	\$0	\$12,660	\$0	\$0	\$73,120	
<b>Total</b>	<b>\$41,824,441</b>	<b>\$25,918,110</b>	<b>\$3,117,290</b>	<b>\$6,732,900</b>	<b>\$977,200</b>	<b>\$5,490,590</b>	<b>\$7,440,540</b>	<b>\$49,676,630</b>	
		52.17%	6.28%	13.55%	1.97%	11.05%	14.98%	100%	

\*Total includes the sum of Priorities 1 through 6 with escalation.

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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# Animal Shelter

## Detailed Report

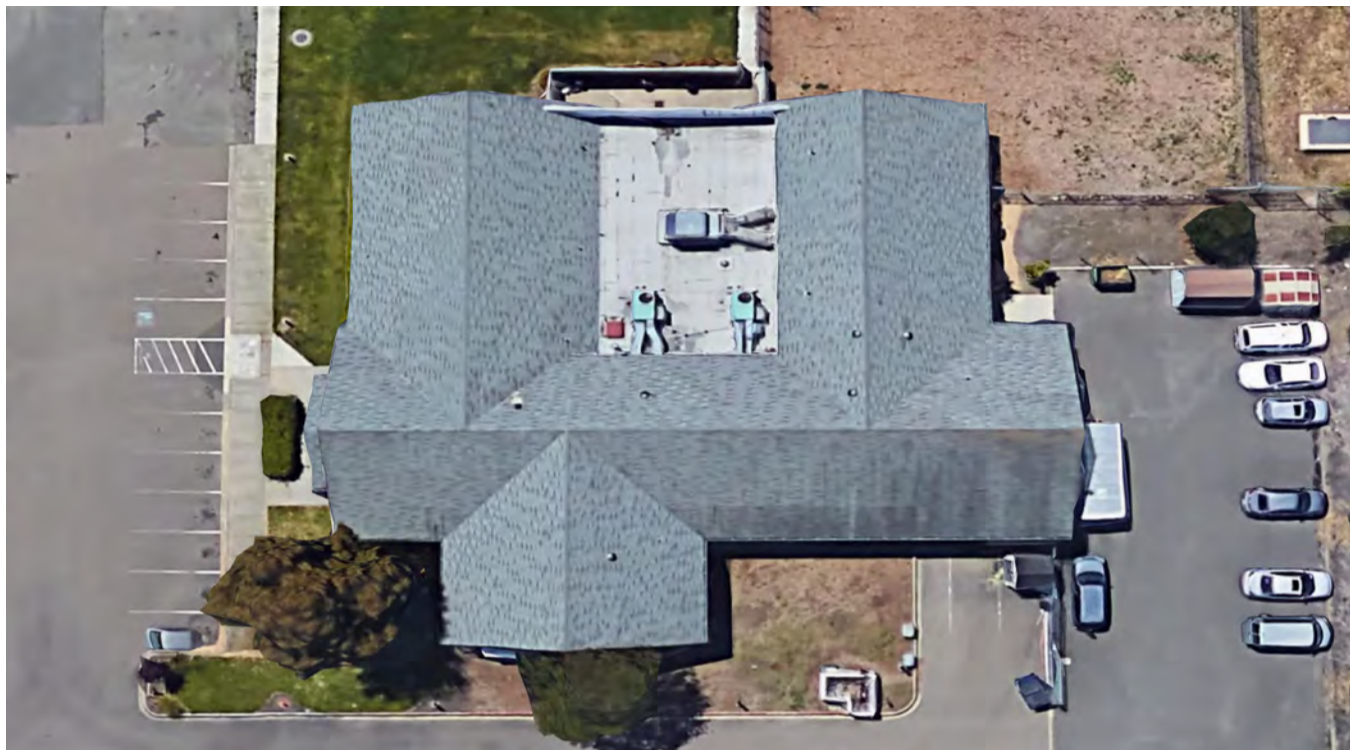
**Address: 301 J Rogers Lane, Rohnert Park, CA 94928**

### Statistics

Year Built:	1992
Building Additions:	2004
Building Area:	11,805 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$1,618,920</b>
FCI:	0.104
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$15,566,000
Replacement Cost/SF:	\$1,319



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## Assessment Descriptions

### Architectural Elements

Built in 1992, the Animal Shelter building is a 11,805 SF, single-story, wood-frame and concrete masonry unit (CMU) structure. A renovation was completed in 2004 and included the replacement of the roofing surfaces.

The interior spaces consist of kennels, visiting rooms, laundry room, offices, and puppy rooms. Interior finish materials consist of painted concrete flooring, concrete masonry block, epoxy flooring, ceramic tile, and painted gypsum board wall and ceiling. Overall, the interior finish materials appear to be in fair to poor condition, with the flooring and wall surfaces recommended for replacement.

The exterior finish materials consist of wood board siding, wood windows, asphalt composition shingle roofing, and single-ply roofing. It is recommended that the asphalt composition shingle roofing be replaced, and single-ply roofing be recoated within the next three to five years. Overall, the exterior finish materials are in fair condition.

### Mechanical Systems

The mechanical systems consist of packaged air conditioning units, unit heaters, evaporative coolers, exhaust fans, and a hydronic under slab boiler system. Conditioned air is distributed to the spaces via concealed hard duct and diffusers.

Overall, there are several key issues reported at the Animal Shelter in terms of their mechanical systems. It was reported that no air balance has been completed despite annual duct cleaning. The evaporative coolers are experiencing multiple failures including its heating section, evaporator, float switches, and shutoff valves. The boiler serving the under-floor heating section has also failed; however, maintenance personnel reported that replacement project is underway and will be completed before the colder months.

There is a major design concern in dog rooms A and B, as this open-air space was converted to a non-insulated covered space with in-line exhaust and no air treatment. During the summer months, the dog room reaches unsafe temperatures, and running the in-line exhaust fan creates a stressful environment for the dogs due to noise. This space has become unusable for the animal shelter staff due to excessive heat. Significant design considerations are required in order to make this space operable for the facility staff.

### Electrical Systems

The electrical service is routed underground to a 400A, 120/208V, 3-phase metering switchboard within an interior electrical room. This switchboard a second panelboard in the room. The electrical equipment appears original to the early 1990's installation and is at or past its expected useful life.

The interior and exterior lighting systems appear original to the building. Interior lighting is based on fluorescent fixtures. Exterior lighting consists of bollards and light poles with high-intensity discharge (HID) lamps. Interior lighting systems were operational.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, gas piping, sanitary waste piping and vent piping. The domestic hot water is provided by gas-fired water heater which is approaching the end of its expected useful life. Overall, the plumbing systems appear to be in operable condition with key drainage problems identified in the dog kennels. Coordination is required with the under slab hydronic heating lines to access and remedy the sanitary sewer drain line issues.

### Fire Protection

The building is equipped with a fire sprinkler system throughout. Portable fire extinguishers were observed at key points in the building.

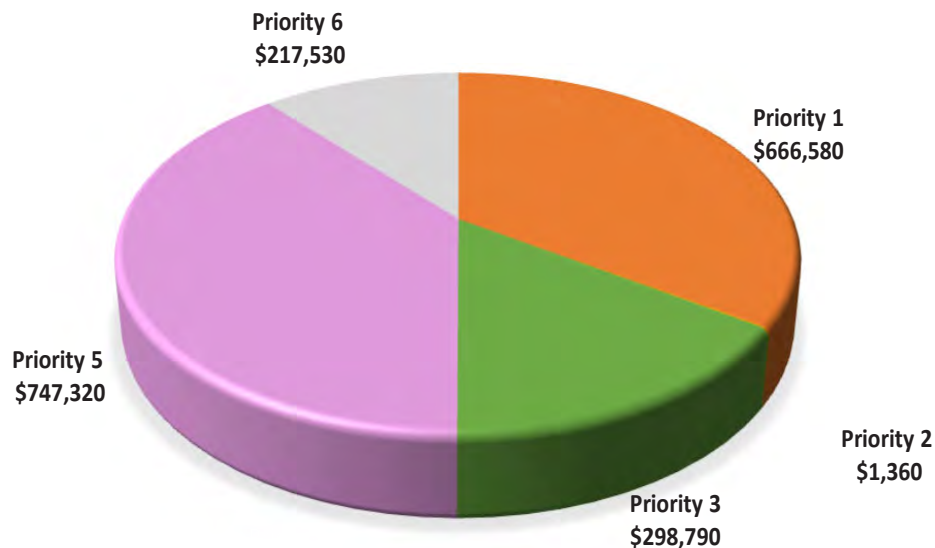
## Conclusion

For the Animal Shelter, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Animal Shelter						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$666,580	\$1,360	\$298,790	\$0	\$747,320	\$217,530	\$1,931,580
34.51%	0.07%	15.47%	0.00%	38.69%	11.26%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Animal Shelter

<b>Capital Renewal Cost:</b>	<b>\$1,618,920</b>	FCI:	<b>0.104</b>
Replacement Cost:	<b>\$15,566,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,319</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$59,450	-	-	-	-	\$76,100	-
B2020	EXTERIOR WINDOWS	\$1,200	-	\$1,360	-	-	-	-
B3010	ROOFING	\$15,620	-	-	-	-	\$20,000	-
C1030	INTERIOR DOORS	\$1,840	-	-	-	-	\$2,360	-
C2010	WALL FINISHES	\$297,710	-	-	\$70,730	-	\$304,360	-
C2030	FLOORING	\$284,010	\$4,830	-	\$22,860	-	\$333,050	-
D2010	DOMESTIC WATER DISTRIBUTION	\$8,940	-	-	-	-	\$11,450	-
D2020	SANITARY DRAINAGE	\$19,640	\$21,220	-	-	-	-	-
D3030	COOLING SYSTEMS	\$683,650	\$577,790	-	-	-	-	\$197,720
D3060	VENTILATION	\$14,890	-	-	-	-	-	\$19,810
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$33,620	\$36,320	-	-	-	-	-
E2010	FIXED FURNISHINGS	\$19,990	\$21,590	-	-	-	-	-
G2020	PARKING LOTS	\$173,890	-	-	\$205,200	-	-	-
G3030	STORM DRAINAGE UTILITIES	\$4,470	\$4,830	-	-	-	-	-
<b>TOTALS</b>		<b>\$1,618,920</b>	<b>\$666,580</b>	<b>\$1,360</b>	<b>\$298,790</b>	<b>-</b>	<b>\$747,320</b>	<b>\$217,530</b>
TOTAL (Priority 1-6 without escalation)		<b>\$1,618,920</b>	<b>\$1,931,580</b>					
			TOTAL (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

**Animal Shelter**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engine Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
763	C2030 - FLOORING	C2030.10.002	Laundry Room	Epoxy is approaching the end of its useful life.	Remove the existing epoxy and replace.	100	SF	\$2,060	\$4,830	1
773	D2020 - SANITARY DRAINAGE	D2020.30.008	Dog Room C & D	Sanitary sewer piping drainage needs repair and potential replacement to resolve drainage issues. System has been camera footage, but root cause inconclusive.	Provide equipment replacement and installation.	50	LF	\$8,910	\$20,880	1
777	D2020 - SANITARY DRAINAGE	D2020.30.017	Dog Room D	Floor drain cover is missing.	Provide new floor drain cover.	1	EA	\$140	\$340	1
490	D3030 - COOLING SYSTEMS	D3030.10.023	Dog Room	HVAC system is insufficient for room usage.	Provide equipment replacement with an appropriate system.	2,400	SF	\$246,600	\$577,790	1
482	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.302	Electrical Room	The 400A metered main switchboard is approaching the end of its expected useful life.	Replace the existing metered main switchboard with a new metered main switchboard.	1	EA	\$7,570	\$17,750	1
484	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	Electrical Room	The 225A (42 ckts, 120/208, 3P) panelboard is at the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
789	E2010 - FIXED FURNISHINGS	E2010.30.009	Throughout Building	Plastic laminate casework is at or will be approaching the end of its expected useful life.	Provide new plastic laminate casework (upper, lower, and countertop)	10	LF	\$9,210	\$21,590	1
761	G3030 - STORM DRAINAGE UTILITIES	G3030.40.013	Puppy Room	Drainage grate clogged, damaged, etc.	Repair drainage grate as necessary.	5	EA	\$2,060	\$4,830	1
790	B2020 - EXTERIOR WINDOWS	B2020.20.012	1	Fixed window and rotted sill need restoration.	Remove window, restore and reinstall. Replace sill.	4	SF	\$550	\$1,360	2
803	C2010 - WALL FINISHES	C2010.20.002	Exterior	The existing veneer plywood is damaged or worn.	Clean, prepare, and paint the plywood paneling.	8,000	SF	\$27,400	\$70,160	3
772	C2010 - WALL FINISHES	C2010.80.001	Kennels	Foam padding is damaged.	Remove and replace foam padding.	32	SF	\$220	\$570	3
780	C2030 - FLOORING	C2030.10.001	Kennels	Concrete floor finish is approaching the end of its useful life.	Repair and refinish the concrete floor.	1,000	SF	\$6,860	\$17,580	3
797	C2030 - FLOORING	C2030.10.002	Storage Closet	Epoxy is approaching the end of its useful life.	Remove the existing epoxy and replace.	100	SF	\$2,060	\$5,280	3
802	G2020 - PARKING LOTS	G2020.10.001	Parking Lot	AC paving has faded or has minor weathering.	Reseal AC paving.	15,000	SF	\$80,150	\$205,200	3
767	B2010 - EXTERIOR WALLS	B2010.20.005	Kennels	CMU walls are showing signs of wear.	Clean and repaint CMU walls.	8,000	SF	\$27,400	\$76,100	5

**City of Rohnert Park  
Facility Condition Assessment**

**Animal Shelter**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1672	B3010 - ROOFING	B3010.90.003	N/A	Roofing membrane needs a recoating.	Repair and recoat the roof membrane. Provide a white (light color) neoprene coating and replace the roof membrane as scheduled.	1,050	SF	\$7,200	\$20,000	5
765	C1030 - INTERIOR DOORS	C1030.10.008	Visiting Room Area	Interior wood door is in visual need of refurbishment.	Refurbish and restain the wood door.	1	EA	\$420	\$1,180	5
764	C1030 - INTERIOR DOORS	C1030.10.008	Visiting Room 1	Interior wood door is in visual need of refurbishment.	Refurbish and repaint the wood door.	1	EA	\$420	\$1,180	5
760	C2010 - WALL FINISHES	C2010.10.001	Puppy Room	Ceramic tile walls are chipped and deteriorating.	Remove and replace the ceramic tile to match the existing.	4,000	SF	\$109,600	\$304,360	5
786	C2030 - FLOORING	C2030.10.001	Cat Rooms/Surgery/Clinic/Euthanasia/Free	Concrete floor finish is approaching the end of its useful life.	Repair and refinish the concrete floor.	960	SF	\$6,580	\$18,280	5
768	C2030 - FLOORING	C2030.10.001	Dog Rooms	Concrete floor finish is approaching the end of its useful life.	Repair and refinish the concrete floor.	4,800	SF	\$32,880	\$91,320	5
782	C2030 - FLOORING	C2030.50.002	Throughout Building	Sheet vinyl is showing signs of age and wear.	Remove the existing sheet vinyl and replace.	4,500	SF	\$77,990	\$216,580	5
788	C2030 - FLOORING	C2030.75.002	Office	Carpet flooring is showing signs of wear.	Remove and replace carpet flooring.	225	SF	\$2,470	\$6,870	5
493	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.60.024	Custodial	Mop sink and faucet are at or approaching the end of its expected useful service life.	Provide equipment replacement and installation.	1	EA	\$4,120	\$11,450	5
1734	D5040 - LIGHTING	D5040.50.302		The exterior light fixture is past its expected useful life.	Replace the existing light fixture with an LED lighting fixture.	7	EA	-	-	7
1733	D5040 - LIGHTING	D5040.50.411		Interior lighting system is past its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	11,805	SF	-	-	7
486	D3030 - COOLING SYSTEMS	D3030.10.019	Roof	Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$34,260	\$98,860	6
485	D3030 - COOLING SYSTEMS	D3030.10.019	Roof	Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$34,260	\$98,860	6
491	D3060 - VENTILATION	D3060.30.011	Ceiling	Exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6

## City of Rohnert Park Facility Condition Assessment

### Animal Shelter

Record ID: 482  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1992 / 20 / -10  
 Item No.: D5020.10.302  
 Floor/Room: 1 / Electrical Room  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$17,750  
 Deficiency Description: *The 400A metered main switchboard is approaching the end of its expected useful life.*  
 Description of Work: *Replace the existing metered main switchboard with a new metered main switchboard.*  
 Comments:



Record ID: 484  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1992 / 30 / 0  
 Item No.: D5020.30.1008  
 Floor/Room: 1 / Electrical Room  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,570  
 Deficiency Description: *The 225A (42 ckt, 120/208, 3P) panelboard is at the end of its expected useful life.*  
 Description of Work: *Replace the existing panelboard with a new panelboard.*  
 Comments:



Record ID: 485  
 System: D3030 - COOLING SYSTEMS  
 Year Installed / Industry Life / Remaining Useful Life: 2016 / 15 / 9  
 Item No.: D3030.10.019  
 Floor/Room: Roof  
**Priority:** 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$98,860  
 Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*  
 Description of Work: *Provide equipment replacement and installation.*  
 Comments: *Recommend air balance for system on system replacement.*





## City of Rohnert Park Facility Condition Assessment

### Animal Shelter

Record ID: 486  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2016 / 15 / 9

Item No.: D3030.10.019

Floor/Room: Roof

Priority: 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$98,860

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Recommend air balance for system on system replacement.*



Record ID: 490  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: - / 15 / -

Item No.: D3030.10.023

Floor/Room: 1 / Dog Room

Priority: 1

Quantity/Unit of Measure: 2,400/SF  
 Total Deficiency Cost: \$577,790

Deficiency Description: *HVAC system is insufficient for room usage.*

Description of Work: *Provide equipment replacement with an appropriate system.*

Comments: *Current design of utility exhaust is insufficient for Animal occupants due to noise criteria, ventilation, and thermal comfort. There is a significant need of design options to address this deficiency.*



Record ID: 491  
 System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D3060.30.011

Floor/Room: Ceiling

Priority: 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$19,810

Deficiency Description: *Exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



## City of Rohnert Park Facility Condition Assessment

### Animal Shelter

Record ID: 493  
System: D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: D2010.60.024

Floor/Room: 1 / Custodial

Priority: 5

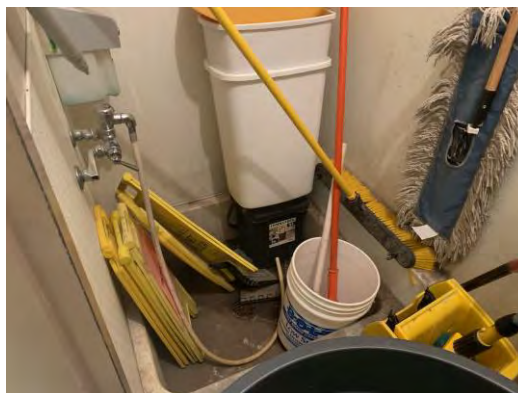
Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$11,450

Deficiency Description: *Mop sink and faucet are at or approaching the end of its expected useful service life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Water damage concerns from sink*



Record ID: 760  
System: C2010 - WALL FINISHES

Year Installed / Industry Life / Remaining Useful Life: - / 10 / -

Item No.: C2010.10.001

Floor/Room: 1 / Puppy Room

Priority: 5

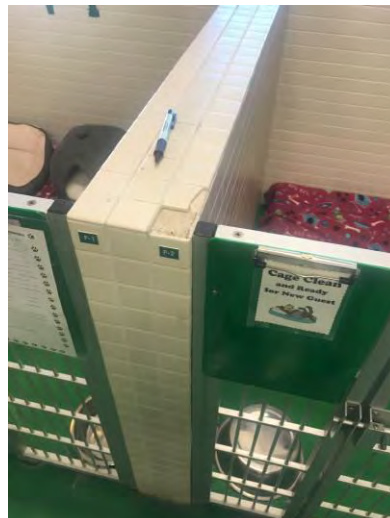
Quantity/Unit of Measure: 4,000/SF

Total Deficiency Cost: \$304,360

Deficiency Description: *Ceramic tile walls are chipped and deteriorating.*

Description of Work: *Remove and replace the ceramic tile to match the existing.*

Comments:



Record ID: 761  
System: G3030 - STORM DRAINAGE UTILITIES

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: G3030.40.013

Floor/Room: 1 / Puppy Room

Priority: 1

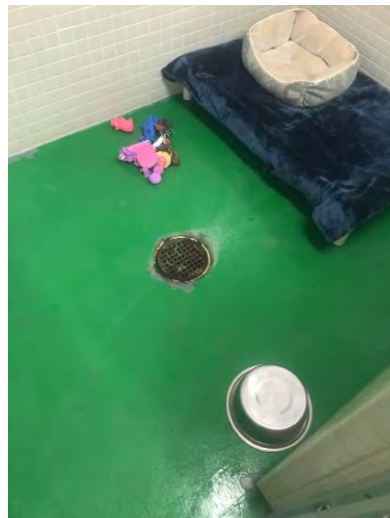
Quantity/Unit of Measure: 5/EA

Total Deficiency Cost: \$4,830

Deficiency Description: *Drainage grate clogged, damaged, etc.*

Description of Work: *Repair drainage grate as necessary.*

Comments: *Drain grate is stuck. Issues with drainage at inlet. Tried cameraing area, but unable to locate sewer root cause.*



**City of Rohnert Park  
Facility Condition Assessment**

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**Animal Shelter**

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Record ID: 763  
System: C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life: - / 40 / -  
Item No.: C2030.10.002  
Floor/Room: 1 / Laundry Room  
**Priority:** 1  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$4,830  
Deficiency Description: *Epoxy is approaching the end of its useful life.*  
  
Description of Work: *Remove the existing epoxy and replace.*



Comments:

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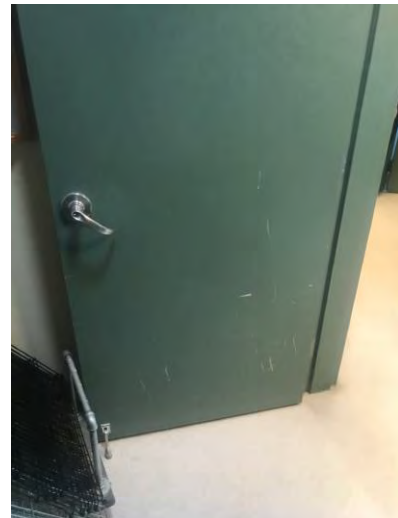
Record ID: 764  
System: C1030 - INTERIOR DOORS  
  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: C1030.10.008  
Floor/Room: 1 / Visiting Room 1  
**Priority:** 5  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$1,180  
Deficiency Description: *Interior wood door is in visual need of refurbishment.*  
  
Description of Work: *Refurbish and repaint the wood door.*



Comments:

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Record ID: 765  
System: C1030 - INTERIOR DOORS  
  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: C1030.10.008  
Floor/Room: 1 / Visiting Room Area  
**Priority:** 5  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$1,180  
Deficiency Description: *Interior wood door is in visual need of refurbishment.*  
  
Description of Work: *Refurbish and restain the wood door.*



Comments:

**City of Rohnert Park  
Facility Condition Assessment**

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**Animal Shelter**

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Record ID                                767  
System                                    B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life    - / 50 / -

Item No.                                    B2010.20.005

Floor/Room:                            1 / Kennels

Priority:                                    5

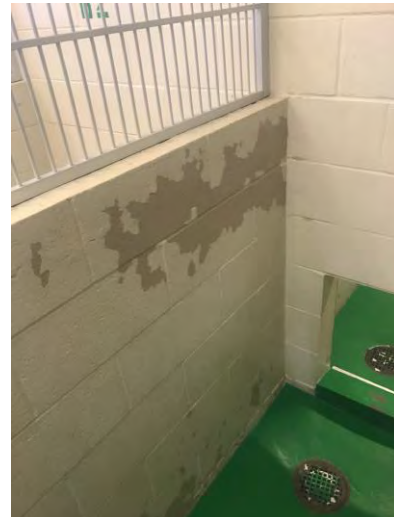
Quantity/Unit of Measure:        8,000/SF

Total Deficiency Cost:            \$76,100

Deficiency Description:            *CMU walls are showing signs of wear.*

Description of Work:                *Clean and repaint CMU walls.*

Comments:



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Record ID                                768  
System                                    C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life    - / 50 / -

Item No.                                    C2030.10.001

Floor/Room:                            1 / Dog Rooms

Priority:                                    5

Quantity/Unit of Measure:        4,800/SF

Total Deficiency Cost:            \$91,320

Deficiency Description:            *Concrete floor finish is approaching the end of its useful life.*

Description of Work:                *Repair and refinish the concrete floor.*

Comments:



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Record ID                                772  
System                                    C2010 - WALL FINISHES

Year Installed / Industry Life / Remaining Useful Life    - / 20 / -

Item No.                                    C2010.80.001

Floor/Room:                            1 / Kennels

Priority:                                    3

Quantity/Unit of Measure:        32/SF

Total Deficiency Cost:            \$570

Deficiency Description:            *Foam padding is damaged.*

Description of Work:                *Remove and replace foam padding.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Animal Shelter**

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Record ID 773  
System D2020 - SANITARY DRAINAGE

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. D2020.30.008

Floor/Room: 1 / Dog Room C & D

Priority: 1

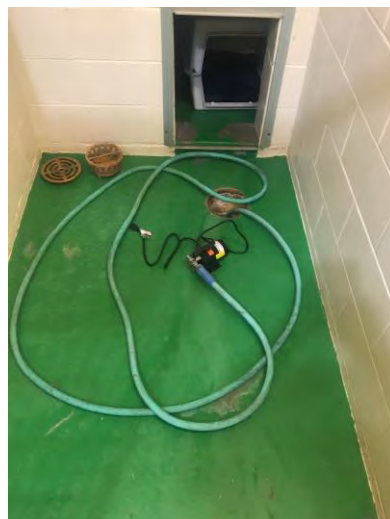
Quantity/Unit of Measure: 50/LF

Total Deficiency Cost: \$20,880

Deficiency Description: *Sanitary sewer piping drainage needs repair and potential replacement to resolve drainage issues. System has been camera footage, but root cause inconclusive.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Drainage issue in C1, D1, and D4. Plumbing contractor recommends jackhammering slab to access pipe, but underfloor heating prevents repairing sanitary sewer.*



Record ID 777  
System D2020 - SANITARY DRAINAGE

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. D2020.30.017

Floor/Room: 1 / Dog Room D

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$340

Deficiency Description: *Floor drain cover is missing.*

Description of Work: *Provide new floor drain cover.*

Comments: *Replace drain covers in kennel D1 and D5.*



**City of Rohnert Park  
Facility Condition Assessment**

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**Animal Shelter**

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Record ID: 780  
System: C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life: - / 50 / -  
Item No.: C2030.10.001  
Floor/Room: 1 / Kennels  
**Priority:** 3  
Quantity/Unit of Measure: 1,000/SF  
Total Deficiency Cost: \$17,580  
Deficiency Description: *Concrete floor finish is approaching the end of its useful life.*

Description of Work: *Repair and refinish the concrete floor.*

Comments:



Record ID: 782  
System: C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life: - / 60 / -  
Item No.: C2030.50.002  
Floor/Room: 1 / Throughout Building  
**Priority:** 5  
Quantity/Unit of Measure: 4,500/SF  
Total Deficiency Cost: \$216,580  
Deficiency Description: *Sheet vinyl is showing signs of age and wear.*

Description of Work: *Remove the existing sheet vinyl and replace.*

Comments:



Record ID: 786  
System: C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life: - / 50 / -  
Item No.: C2030.10.001  
Floor/Room: 1 / Cat Rooms/Surgery/Clinic/Euthanasia/Freezer  
**Priority:** 5  
Quantity/Unit of Measure: 960/SF  
Total Deficiency Cost: \$18,280  
Deficiency Description: *Concrete floor finish is approaching the end of its useful life.*

Description of Work: *Repair and refinish the concrete floor.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Animal Shelter

Record ID 788  
System C2030 - FLOORING  
Year Installed / Industry Life / Remaining Useful Life - / 20 / -  
Item No. C2030.75.002  
Floor/Room: 1 / Office  
**Priority:** 5  
Quantity/Unit of Measure: 225/SF  
Total Deficiency Cost: \$6,870  
Deficiency Description: *Carpet flooring is showing signs of wear.*

Description of Work: *Remove and replace carpet flooring.*

Comments:



Record ID 789  
System E2010 - FIXED FURNISHINGS  
Year Installed / Industry Life / Remaining Useful Life - / 20 / -  
Item No. E2010.30.009  
Floor/Room: 1 / Throughout Building  
**Priority:** 1  
Quantity/Unit of Measure: 10/LF  
Total Deficiency Cost: \$21,590  
Deficiency Description: *Plastic laminate casework is at or will be approaching the end of its expected useful life.*

Description of Work: *Provide new plastic laminate casework (upper, lower, and countertop)*

Comments:



Record ID 790  
System B2020 - EXTERIOR WINDOWS

Year Installed / Industry Life / Remaining Useful Life - / 45 / -  
Item No. B2020.20.012  
Floor/Room: 1  
**Priority:** 2  
Quantity/Unit of Measure: 4/SF  
Total Deficiency Cost: \$1,360  
Deficiency Description: *Fixed window and rotted sill need restoration.*

Description of Work: *Remove window, restore and reinstall. Replace sill.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Animal Shelter

Record ID: 797  
System: C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life: - / 40 / -

Item No.: C2030.10.002  
Floor/Room: 1 / Storage Closet

Priority: 3

Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$5,280  
Deficiency Description: *Epoxy is approaching the end of its useful life.*

Description of Work: *Remove the existing epoxy and replace.*

Comments:



Record ID: 802  
System: G2020 - PARKING LOTS

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: G2020.10.001  
Floor/Room: Site / Parking Lot

Priority: 3

Quantity/Unit of Measure: 15,000/SF  
Total Deficiency Cost: \$205,200  
Deficiency Description: *AC paving has faded or has minor weathering.*

Description of Work: *Reseal AC paving.*

Comments:



Record ID: 803  
System: C2010 - WALL FINISHES

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: C2010.20.002  
Floor/Room: 1 / Exterior

Priority: 3

Quantity/Unit of Measure: 8,000/SF  
Total Deficiency Cost: \$70,160  
Deficiency Description: *The existing veneer plywood is damaged or worn.*

Description of Work: *Clean, prepare, and paint the plywood paneling.*

Comments: *Entire exterior.*





# City of Rohnert Park Facility Condition Assessment

## Animal Shelter

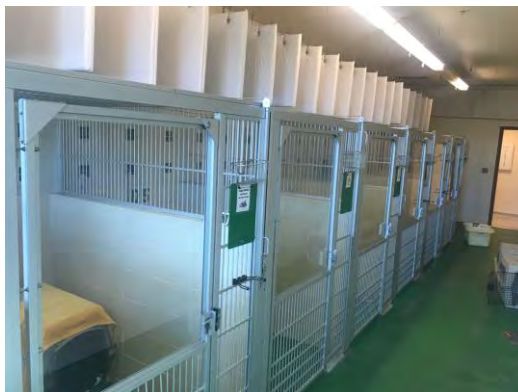
Record ID 1672  
System B3010 - ROOFING  
Year Installed / Industry Life / Remaining Useful Life - / 30 / -  
Item No. B3010.90.003  
Floor/Room: Roof / N/A  
**Priority:** 5  
Quantity/Unit of Measure: 1,050/SF  
Total Deficiency Cost: \$20,000  
Deficiency Description: *Roofing membrane needs a recoating.*



Description of Work: *Repair and recoat the roof membrane. Provide a white (light color) neoprene coating and replace the roof membrane as scheduled.*

Comments:

Record ID 1733  
System D5040 - LIGHTING  
Year Installed / Industry Life / Remaining Useful Life 1992 / 20 / -10  
Item No. D5040.50.411  
Floor/Room:  
**Priority:** 6  
Quantity/Unit of Measure: 11,805/SF  
Total Deficiency Cost: N/A - See Executive Summary  
Deficiency Description: *Interior lighting system is past its expected useful life.*



Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments:

Record ID 1734  
System D5040 - LIGHTING  
Year Installed / Industry Life / Remaining Useful Life 1992 / 20 / -10  
Item No. D5040.50.302  
Floor/Room:  
**Priority:** 6  
Quantity/Unit of Measure: 7/EA  
Total Deficiency Cost: N/A - See Executive Summary  
Deficiency Description: *The exterior light fixture is past its expected useful life.*



Description of Work: *Replace the existing light fixture with an LED lighting fixture.*

Comments:

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# Benicia Pool Buildings and Restroom

## Detailed Report

**Address: 7469 Bernice Avenue, Rohnert Park, CA 94928**

### Statistics

Year Built:	1968
Building Additions:	2014
Building Area:	1,150 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$281,500</b>
FCI:	0.033
Condition Score:	A
Condition Rating:	Good
Replacement Cost:	\$8,487,000
Replacement Cost/SF:	\$1,247



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## Assessment Descriptions

### Architectural Elements

Originally constructed in 1968, the Benicia Pool Buildings and Restroom site were renovated in 2014 and consists of a pool, pool building, and restroom building. The restroom building is a 150 SF concrete masonry block building with interior finish materials of concrete flooring, ceramic tile, and painted gypsum board ceiling. The exterior finish materials consist of concrete masonry block and built-up roofing, which was replaced during the 2014 renovation. Overall, the exterior finish materials are in fair to good condition.

The pool building is a 1,000 SF, wood-frame building with exterior finish materials consisting of plywood siding and single-ply roof, which was replaced five years ago according to staff. Overall, the interior and exterior finish materials are in fair condition, with exception to the plywood siding, which should be replaced in its entirety.

The site surfaces primarily consist of concrete pavement near the pool area and AC paving in the parking lot. The parking lot AC paving appears to show signs of fatigue cracking in several areas and is recommended for replacement. The wood slat chain-link fencing along the perimeter of the property is showing signs of wear and is recommended for replacement within the next five years.

### Mechanical Systems

The mechanical systems consist of a roof exhaust fan for restroom ventilation. Overall, the mechanical systems appear to be in operable condition.

### Electrical Systems

Electrical power is provided by three electrical panels that appear to be in good operational condition; however, two of the panelboards appear to be original to the facility and past their expected useful life.

The building has electrical equipment manufactured by Sylvania/Zinsco. Switchboards or panelboards manufactured by Sylvania/Zinsco have been found to have significantly higher rates of catastrophic failure compared with switchboards and panelboards of other manufacturers. The use of aluminum bussing in the Sylvania/Zinsco equipment combined with the method of circuit breaker attachment to the bussing results in overheating. The overheating can cause the circuit breakers to melt and fuse to the bus. Once this occurs, there is an inability of the circuit breaker to adequately trip, and power can continue to surge into the panel and associated downstream circuits. At this point, the switchboard or panelboard cannot be manually shut off. Power will continue to flow until utility power can be shut off or the wires have melted potentially causing a fire.

Interior and exterior lighting appears to be past its expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, gas piping, sanitary waste piping and vent piping. The domestic hot water is provided by a gas-fired water heater. The pool system equipment on site consists of a CO2 mixing station, chlorine treatment section, chemical monitoring, pool boiler, pool filtration, and CO2 holding tanks with no issues or items of concern reported by facility maintenance staff. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

No fireprotection systems have been identified on site.

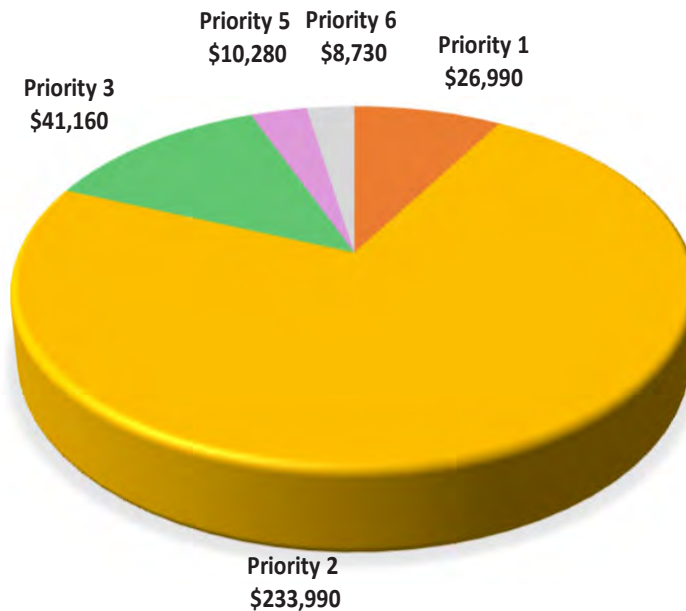
## Conclusion

For the Benicia Pool Buildings and Restroom, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Benicia Pool Buildings and Restroom						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$26,990	\$233,990	\$41,160	\$0	\$10,280	\$8,730	\$321,150
8.40%	72.86%	12.82%	0.00%	3.20%	2.72%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

**Benicia Pool Buildings and Restroom**

<b>Capital Renewal Cost:</b>	<b>\$281,500</b>	FCI:	<b>0.033</b>
Replacement Cost:	<b>\$8,487,000</b>	Condition Score:	<b>A</b>
Replacement Cost/SF:	<b>\$1,247</b>	Condition Rating:	<b>GOOD</b>

CIP DEFICIENCY COST SUMMARY								
Construction Increase - Cumulative Escalation								
			8%	13%	18%	23%	28%	33%
Uniformat Code	Building System Class	Current Costs	Priority 1 0-12 Months	Priority 2 1-2 Years	Priority 3 2-3 Years	Priority 4 3-4 Years	Priority 5 4-5 Years	Priority 6 6-10 Years
B2010	EXTERIOR WALLS	\$11,890	-	-	\$14,040	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$22,980	-	-	\$27,120	-	-	-
D3060	VENTILATION	\$6,560	-	-	-	-	-	\$8,730
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$24,980	\$26,990	-	-	-	-	-
G2020	PARKING LOTS	\$206,880	-	\$233,780	-	-	-	-
G2060	SITE DEVELOPMENT	\$8,210	-	\$210	-	-	\$10,280	-
TOTALS		\$281,500	\$26,990	\$233,990	\$41,160	-	\$10,280	\$8,730
TOTAL (Priority 1-6 without escalation)		\$281,500	\$321,150					
			TOTAL (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

**Benicia Pool Buildings and Restroom**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engine Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1385	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1002	1	The panelboard is beyond the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,800	\$18,290	1
1384	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4003	1	The 200A load center is beyond the end of its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$3,710	\$8,700	1
1642	G2020 - PARKING LOTS	G2020.10.002	Parking	AC paving shows signs of fatigue cracking.	Replace AC pavement section.	8,000	SF	\$95,360	\$233,780	2
1643	G2060 - SITE DEVELOPMENT	G2060.20.001	Fencing	Chain link steel mesh is damaged or missing.	Replace chain link section.	10	SF	\$80	\$210	2
1638	B2010 - EXTERIOR WALLS	B2010.10.001	Pool Building	Plywood siding is approaching the end of its useful life.	Remove and replace the existing plywood siding with new plywood siding. Prime and paint.	800	SF	\$5,480	\$14,040	3
1381	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.003		Gas fired water heater (100 Gal) is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$10,590	\$27,120	3
1644	G2060 - SITE DEVELOPMENT	G2060.20.020	Fencing	Chain link fencing shows heavy damage and requires full replacement.	Replace entire fence, including mesh, posts, and concrete bases.	300	LF	\$3,700	\$10,280	5
1736	D5040 - LIGHTING	D5040.50.302		The exterior light fixture is past its expected useful life.	Replace the existing light fixture with an LED lighting fixture.	3	EA	-	-	7
1735	D5040 - LIGHTING	D5040.50.411		Interior lighting system is past its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	6,806	SF	-	-	7
1383	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$8,730	6



**City of Rohnert Park  
Facility Condition Assessment**

**Benicia Pool Buildings and Restroom**

Record ID 1381  
 System D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life 2009 / 15 / 2

Item No. D2010.20.003

Floor/Room:

**Priority: 3**

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$27,120

Deficiency Description: *Gas fired water heater (100 Gal) is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 1383  
 System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 25 / -

Item No. D3060.30.005

Floor/Room:

**Priority: 7**

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$8,730

Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 1384  
 System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life 1968 / 30 / -24

Item No. D5020.30.4003

Floor/Room: 1

**Priority: 1**

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$8,700

Deficiency Description: *The 200A load center is beyond the end of its expected useful life.*

Description of Work: *Replace the existing load center with a new load center.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Benicia Pool Buildings and Restroom**

Record ID: 1385  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1968 / 30 / -24  
 Item No.: D5020.30.1002  
 Floor/Room: 1  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,290  
 Deficiency Description: *The panelboard is beyond the end of its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID: 1638  
 System: B2010 - EXTERIOR WALLS  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: B2010.10.001  
 Floor/Room: 1 / Pool Building  
**Priority:** 3  
 Quantity/Unit of Measure: 800/SF  
 Total Deficiency Cost: \$14,040  
 Deficiency Description: *Plywood siding is approaching the end of its useful life.*

Description of Work: *Remove and replace the existing plywood siding with new plywood siding. Prime and paint.*

Comments:



Record ID: 1642  
 System: G2020 - PARKING LOTS  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: G2020.10.002  
 Floor/Room: Site / Parking  
**Priority:** 2  
 Quantity/Unit of Measure: 8,000/SF  
 Total Deficiency Cost: \$233,780  
 Deficiency Description: *AC paving shows signs of fatigue cracking.*

Description of Work: *Replace AC pavement section.*

Comments:



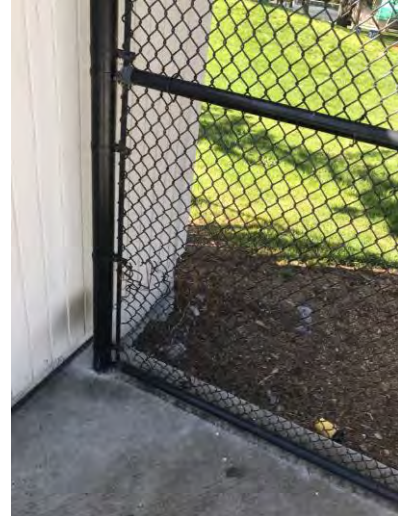
**City of Rohnert Park  
Facility Condition Assessment**

**Benicia Pool Buildings and Restroom**

Record ID: 1643  
 System: G2060 - SITE DEVELOPMENT  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: G2060.20.001  
 Floor/Room: Site / Fencing  
**Priority:** 2  
 Quantity/Unit of Measure: 10/SF  
 Total Deficiency Cost: \$210  
 Deficiency Description: *Chain link steel mesh is damaged or missing.*

Description of Work: *Replace chain link section.*

Comments:



Record ID: 1644  
 System: G2060 - SITE DEVELOPMENT  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: G2060.20.020  
 Floor/Room: Site / Fencing  
**Priority:** 5  
 Quantity/Unit of Measure: 300/LF  
 Total Deficiency Cost: \$10,280  
 Deficiency Description: *Chain link fencing shows heavy damage and requires full replacement.*

Description of Work: *Replace entire fence, including mesh, posts, and concrete bases.*

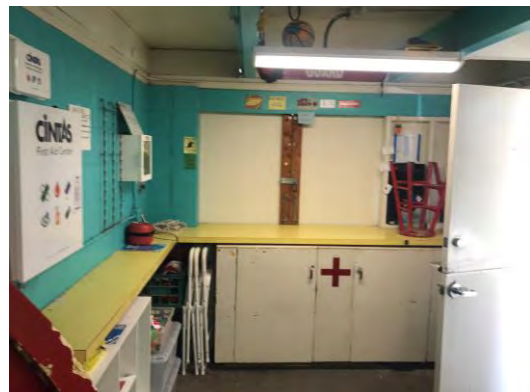
Comments: *Throughout site.*



Record ID: 1735  
 System: D5040 - LIGHTING  
 Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
 Item No.: D5040.50.411  
 Floor/Room:  
**Priority:** 6  
 Quantity/Unit of Measure: 6,806/SF  
 Total Deficiency Cost: N/A - See Executive Summary  
 Deficiency Description: *Interior lighting system is past its expected useful life.*

Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Benicia Pool Buildings and Restroom**

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Record ID 1736  
System D5040 - LIGHTING  
  
Year Installed / Industry Life / Remaining Useful Life - / 20 / -  
Item No. D5040.50.302  
Floor/Room:  
**Priority:** 6  
Quantity/Unit of Measure: 3/EA  
Total Deficiency Cost: N/A - See Executive Summary  
Deficiency Description: *The exterior light fixture is past its expected useful life.*

Description of Work: *Replace the existing light fixture with an LED lighting fixture.*

Comments:



# Boys and Girls Club

## Detailed Report

**Address: 7450 Santa Barbara Drive, Rohnert Park, CA 94928**

### Statistics

Year Built:	1989
Building Additions:	2004
Building Area:	4,600 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$850,550</b>
FCI:	0.208
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$4,088,000
Replacement Cost/SF:	\$889



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## Assessment Descriptions

### Architectural Elements

Originally constructed in 1989 and renovated in 2004, the 4,600 SF, single-story, wood-frame Boys and Girls Club (Benicia Park) building consists of interior spaces that include a lobby, offices, classrooms, restrooms, game room, and kitchen.

The interior finish materials consist of carpet flooring, sheet vinyl flooring, and painted gypsum board wall and ceiling. It is recommended that the carpet and sheet vinyl flooring be replaced and painted gypsum board walls be repainted throughout the building. The exterior finish materials consist of plywood siding, and asphalt composition shingle roofing. Overall, the exterior wall and roofing systems are in poor condition and recommended for replacement within the next five years.

### Mechanical Systems

The mechanical systems consist of evaporative coolers, ceiling fan coils, and window mounted air conditioning units. The conditioned air is distributed to the spaces via concealed hard duct and diffusers. Overall, the mechanical systems appear to be in operable condition with no significant issues or concerns reported by the building occupants.

### Electrical Systems

Electrical power is provided by a single panelboard that is past the end of its expected useful life.

Interior and exterior lighting while functional, is also past the end of its expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, gas piping, sanitary waste piping and vent piping. The domestic hot water is provided by gas-fired water heater. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

The building is equipped with a fire sprinkler system throughout. Portable fire extinguishers were observed at key points in the building. An Ansul system was observed in the kitchen space.

No fire alarm system was identified on site.

## Conclusion

For the Boys and Girls Club, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Boys and Girls Club						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$277,470	\$14,430	\$185,610	\$7,320	\$506,050	\$29,720	\$1,020,600
27.19%	1.41%	18.19%	0.72%	49.58%	2.91%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

**Boys and Girls Club (Benicia Park) Lease**

<b>Capital Renewal Cost:</b>	<b>\$850,550</b>	FCI:	<b>0.208</b>
Replacement Cost:	<b>\$4,088,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$889</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$59,450	-	-	\$70,160	-	-	-
B3010	ROOFING	\$270,500	-	\$3,400	-	-	\$342,400	-
B3020	ROOF APPURTENANCES	\$8,940	-	\$10,110	-	-	-	-
C1030	INTERIOR DOORS	\$9,680	-	-	\$11,430	-	-	-
C2010	WALL FINISHES	\$74,330	-	-	-	-	\$95,150	-
C2030	FLOORING	\$77,660	-	-	\$35,520	-	\$60,880	-
D3020	HEATING SYSTEMS	\$15,780	-	-	-	-	-	\$20,990
D3030	COOLING SYSTEMS	\$31,230	-	-	\$22,810	\$7,320	\$7,620	-
D3060	VENTILATION	\$6,560	-	-	-	-	-	\$8,730
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$8,050	\$8,700	-	-	-	-	-
D5040	LIGHTING	\$247,930	\$267,770	-	-	-	-	-
G2020	PARKING LOTS	\$25,860	-	-	\$30,520	-	-	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	\$13,660	-	\$920	\$15,170	-	-	-
G3030	STORM DRAINAGE UTILITIES	\$920	\$1,000	-	-	-	-	-
<b>TOTALS</b>		<b>\$850,550</b>	<b>\$277,470</b>	<b>\$14,430</b>	<b>\$185,610</b>	<b>\$7,320</b>	<b>\$506,050</b>	<b>\$29,720</b>
TOTAL (Priority 1-6 without escalation)		<b>\$850,550</b>	<b>\$1,020,600</b>					
			TOTAL (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

**Boys and Girls Club (Benicia Park) Lease**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engine Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
8	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4003		The 200A load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$3,710	\$8,700	1
1739	D5040 - LIGHTING	D5040.50.302		Replace the existing light fixture with an LED lighting fixture.	Replace the existing light fixture with an LED lighting fixture.	2	EA	\$1,940	\$4,550	1
5	D5040 - LIGHTING	D5040.50.411		Interior lighting system is approaching its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	4,600	SF	\$112,340	\$263,220	1
21	G3030 - STORM DRAINAGE UTILITIES	G3030.40.013	Concrete Walkway	Drainage grate is clogged.	Provide repairs as necessary to drain grate.	1	EA	\$420	\$1,000	1
15	B3010 - ROOFING	B3010.90.010	Roof	The fascia appears to be deteriorated.	Selectively remove deteriorated fascia and replace with new material to match.	100	LF	\$1,380	\$3,400	2
18	B3020 - ROOF APPURTENANCES	B3020.70.001	Gutters	Rain leaders/gutters are damaged.	Repair, replace rain leaders/gutters.	200	LF	\$4,120	\$10,110	2
22	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Pavement	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	25	SF	\$370	\$920	2
17	B2010 - EXTERIOR WALLS	B2010.10.001	Exterior	Plywood siding is approaching the end of its useful life.	Remove and replace the existing plywood siding with new plywood siding. Prime and paint.	4,000	SF	\$27,400	\$70,160	3
9	C1030 - INTERIOR DOORS	C1030.90.003	Throughout	Metal door and frames are in fair to poor condition.	Repair and refinish the metal door and frames.	13	EA	\$4,460	\$11,430	3
1	C2030 - FLOORING	C2030.50.002	Kitchen	Sheet vinyl is approaching the end of its useful life.	Remove the existing sheet vinyl and replace.	800	SF	\$13,870	\$35,520	3
254	D3030 - COOLING SYSTEMS	D3030.70.026		Evaporative cooler is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$8,910	\$22,810	3
23	G2020 - PARKING LOTS	G2020.10.002	AC Paving	AC paving shows evidence of potholing.	Replace AC pavement section.	1,000	SF	\$11,920	\$30,520	3
24	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Concrete Walkway	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	400	SF	\$5,920	\$15,170	3
258	D3030 - COOLING SYSTEMS	D3030.70.032	Teens	Window mounted AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$2,740	\$7,320	4

**City of Rohnert Park  
Facility Condition Assessment**

**Boys and Girls Club (Benicia Park) Lease**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
19	B3010 - ROOFING	B3010.10.001	Roof	Asphalt composition roof is in fair to poor condition with evidence of ponding, blisters & leaks.	Remove and replace asphalt composition shingle roofing.	6,000	SF	\$123,300	\$342,400	5
4	C2010 - WALL FINISHES	C2010.70.001	Throughout	Painted gypsum wallboard is showing signs of wear.	Patch and paint the gypsum wallboard.	4,000	SF	\$34,260	\$95,150	5
3	C2030 - FLOORING	C2030.75.001	Throughout	Carpet tile is missing or damaged.	Replace carpet tile.	2,000	SF	\$21,920	\$60,880	5
259	D3030 - COOLING SYSTEMS	D3030.70.032	Program Room	Window mounted AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$2,740	\$7,620	5
253	D3020 - HEATING SYSTEMS	D3020.10.007	Ceiling	Gas-fired furnace is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$7,270	\$20,990	6
260	D3060 - VENTILATION	D3060.30.005	Roof	Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$8,730	6

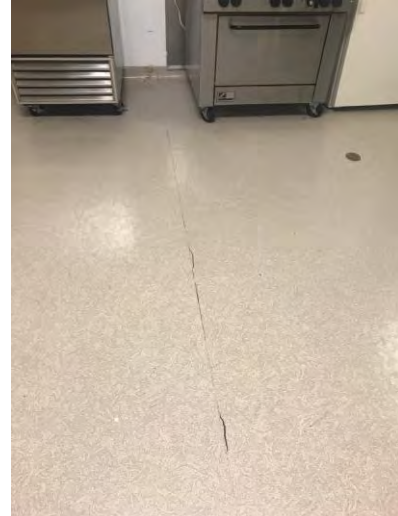
**City of Rohnert Park  
Facility Condition Assessment**

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**Boys and Girls Club (Benicia Park) Lease**

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Record ID: 1  
System: C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life: - / 60 / -  
Item No.: C2030.50.002  
Floor/Room: 1 / Kitchen  
**Priority:** 3  
Quantity/Unit of Measure: 800/SF  
Total Deficiency Cost: \$35,520  
Deficiency Description: *Sheet vinyl is approaching the end of its useful life.*  
  
Description of Work: *Remove the existing sheet vinyl and replace.*  
  
Comments:



Record ID: 3  
System: C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
Item No.: C2030.75.001  
Floor/Room: 1 / Throughout  
**Priority:** 5  
Quantity/Unit of Measure: 2,000/SF  
Total Deficiency Cost: \$60,880  
Deficiency Description: *Carpet tile is missing or damaged.*  
  
Description of Work: *Replace carpet tile.*  
  
Comments:



Record ID: 4  
System: C2010 - WALL FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: C2010.70.001  
Floor/Room: 1 / Throughout  
**Priority:** 5  
Quantity/Unit of Measure: 4,000/SF  
Total Deficiency Cost: \$95,150  
Deficiency Description: *Painted gypsum wallboard is showing signs of wear.*  
  
Description of Work: *Patch and paint the gypsum wallboard.*  
  
Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Boys and Girls Club (Benicia Park) Lease**

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Record ID 5  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -  
Item No. D5040.50.411  
Floor/Room:  
**Priority: 1**  
Quantity/Unit of Measure: 4,600/SF  
Total Deficiency Cost: \$263,220  
Deficiency Description: *Interior lighting system is approaching its expected useful life.*

Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments:

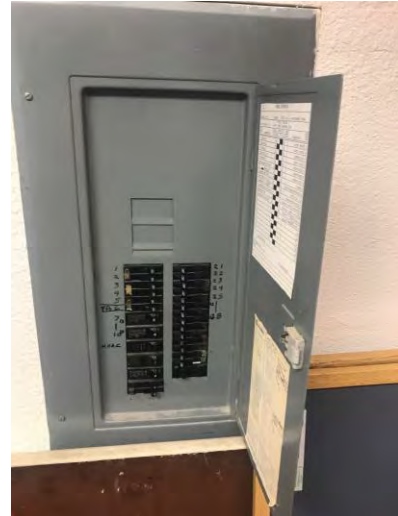


Record ID 8  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life 1989 / 30 / -3  
Item No. D5020.30.4003  
Floor/Room:  
**Priority: 1**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$8,700  
Deficiency Description: *The 200A load center is approaching the end of its expected useful life.*

Description of Work: *Replace the existing load center with a new load center.*

Comments:



Record ID 9  
System C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life - / 60 / -  
Item No. C1030.90.003  
Floor/Room: 1 / Throughout  
**Priority: 3**  
Quantity/Unit of Measure: 13/EA  
Total Deficiency Cost: \$11,430  
Deficiency Description: *Metal door and frames are in fair to poor condition.*

Description of Work: *Repair and refinish the metal door and frames.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Boys and Girls Club (Benicia Park) Lease**

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Record ID 15  
System B3010 - ROOFING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. B3010.90.010

Floor/Room: Roof / Roof

**Priority:** 2

Quantity/Unit of Measure: 100/LF

Total Deficiency Cost: \$3,400

Deficiency Description: *The fascia appears to be deteriorated.*

Description of Work: *Selectively remove deteriorated fascia and replace with new material to match.*

Comments:



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Record ID 17  
System B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. B2010.10.001

Floor/Room: 1 / Exterior

**Priority:** 3

Quantity/Unit of Measure: 4,000/SF

Total Deficiency Cost: \$70,160

Deficiency Description: *Plywood siding is approaching the end of its useful life.*

Description of Work: *Remove and replace the existing plywood siding with new plywood siding. Prime and paint.*

Comments:



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Record ID 18  
System B3020 - ROOF APPURTENANCES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. B3020.70.001

Floor/Room: Roof / Gutters

**Priority:** 2

Quantity/Unit of Measure: 200/LF

Total Deficiency Cost: \$10,110

Deficiency Description: *Rain leaders/gutters are damaged.*

Description of Work: *Repair, replace rain leaders/gutters.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Boys and Girls Club (Benicia Park) Lease**

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Record ID: 19  
System: B3010 - ROOFING

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: B3010.10.001  
Floor/Room: Roof / Roof  
**Priority:** 5  
Quantity/Unit of Measure: 6,000/SF  
Total Deficiency Cost: \$342,400  
Deficiency Description: *Asphalt composition roof is in fair to poor condition with evidence of ponding, blisters & leaks.*

Description of Work: *Remove and replace asphalt composition shingle roofing.*

Comments:



Record ID: 21  
System: G3030 - STORM DRAINAGE UTILITIES

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: G3030.40.013  
Floor/Room: Site / Concrete Walkway  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$1,000  
Deficiency Description: *Drainage grate is clogged.*

Description of Work: *Provide repairs as necessary to drain grate.*

Comments:



Record ID: 22  
System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: G2030.10.005  
Floor/Room: Site / Pavement  
**Priority:** 2  
Quantity/Unit of Measure: 25/SF  
Total Deficiency Cost: \$920  
Deficiency Description: *Concrete pavement has major damage / structural failure.*

Description of Work: *Replace concrete and base to match existing.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Boys and Girls Club (Benicia Park) Lease**

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Record ID: 23  
System: G2020 - PARKING LOTS  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: G2020.10.002  
Floor/Room: Site / AC Paving  
**Priority:** 3  
Quantity/Unit of Measure: 1,000/SF  
Total Deficiency Cost: \$30,520  
Deficiency Description: *AC paving shows evidence of potholing.*



Description of Work: *Replace AC pavement section.*

Comments:

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Record ID: 24  
System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: G2030.10.005  
Floor/Room: Site / Concrete Walkway  
**Priority:** 3  
Quantity/Unit of Measure: 400/SF  
Total Deficiency Cost: \$15,170  
Deficiency Description: *Concrete pavement has major damage / structural failure.*



Description of Work: *Replace concrete and base to match existing.*

Comments:

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Record ID: 253  
System: D3020 - HEATING SYSTEMS  
Year Installed / Industry Life / Remaining Useful Life: - / 15 / -  
Item No.: D3020.10.007  
Floor/Room: Ceiling  
**Priority:** 7  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$20,990  
Deficiency Description: *Gas-fired furnace is approaching the end of its expected useful life.*



Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Boys and Girls Club (Benicia Park) Lease**

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Record ID 254  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 15 / -  
Item No. D3030.70.026  
Floor/Room:  
**Priority:** 3  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$22,810  
Deficiency Description: *Evaporative cooler is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID 258  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life 2011 / 10 / -1  
Item No. D3030.70.032  
Floor/Room: / Teens  
**Priority:** 4  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$7,320  
Deficiency Description: *Window mounted AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID 259  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life 2013 / 10 / 1  
Item No. D3030.70.032  
Floor/Room: / Program Room  
**Priority:** 5  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$7,620  
Deficiency Description: *Window mounted AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Boys and Girls Club (Benicia Park) Lease**

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Record ID: 260  
System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D3060.30.005

Floor/Room: Roof

Priority: 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$8,730

Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Exhaust fan serves kitchen hood with ANSUL system.*



Record ID: 1739  
System: D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: D5040.50.302

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 2/EA

Total Deficiency Cost: \$4,550

Deficiency Description: *Replace the existing light fixture with an LED lighting fixture.*

Description of Work: *Replace the existing light fixture with an LED lighting fixture.*

Comments:



# Burton Recreation Center

## Detailed Report

**Address: 7421 Burton Ave, Rohnert Park, CA 94928**

### Statistics

Year Built:	1968
Re-Roof and Accessibility Upgrades	2004
Building Area:	7,615 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$1,431,270</b>
FCI:	0.165
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$8,677,000
Replacement Cost/SF:	\$1,187



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## Assessment Descriptions

### Architectural Elements

The Burton Recreation Center is a 7,600 SF, single-story, wood-frame and concrete masonry unit (CMU) building that was originally constructed in 1968. Minor alterations to some interior spaces and finishes were completed in 1976. In 2004, the existing built-up roofing was demolished and replaced with a new modified built-up roofing system. Concurrently, accessibility improvements were also made to the restrooms, path of travel, and vehicular parking. The facility consists of an entryway, large multi-use area, stage, kitchen, storage/meeting room and restrooms. The building is located on an approximately 1.6-acre lot which includes a paved drop-off circle and paved rear access driveway, landscaped areas with concrete, paved and decomposed granite paths, and a large turf field.

The interior finish materials consist of vinyl composition tile, ceramic tile, painted gypsum board, wood paneling, and concrete masonry block. The vinyl composition tile flooring and carpeting are generally in poor condition, and the painted gypsum board wall surfaces are showing signs of wear. It is recommended the flooring surfaces be replaced and walls be repainted within the next five years. Overall, the interior finish materials are in poor to fair condition.

The facility's exterior walls are comprised of a combination of CMU and wood siding. The wood siding is showing signs of age and wear, especially along the upper walls of the building. The single pane windows and exterior entrance doors are also showing signs of age and wear, and are past their expected useful life. Overall, the exterior finish materials are in fair to poor condition and recommended for repair or replacement.

### Site Elements

The site landscaping is in fair to good condition. The concrete pedestrian pavement is showing signs of age and, except for a few locations with cracking, appears to be in fair to good condition. The drop-off circle pavement appears to be in good condition with no significant signs of cracking or potholing but should be resealed soon. Finally, the rear access driveway pavement is showing signs of wear and potholing and should be replaced.

The AC paving at the drop-off circle appears to show signs of minor weathering and is recommended to be resealed.

### Mechanical Systems

The mechanical systems consist of packaged rooftop units serving the entire building in three zones. Rooftop exhaust fans serve the restroom areas, storage rooms, and kitchen spaces. An Ansul fume hood serves the kitchen gas equipment. The conditioned air is distributed to the spaces via diffusers through hard duct above the ceiling as well as on the roof. Overall, the mechanical systems appear to be in operational condition, however, the equipment has crushed, unsupported condensate piping which is causing the condensation to drain to the roof. The equipment was reported to be reused from a previous existing city facility and is now at the end of its expected useful service life.

### Electrical Systems

The electrical service is supplied underground to a 200A meter socket in the storage room. This supplies the adjacent main panel 'L'. Panel 'L' appears to have been relatively recently installed. Panel 'L' sub-feeds an older load center that appears original to the building.

Interior lighting is provided by ceiling mounted LED and fluorescent light fixtures. Most of the lighting in the main area of the facility has been replaced with LED fixtures; however, the lobby and other areas appear to be the original fluorescent fixtures.

The exterior lighting system appears to be past its expected useful life.

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## Plumbing Elements

The plumbing systems consist of cold and hot domestic water piping, sanitary waste piping, vent piping and gas piping. The domestic hot water is provided by a central 40-gallon gas-fired water heater. The plumbing fixtures appear to be in operable condition and consist of flush valve floor mounted water closets, counter-mounted lavatory sinks, kitchen sink with disposal, dishwasher, and drinking fountain. Overall, the plumbing equipment and fixtures appear to be in good operational condition, however, the plumbing fixtures, though functional, are beginning to show signs of age.

## Fire Protection

The building is neither fire sprinklered nor equipped with a fire alarm system though portable fire extinguishers were observed throughout the building. The fire extinguishers throughout the building appear to be regularly inspected by the State Fire Marshal and swapped out accordingly.

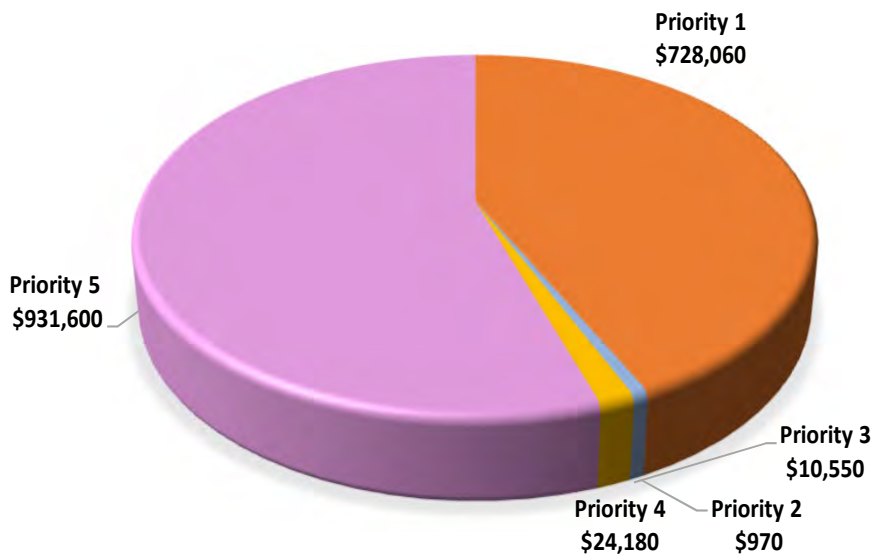
## Conclusion

For the Burton Recreation Center, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Burton Recreation Center						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$728,060	\$970	\$10,550	\$24,180	\$931,600	\$0	\$1,695,360
42.94%	0.06%	0.62%	1.43%	54.95%	0.00%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



**City of Rohnert Park  
Facility Condition Assessment**

Burton Recreation Center

**Capital Renewal Cost: \$1,431,270**

FCI: **0.165**

Replacement Cost: **\$8,677,000**

Condition Score: **C**

Replacement Cost/SF: **\$1,187**

Condition Rating: **POOR**

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$95,110	-	-	-	-	\$121,750	-
B2020	EXTERIOR WINDOWS	\$850	-	\$970	-	-	-	-
B2050	EXTERIOR DOORS AND GRILLES	\$22,600	\$24,420	-	-	-	-	-
B3010	ROOFING	\$324,730	\$350,710	-	-	-	-	-
B3020	ROOF APPURTENANCES	\$17,840	\$19,270	-	-	-	-	-
B3060	HORIZONTAL OPENINGS	\$16,730	\$18,070	-	-	-	-	-
C1030	INTERIOR DOORS	\$159,980	\$31,520	-	-	\$16,110	\$150,690	-
C2030	FLOORING	\$245,090	\$84,130	-	-	-	\$214,020	-
C2050	CEILING FINISHES	\$150,480	-	-	-	-	\$192,620	-
D2010	DOMESTIC WATER DISTRIBUTION	\$24,520	\$13,250	-	-	-	\$15,700	-
D2060	PROCESS SUPPORT PLUMBING SYSTEMS	\$310	\$340	-	-	-	-	-
D3030	COOLING SYSTEMS	\$133,830	\$144,540	-	-	-	-	-
D3060	VENTILATION	\$15,500	-	-	\$10,550	\$8,070	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$28,480	\$30,770	-	-	-	-	-
D5040	LIGHTING	\$8,550	\$9,240	-	-	-	-	-
E2010	FIXED FURNISHINGS	\$66,890	-	-	-	-	\$85,620	-
G2020	PARKING LOTS	\$116,490	-	-	-	-	\$149,110	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	\$1,310	\$1,420	-	-	-	-	-
G2060	SITE DEVELOPMENT	\$1,630	-	-	-	-	\$2,090	-

**City of Rohnert Park  
Facility Condition Assessment**

Burton Recreation Center

<b>Capital Renewal Cost:</b>	<b>\$1,431,270</b>	FCI:	<b>0.165</b>
Replacement Cost:	<b>\$8,677,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,187</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
G4010	SITE ELECTRIC DISTRIBUTION SYSTEMS	\$350	\$380	-	-	-	-	-
TOTALS		<b>\$1,431,270</b>	<b>\$728,060</b>	<b>\$970</b>	<b>\$10,550</b>	<b>\$24,180</b>	<b>\$931,600</b>	-
TOTAL (Priority 1-6 without escalation)		<b>\$1,431,270</b>	<b>\$1,695,360</b>					
			TOTAL (Priority 1-6 with escalation)					



**City of Rohnert Park  
Facility Condition Assessment**

**Burton Recreation Center**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engine Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1434	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.002	Entry	Exterior aluminum (storefront) entrance door is approaching the end of its useful life.	Replace aluminum door (storefront).	2	EA	\$7,400	\$17,350	1
1457	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.004	Exterior	Exterior glass entrance door is approaching the end of its useful life.	Replace glass entrance door.	1	EA	\$3,010	\$7,070	1
1269	B3010 - ROOFING	B3010.50.004	Roof	Modified bitumen roofing is at or approaching the end of its useful life.	Replace modified bitumen roofing.	9,500	SF	\$149,680	\$350,710	1
1453	B3020 - ROOF APPURTENANCES	B3020.70.001	Gutter	Rain leaders/gutters are damaged and leak.	Repair, replace rain leaders/gutters.	400	LF	\$8,220	\$19,270	1
1270	B3060 - HORIZONTAL OPENINGS	B3060.10.001	Roof	Skylights are approaching or past their expected useful life.	Remove the existing skylight and replace it with a new skylight.	75	SF	\$7,710	\$18,070	1
1464	C1030 - INTERIOR DOORS	C1030.10.001	Kitchen	Interior wood sliding door is at or approaching the end of its useful life.	Replace with new wood door.	3	EA	\$9,050	\$21,220	1
1440	C1030 - INTERIOR DOORS	C1030.10.004	Kitchen	Kitchen door missing.	Replace interior wood door, frame and hardware.	1	EA	\$4,390	\$10,300	1
1664	C2030 - FLOORING	C2030.20.001	Restroom	Ceramic tile floor is approaching the end of its useful life.	Remove the existing ceramic tile flooring and replace.	1,000	SF	\$27,130	\$63,570	1
1442	C2030 - FLOORING	C2030.75.002	Large Storage	Rolled carpeting is approaching the end of its useful life.	Remove existing rolled carpeting and replace it with new carpet flooring.	800	SF	\$8,770	\$20,560	1
252	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.002	Water Heater Closet	Gas fired water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,650	\$13,250	1
1274	D2060 - PROCESS SUPPORT PLUMBING SYSTEMS	D2060.30.003	Roof	Gas line on roof is corroded.	Repaint gas line on roof to prevent further deterioration.	50	LF	\$140	\$340	1
1267	D3030 - COOLING SYSTEMS	D3030.10.018	Roof	Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$48,180	1
1268	D3030 - COOLING SYSTEMS	D3030.10.018	Roof	Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$48,180	1
1273	D3030 - COOLING SYSTEMS	D3030.10.018	Roof	Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$48,180	1
1279	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1021	Storage	The 225A (40 ckts, 120/240, 1P) panelboard is past the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$10,520	\$24,660	1

**City of Rohnert Park  
Facility Condition Assessment**

**Burton Recreation Center**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1275	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4002	Storage	The 200A (24 ckts, indoor, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,600	\$6,110	1
1670	D5040 - LIGHTING	D5040.50.010	Exterior	The exterior ceiling mounted light fixture is damaged or approaching the end of its useful life and should be replaced.	Replace the existing or damaged exterior light fixture with a new light fixture.	10	EA	\$3,940	\$9,240	1
1662	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.107	Site	Concrete paving is cracking.	Replace concrete paving.	40	SF	\$600	\$1,420	1
1454	G4010 - SITE ELECTRIC DISTRIBUTION SYSTEMS	G4010.10.001	Roof	The wiring device (outlet box, junction box, receptacle, etc.) needs to be replaced.	Supply and install a new junction box and cover.	1	EA	\$160	\$380	1
1460	B2020 - EXTERIOR WINDOWS	B2020.20.001	Exterior	Wood window is approaching the end of its useful life.	Replace wood window.	35	SF	\$390	\$970	2
1272	D3060 - VENTILATION	D3060.30.004	Roof	Small roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	2	EA	\$4,120	\$10,550	3
1433	C1030 - INTERIOR DOORS	C1030.10.001	Men and Women's Restrooms	Interior wood door is at or approaching the end of its useful life.	Replace with new wood door.	2	EA	\$6,030	\$16,110	4
1265	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$8,070	4
1462	B2010 - EXTERIOR WALLS	B2010.10.003	Exterior	Wood board siding is approaching the end of its useful life.	Replace or repair the existing wood siding. Place a new siding over building paper and plywood sheathing.	4,000	SF	\$43,840	\$121,750	5
1439	C1030 - INTERIOR DOORS	C1030.10.001	Throughout	Interior wood door is at or approaching the end of its useful life.	Replace with new wood door.	18	EA	\$54,260	\$150,690	5
1437	C2030 - FLOORING	C2030.50.001	Throughtout	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	7,500	SF	\$77,070	\$214,020	5
1455	C2050 - CEILING FINISHES	C2050.10.001	Throughout	Painted gypsum wallboard ceiling is approaching the end of its useful life.	Remove the existing gypsum board ceiling and replace. Tape and paint.	8,100	SF	\$69,360	\$192,620	5
1280	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.002	Kitchen	Gas fired water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,650	\$15,700	5

**City of Rohnert Park  
Facility Condition Assessment**

**Burton Recreation Center**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1441	E2010 - FIXED FURNISHINGS	E2010.30.004	Kitchen	The existing casework is at or is approaching the end of its useful life.	Replace original wood cabinets and countertops.	50	LF	\$30,830	\$85,620	5
1463	G2020 - PARKING LOTS	G2020.10.001	AC Paving	AC paving has faded or has minor weathering.	Provide chip seal.	3,800	SF	\$20,310	\$56,410	5
1445	G2020 - PARKING LOTS	G2020.10.002	Site	AC paving shows evidence of potholing.	Replace AC pavement section.	2,800	SF	\$33,380	\$92,700	5
1446	G2060 - SITE DEVELOPMENT	G2060.60.011	Trash Enclosure	CMU trash enclosure walls are showing signs of age and wear.	Repaint walls.	260	SF	\$750	\$2,090	5
1443	B1010 - FLOOR CONSTRUCTION	B1010.10.000	1	Evidence of water infiltration in CMU wall along floor.	Monitor and verify if infiltration is active.	1		-	-	7

**City of Rohnert Park  
Facility Condition Assessment**

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**Burton Recreation Center**

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Record ID 252  
System D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life 1989 / 15 / -18

Item No. D2010.20.002  
Floor/Room: / Water Heater Closet

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$13,250

Deficiency Description: *Gas fired water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID 1265  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 25 / -

Item No. D3060.30.005

Floor/Room:

**Priority:** 4

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$8,070

Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Exhaust fan shown in photo serve the kitchen.*



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Record ID 1267  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. D3030.10.018

Floor/Room: Roof / Roof

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$48,180

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Condensate lines crushed and disconnected and unsupported on roof.*



**City of Rohnert Park  
Facility Condition Assessment**

**Burton Recreation Center**

Record ID: 1268  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: - / 15 / -

Item No.: D3030.10.018  
 Floor/Room: Roof / Roof

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$48,180  
 Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Condensate lines crushed and disconnected and unsupported on roof.*



Record ID: 1269  
 System: B3010 - ROOFING

Year Installed / Industry Life / Remaining Useful Life: 2004 / 10 / -8

Item No.: B3010.50.004  
 Floor/Room: Roof

**Priority:** 1

Quantity/Unit of Measure: 9,500/SF  
 Total Deficiency Cost: \$350,710  
 Deficiency Description: *Modified bitumen roofing is at or approaching the end of its useful life.*

Description of Work: *Replace modified bitumen roofing.*

Comments:



Record ID: 1270  
 System: B3060 - HORIZONTAL OPENINGS

Year Installed / Industry Life / Remaining Useful Life: - / 50 / -

Item No.: B3060.10.001  
 Floor/Room: Roof / Roof

**Priority:** 1

Quantity/Unit of Measure: 75/SF  
 Total Deficiency Cost: \$18,070  
 Deficiency Description: *Skylights are approaching or past their expected useful life.*

Description of Work: *Remove the existing skylight and replace it with a new skylight.*

Comments: *Skylights show signs of age and discoloring.*



**City of Rohnert Park  
Facility Condition Assessment**

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**Burton Recreation Center**

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Record ID 1272  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 25 / -  
Item No. D3060.30.004  
Floor/Room: Roof / Roof  
**Priority:** 3  
Quantity/Unit of Measure: 2/EA  
Total Deficiency Cost: \$10,550  
Deficiency Description: *Small roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Exhaust fans shown in photo serve restroom spaces.*



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Record ID 1273  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life 2005 / 15 / -2  
Item No. D3030.10.018  
Floor/Room: Roof / Roof  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$48,180  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Condensate lines crushed and disconnected and unsupported on roof.*



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Record ID 1274  
System D2060 - PROCESS SUPPORT PLUMBING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -  
Item No. D2060.30.003  
Floor/Room: Roof / Roof  
**Priority:** 1  
Quantity/Unit of Measure: 50/LF  
Total Deficiency Cost: \$340  
Deficiency Description: *Gas line on roof is corroded.*

Description of Work: *Repaint gas line on roof to prevent further deterioration.*

Comments: *Main gas line on roof should be investigated for overall integrity before repainting. Recommend replacement to service if units are being replaced.*



**City of Rohnert Park  
Facility Condition Assessment**

**Burton Recreation Center**

Record ID: 1275  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 2005 / 30 / 13  
 Item No.: D5020.30.4002  
 Floor/Room: 1st / Storage  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$6,110  
 Deficiency Description: *The 200A (24 ckts, indoor, 1P) load center is approaching the end of its expected useful life.*  
 Description of Work: *Replace the existing load center with a new load center.*  
 Comments: *Age estimated. Equipment is not original.*



Record ID: 1279  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1968 / - / -  
 Item No.: D5020.30.1021  
 Floor/Room: 1 / Storage  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$24,660  
 Deficiency Description: *The 225A (40 ckts, 120/240, 1P) panelboard is past the end of its expected useful life.*  
 Description of Work: *Replace the existing panelboard with a new panelboard.*  
 Comments:



Record ID: 1280  
 System: D2010 - DOMESTIC WATER DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: - / 15 / -  
 Item No.: D2010.20.002  
 Floor/Room: 1 / Kitchen  
**Priority:** 5  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$15,700  
 Deficiency Description: *Gas fired water heater is approaching the end of its expected useful life.*  
 Description of Work: *Provide equipment replacement and installation.*  
 Comments: *40 gallons*



**City of Rohnert Park  
Facility Condition Assessment**

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**Burton Recreation Center**

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Record ID 1433  
System C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. C1030.10.001

Floor/Room: 1 / Men and Women's Restrooms

**Priority:** 4

Quantity/Unit of Measure: 2/EA

Total Deficiency Cost: \$16,110

Deficiency Description: *Interior wood door is at or approaching the end of its useful life.*

Description of Work: *Replace with new wood door.*



Comments:

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Record ID 1434  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / 45 / -

Item No. B2050.10.002

Floor/Room: 1 / Entry

**Priority:** 1

Quantity/Unit of Measure: 2/EA

Total Deficiency Cost: \$17,350

Deficiency Description: *Exterior aluminum (storefront) entrance door is approaching the end of its useful life.*

Description of Work: *Replace aluminum door (storefront).*



Comments: *Front door in need of replacement*

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Record ID 1437  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.50.001

Floor/Room: 1 / Throughtout

**Priority:** 5

Quantity/Unit of Measure: 7,500/SF

Total Deficiency Cost: \$214,020

Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*



Comments:



# City of Rohnert Park Facility Condition Assessment

## Burton Recreation Center

Record ID: 1439  
System: C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life: - / 50 / -

Item No.: C1030.10.001  
Floor/Room: 1 / Throughout

**Priority:** 5

Quantity/Unit of Measure: 18/EA  
Total Deficiency Cost: \$150,690

Deficiency Description: *Interior wood door is at or approaching the end of its useful life.*

Description of Work: *Replace with new wood door.*

Comments: *Wood swing doors are showing signs of age and are past their useful life.*



Record ID: 1440  
System: C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: C1030.10.004  
Floor/Room: 1 / Kitchen

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$10,300

Deficiency Description: *Kitchen door missing.*

Description of Work: *Replace interior wood door, frame and hardware.*

Comments:



Record ID: 1441  
System: E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: E2010.30.004  
Floor/Room: 1 / Kitchen

**Priority:** 5

Quantity/Unit of Measure: 50/LF  
Total Deficiency Cost: \$85,620

Deficiency Description: *The existing casework is at or is approaching the end of its useful life.*

Description of Work: *Replace original wood cabinets and countertops.*

Comments: *Kitchen casework is showing signs of age and wear.*



**City of Rohnert Park  
Facility Condition Assessment**

**Burton Recreation Center**

Record ID: 1442  
 System: C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: C2030.75.002

Floor/Room: 1 / Large Storage

Priority: 1

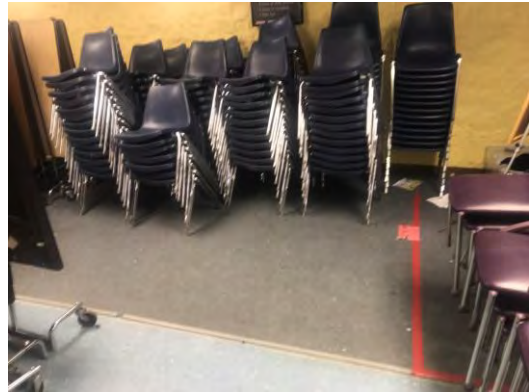
Quantity/Unit of Measure: 800/SF

Total Deficiency Cost: \$20,560

Deficiency Description: *Rolled carpeting is approaching the end of its useful life.*

Description of Work: *Remove existing rolled carpeting and replace it with new carpet flooring.*

Comments:



Record ID: 1443  
 System: B1010 - FLOOR CONSTRUCTION

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: B1010.10.000

Floor/Room: 1

Priority: 6

Quantity/Unit of Measure: 1/

Total Deficiency Cost: N/A - See Executive Summary

Deficiency Description: *Evidence of water infiltration in CMU wall along floor.*

Description of Work: *Monitor and verify if infiltration is active.*

Comments:



Record ID: 1445  
 System: G2020 - PARKING LOTS

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: G2020.10.002

Floor/Room: Site

Priority: 5

Quantity/Unit of Measure: 2,800/SF

Total Deficiency Cost: \$92,700

Deficiency Description: *AC paving shows evidence of potholing.*

Description of Work: *Replace AC pavement section.*

Comments: *Rear access drive way.*



**City of Rohnert Park  
Facility Condition Assessment**

**Burton Recreation Center**

Record ID: 1446  
 System: G2060 - SITE DEVELOPMENT  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: G2060.60.011  
 Floor/Room: Site / Trash Enclosure  
**Priority:** 5  
 Quantity/Unit of Measure: 260/SF  
 Total Deficiency Cost: \$2,090  
 Deficiency Description: *CMU trash enclosure walls are showing signs of age and wear.*

Description of Work: *Repaint walls.*

Comments:



Record ID: 1453  
 System: B3020 - ROOF APPURTENANCES  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: B3020.70.001  
 Floor/Room: Roof / Gutter  
**Priority:** 1  
 Quantity/Unit of Measure: 400/LF  
 Total Deficiency Cost: \$19,270  
 Deficiency Description: *Rain leaders/gutters are damaged and leak.*

Description of Work: *Repair, replace rain leaders/gutters.*

Comments: *Rain gutters are in need of repair and/or replacement.*



Record ID: 1454  
 System: G4010 - SITE ELECTRIC DISTRIBUTION SYSTEMS  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: G4010.10.001  
 Floor/Room: Roof  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$380  
 Deficiency Description: *The wiring device (outlet box, junction box, receptacle, etc.) needs to be replaced.*

Description of Work: *Supply and install a new junction box and cover.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Burton Recreation Center**

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Record ID 1455  
System C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. C2050.10.001  
Floor/Room: 1 / Throughout

**Priority:** 5  
Quantity/Unit of Measure: 8,100/SF  
Total Deficiency Cost: \$192,620

Deficiency Description: *Painted gypsum wallboard ceiling is approaching the end of its useful life.*

Description of Work: *Remove the existing gypsum board ceiling and replace. Tape and paint.*

Comments:



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Record ID 1457  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. B2050.10.004  
Floor/Room: 1 / Exterior

**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$7,070

Deficiency Description: *Exterior glass entrance door is approaching the end of its useful life.*

Description of Work: *Replace glass entrance door.*

Comments:



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Record ID 1460  
System B2020 - EXTERIOR WINDOWS

Year Installed / Industry Life / Remaining Useful Life - / 40 / -

Item No. B2020.20.001  
Floor/Room: 1 / Exterior

**Priority:** 2  
Quantity/Unit of Measure: 35/SF  
Total Deficiency Cost: \$970

Deficiency Description: *Wood window is approaching the end of its useful life.*

Description of Work: *Replace wood window.*

Comments: *Single pane window.*



**City of Rohnert Park  
Facility Condition Assessment**

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**Burton Recreation Center**

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Record ID 1462  
System B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. B2010.10.003

Floor/Room: 1 / Exterior

**Priority:** 5

Quantity/Unit of Measure: 4,000/SF

Total Deficiency Cost: \$121,750

Deficiency Description: *Wood board siding is approaching the end of its useful life.*

Description of Work: *Replace or repair the existing wood siding. Place a new siding over building paper and plywood sheathing.*

Comments:



Record ID 1463  
System G2020 - PARKING LOTS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. G2020.10.001

Floor/Room: Site / AC Paving

**Priority:** 5

Quantity/Unit of Measure: 3,800/SF

Total Deficiency Cost: \$56,410

Deficiency Description: *AC paving has faded or has minor weathering.*

Description of Work: *Provide chip seal.*

Comments: *Driveway pavement is showing signs of wear and age.*



Record ID 1464  
System C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. C1030.10.001

Floor/Room: 1 / Kitchen

**Priority:** 1

Quantity/Unit of Measure: 3/EA

Total Deficiency Cost: \$21,220

Deficiency Description: *Interior wood sliding door is at or approaching the end of its useful life.*

Description of Work: *Replace with new wood door.*

Comments: *Kitchen wood sliding doors are difficult to open and very heavy. Recommend replacement.*



**City of Rohnert Park  
Facility Condition Assessment**

**Burton Recreation Center**

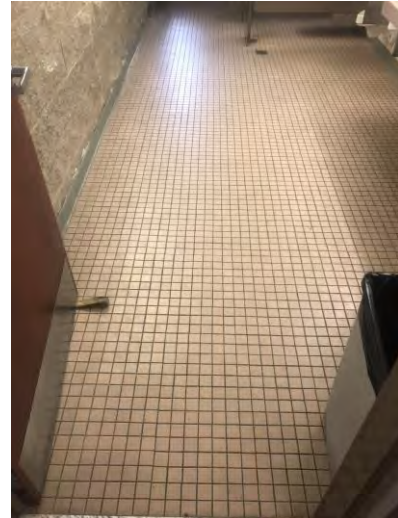
Record ID: 1662  
 System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: G2030.10.107  
 Floor/Room: Site  
**Priority:** 1  
 Quantity/Unit of Measure: 40/SF  
 Total Deficiency Cost: \$1,420  
 Deficiency Description: *Concrete paving is cracking.*



Description of Work: *Replace concrete paving.*

Comments: *Concrete pedestrian pavement is cracking at several locations along the path at the southern end of site.*

Record ID: 1664  
 System: C2030 - FLOORING  
 Year Installed / Industry Life / Remaining Useful Life: - / 60 / -  
 Item No.: C2030.20.001  
 Floor/Room: 1 / Restroom  
**Priority:** 1  
 Quantity/Unit of Measure: 1,000/SF  
 Total Deficiency Cost: \$63,570  
 Deficiency Description: *Ceramic tile floor is approaching the end of its useful life.*



Description of Work: *Remove the existing ceramic tile flooring and replace.*

Comments: *Tile flooring in men and women restrooms is showing signs of age.*

Record ID: 1670  
 System: D5040 - LIGHTING  
 Year Installed / Industry Life / Remaining Useful Life: 1968 / 20 / -34  
 Item No.: D5040.50.010  
 Floor/Room: 1 / Exterior  
**Priority:** 1  
 Quantity/Unit of Measure: 10/EA  
 Total Deficiency Cost: \$9,240  
 Deficiency Description: *The exterior ceiling mounted light fixture is damaged or approaching the end of its useful life and should be replaced.*



Description of Work: *Replace the existing or damaged exterior light fixture with a new light fixture.*

Comments: *Diffuser housing is discolored.*

# Burton Recreation Storage Building Detailed Report

**Address: 7421 Burton Avenue, Rohnert Park, CA 94928**

## Statistics

Year Built:	1968
Building Additions:	N/A
Building Area:	580 SF

## FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$53,560</b>
FCI:	0.131
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$408,00
Replacement Cost/SF:	\$702



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## Assessment Descriptions

### Architectural Elements

Built in 1968, the 580 SF Burton Recreation Storage Building is a portable structure consisting of wood siding and asphalt roofing, located adjacent to the Burton Recreation Center. The wood siding has been vandalized and is generally in poor condition while roofing material appears to be worn and shows signs of ponding throughout. The overhanging tree is creating significant piles of debris on top of the roof, which may shorten its lifespan. The interior of the building was not able to be accessed at the time of this assessment but is assumed to be used for storage. Overall, the building exterior is in poor condition with roof and siding replacement recommended within the next five years.

### Mechanical Systems

No mechanical systems were identified at the building.

### Electrical Systems

The building is not equipped with electrical power or a lighting system.

### Plumbing Elements

No plumbing systems were identified at the building.

### Fire Protection

The building is not equipped with a fire alarm or sprinkler system.



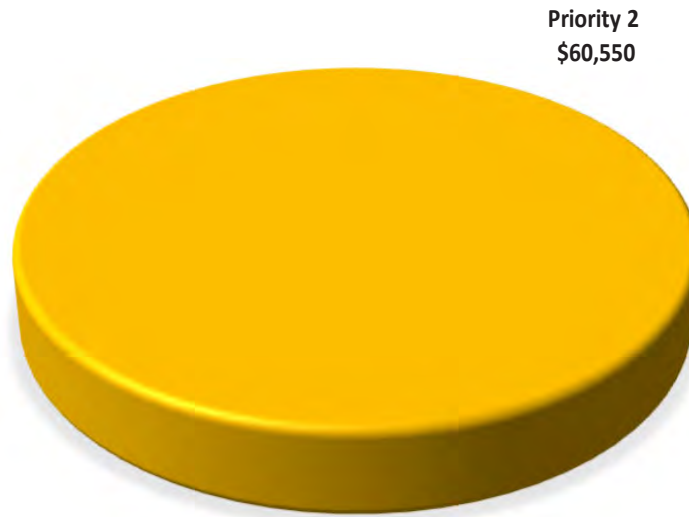
## Conclusion

For the Burton Recreation Storage Building, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Burton Recreation Storage Building						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$0	\$60,550	\$0	\$0	\$0	\$0	\$60,550
0.00%	100.00%	0.00%	0.00%	0.00%	0.00%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Burton Recreation Storage Building

<b>Capital Renewal Cost:</b>	<b>\$53,560</b>	FCI:	<b>0.131</b>
Replacement Cost:	<b>\$408,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$702</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$13,390	-	\$15,140	-	-	-	-
B2050	EXTERIOR DOORS AND GRILLES	\$13,390	-	\$15,140	-	-	-	-
B3010	ROOFING	\$26,780	-	\$30,270	-	-	-	-
<b>TOTALS</b>		<b>\$53,560</b>	<b>-</b>	<b>\$60,550</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>TOTAL</b> (Priority 1-6 without escalation)		<b>\$53,560</b>	<b>\$60,550</b>					
			<b>TOTAL</b> (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

**Burton Recreation Storage Building**

**DEFICIENCY TABLE**

*(1) Deficiency Cost = Qty x Unit Cost*

*(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)*

*General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds*

*City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location*

*Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.*

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1666	B2010 - EXTERIOR WALLS	B2010.10.001	Exterior	Plywood siding is approaching the end of its useful life.	Remove and replace the existing plywood siding with new plywood siding. Prime and paint.	900	SF	\$6,170	\$15,140	2
1665	B2050 - EXTERIOR DOORS AND GRILLES	B2050.70.001	Exterior	Existing gate is at or approaching the end of its useful life.	Install a new gate and associated gate hardware.	3	LS	\$6,170	\$15,140	2
1263	B3010 - ROOFING	B3010.50.001	Roof	Asphalt roofing is in poor condition.	Replace asphalt roofing.	600	SF	\$12,340	\$30,270	2

**City of Rohnert Park  
Facility Condition Assessment**

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**Burton Recreation Storage Building**

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Record ID: 1263  
System: B3010 - ROOFING  
  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: B3010.50.001  
Floor/Room: Roof  
**Priority:** 2  
Quantity/Unit of Measure: 600/SF  
Total Deficiency Cost: \$30,270  
Deficiency Description: *Asphalt roofing is in poor condition.*



Description of Work: *Replace asphalt roofing.*

Comments:

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Record ID: 1665  
System: B2050 - EXTERIOR DOORS AND GRILLES  
  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: B2050.70.001  
Floor/Room: 1st Floor / Exterior  
**Priority:** 2  
Quantity/Unit of Measure: 3/LS  
Total Deficiency Cost: \$15,140  
Deficiency Description: *Existing gate is at or approaching the end of its useful life.*



Description of Work: *Install a new gate and associated gate hardware.*

Comments: *(3) Security gates.*

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Record ID: 1666  
System: B2010 - EXTERIOR WALLS  
  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: B2010.10.001  
Floor/Room: 1st Floor / Exterior  
**Priority:** 2  
Quantity/Unit of Measure: 900/SF  
Total Deficiency Cost: \$15,140  
Deficiency Description: *Plywood siding is approaching the end of its useful life.*



Description of Work: *Remove and replace the existing plywood siding with new plywood siding. Prime and paint.*

Comments:

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# Callinan Sports and Fitness Center

## Detailed Report

**Address: 5405 Snyder Lane, Rohnert Park, CA 94928**

### Statistics

Year Built:	1987
Building Additions:	N/A
Building Area:	31,882 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$2,660,580</b>
FCI:	0.074
Condition Score:	B
Condition Rating:	Fair
Replacement Cost:	\$36,099,000
Replacement Cost/SF:	\$1,132



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## Assessment Descriptions

### Architectural Elements

The Callinan Sports & Fitness Center is a single-story, 31,822 SF, concrete and wood-frame building located adjacent to the Spreckels Performing Arts Center and Rohnert Park Community Center. The interior spaces consist of a gymnasium sports court, weight room, two racquetball courts, indoor playground, locker rooms, and a sauna. The interior finish materials consist of painted gypsum board walls, carpet flooring, vinyl composition tiles, glue-on acoustical ceiling tiles, ceramic tile, and hardwood gymnasium flooring. Overall, the interior finish materials are in fair to poor condition, with most of the flooring materials needing replacement within the next five years.

Exterior finish materials consist of board-and-batten siding and standing seam metal roofing with skylights. The exterior finish materials are generally in fair condition, with exception to the exterior siding, which shows signs of wear and is recommended for replacement within the next five years.

The site surfaces primarily consist of concrete-paved walkways and AC paving in the parking lot. The concrete walkways are generally showing signs of movement and cracking with asphalt patches on several concrete panels. The AC paving in the parking lot generally appears to be in fair condition. Overall, the site surfaces appear to be in fair condition with exception to several concrete walkway panels, which are recommended for replacement.

### Mechanical Systems

The mechanical systems consist of hydronic fan coil units, split system units, air handlers and in-line exhaust fans. The conditioned air is distributed to the spaces via concealed hard duct and diffusers. Overall, the mechanical systems appear to be in operable condition.

### Electrical Systems

The electrical service is routed underground to an 800A, 120/208V, 3-phase switchboard within an interior electrical room. This switchboard sub-feeds several panelboards throughout the building. The electrical equipment appears original to the 1980's installation and is past its expected useful life.

The interior and exterior lighting systems appear original to the building. Lighting systems were operational.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, gas piping, sanitary waste piping and vent piping. The domestic hot water is provided by both electric and duplex gas-fired water heater. The domestic water system has a series of pumps and expansion tanks to support the water distribution. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

The building has a recently installed addressable fire alarm system and devices. Record drawings show this was completed in 2020 and appears to be in good condition.



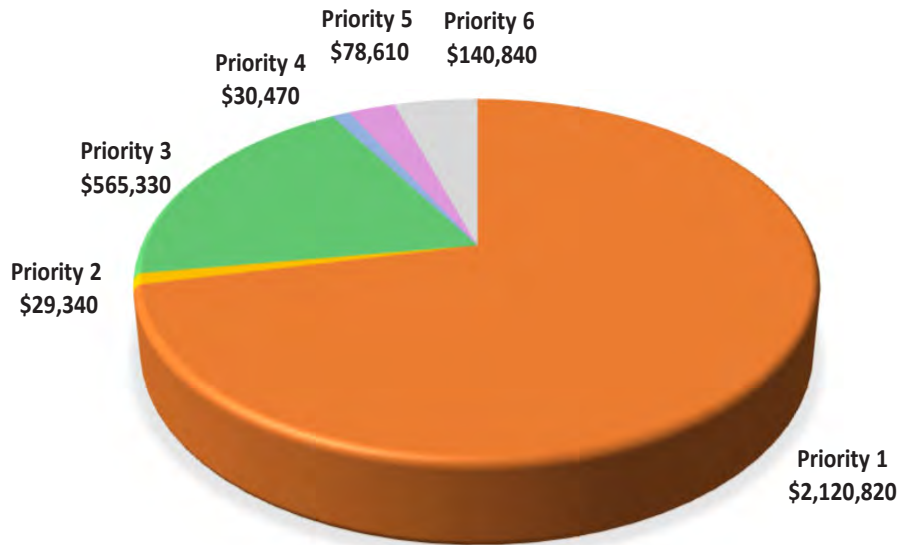
## Conclusion

For the Callinan Sports and Fitness Center, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Callinan Sports and Fitness Center						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$2,120,820	\$29,340	\$565,330	\$30,470	\$78,610	\$140,840	\$2,965,410
71.52%	0.99%	19.06%	1.03%	2.65%	4.75%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

**Callinan Sports & Fitness Center**

<b>Capital Renewal Cost:</b>	<b>\$2,660,580</b>	FCI:	<b>0.074</b>
Replacement Cost:	<b>\$36,099,000</b>	Condition Score:	<b>B</b>
Replacement Cost/SF:	<b>\$1,132</b>	Condition Rating:	<b>FAIR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B1020	ROOF CONSTRUCTION	\$310	\$340	-	-	-	-	-
B2010	EXTERIOR WALLS	\$2,390	-	-	\$2,830	-	-	-
C1010	INTERIOR PARTITIONS	\$1,590	\$1,730	-	-	-	-	-
C1030	INTERIOR DOORS	\$23,920	\$1,140	-	\$22,090	-	\$5,340	-
C2010	WALL FINISHES	\$102,250	-	-	\$120,690	-	-	-
C2030	FLOORING	\$263,360	-	\$19,960	\$264,510	-	\$27,660	-
C2050	CEILING FINISHES	\$660	\$720	-	-	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$3,090	-	-	\$3,650	-	-	-
D3030	COOLING SYSTEMS	\$102,880	-	-	\$24,600	-	\$45,610	\$61,740
D3050	FACILITY HVAC DISTRIBUTION SYSTEMS	\$59,460	-	-	-	-	-	\$79,100
D3060	VENTILATION	\$27,800	-	-	\$32,810	-	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$118,450	\$127,960	-	-	-	-	-
D5040	LIGHTING	\$1,802,600	\$1,946,820	-	-	-	-	-
D8010	INTEGRATED AUTOMATION FACILITY CONTROLS	\$38,990	\$42,110	-	-	-	-	-
E2010	FIXED FURNISHINGS	\$50,090	-	\$8,460	\$21,060	\$30,470	-	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	\$16,890	-	\$920	\$18,980	-	-	-
G2050	ATHLETIC, RECREATIONAL, AND PLAYFIELD AREAS	\$42,810	-	-	\$50,520	-	-	-
G2080	LANDSCAPING	\$3,040	-	-	\$3,590	-	-	-

**City of Rohnert Park  
Facility Condition Assessment**

Callinan Sports & Fitness Center

<b>Capital Renewal Cost:</b>	<b>\$2,660,580</b>	FCI:	<b>0.074</b>
Replacement Cost:	<b>\$36,099,000</b>	Condition Score:	<b>B</b>
Replacement Cost/SF:	<b>\$1,132</b>	Condition Rating:	<b>FAIR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
Uniformat Code	Building System Class	Current Costs	Priority 1 0-12 Months	Priority 2 1-2 Years	Priority 3 2-3 Years	Priority 4 3-4 Years	Priority 5 4-5 Years	Priority 6 6-10 Years
TOTALS		\$2,660,580	\$2,120,820	\$29,340	\$565,330	\$30,470	\$78,610	\$140,840
TOTAL (Priority 1-6 without escalation)		\$2,660,580	<b>\$2,965,410</b>					
			TOTAL (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

**Callinan Sports & Fitness Center**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
919	B1020 - ROOF CONSTRUCTION	B1020.10.003	Lobby	Wood beam shows signs of wear.	Clean, repair, seal, and refinish wood beam.	1	EA	\$140	\$340	1
941	C1010 - INTERIOR PARTITIONS	C1010.10.001	Mechanical Room	Painted gypsum wallboard is in poor condition with several cracks.	Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.	100	SF	\$290	\$690	1
966	C1010 - INTERIOR PARTITIONS	C1010.10.001	Racquetball Ball 2	Painted gypsum wallboard is in poor condition with several cracks.	Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.	150	SF	\$440	\$1,040	1
962	C1030 - INTERIOR DOORS	C1030.90.005	Janitor Closet	Interior door hardware is at or approaching the end of its useful life.	Replace interior door hardware.	1	EA	\$480	\$1,140	1
920	C2050 - CEILING FINISHES	C2050.80.003	Lobby	Glue-On Acoustical Ceiling Tile is in poor condition.	Remove existing Glue-On Acoustical and replace with new Glue-On Acoustical Tiles.	25	SF	\$300	\$720	1
567	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.304	Electrical	The 800A metered main switchboard (3P, 120/208 ) is past its expected useful life.	Replace the existing metered main switchboard with a new metered main switchboard.	1	EA	\$9,100	\$21,340	1
584	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1007	Storage	The 100A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$4,890	\$11,460	1
571	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1007	Mechanical	The 100A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$4,890	\$11,460	1
566	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	Electrical	The 225A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
564	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	Electrical	The 225A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
570	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1009	Mechanical	The 400A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$9,930	\$23,280	1
583	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1009	Storage	The 400A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$9,930	\$23,280	1

**City of Rohnert Park  
Facility Condition Assessment**

**Callinan Sports & Fitness Center**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1740	D5040 - LIGHTING	D5040.50.302		The exterior light fixture is past its expected useful life.	Replace the existing light fixture with an LED lighting fixture.	54	EA	\$52,330	\$122,620	1
560	D5040 - LIGHTING	D5040.50.411		Interior lighting system is past its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	31,882	SF	\$778,570	\$1,824,200	1
585	D8010 - INTEGRATED AUTOMATION FACILITY CONTROLS	D8010.60.001	Electrical	The 5kVA lighting battery back-up system is past the end of its expected useful life.	Replace the existing integrated lighting back-up system with new.	1	EA	\$17,970	\$42,110	1
956	C2030 - FLOORING	C2030.20.001	Women's Restroom	Ceramic tile floor is approaching the end of its useful life.	Remove the existing ceramic tile flooring and replace.	300	SF	\$8,140	\$19,960	2
938	E2010 - FIXED FURNISHINGS	E2010.20.003	Racquetball Court	Film/tint on window is deteriorating.	Remove and reinstall film coating.	250	SF	\$1,720	\$4,230	2
945	E2010 - FIXED FURNISHINGS	E2010.20.003	Court 1	Film/tint on window is deteriorating.	Remove and reinstall film coating.	250	SF	\$1,720	\$4,230	2
971	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Pavement	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	25	SF	\$370	\$920	2
958	B2010 - EXTERIOR WALLS	B2010.10.003	Exterior	Wood board siding is approaching the end of its useful life.	Replace or repair the existing wood siding. Place a new siding over building paper and plywood sheathing.	100	SF	\$1,100	\$2,830	3
944	C1030 - INTERIOR DOORS	C1030.10.001	Mechanical Room	Interior wood door is at or approaching the end of its useful life.	Replace with new wood door.	2	EA	\$6,030	\$15,450	3
954	C1030 - INTERIOR DOORS	C1030.10.008	Men's Locker	Interior wood door is in visual need of refurbishment.	Refurbish and restain the wood door.	1	EA	\$420	\$1,090	3
957	C1030 - INTERIOR DOORS	C1030.10.008	Women's Restroom	Interior wood door is in visual need of refurbishment.	Refurbish and restain the wood door.	1	EA	\$420	\$1,090	3
955	C1030 - INTERIOR DOORS	C1030.10.008	Men's Restroom	Interior wood door is in visual need of refurbishment.	Refurbish and restain the wood door.	1	EA	\$420	\$1,090	3
948	C1030 - INTERIOR DOORS	C1030.90.003	Racquetball Ball 2	Metal door and frame are in fair to poor condition.	Repair and refinish the metal door and frame.	1	EA	\$350	\$900	3
960	C1030 - INTERIOR DOORS	C1030.90.004	Janitor Closet	Paint finish at wood doors and frames is in poor condition.	Refinish doors and frames.	2	EA	\$960	\$2,470	3
953	C2010 - WALL FINISHES	C2010.20.002	Men's Sauna	The existing veneer plywood is damaged or worn.	Clean, prepare, and paint the plywood paneling.	250	SF	\$860	\$2,210	3
934	C2010 - WALL FINISHES	C2010.70.001	Racquetball Court	Painted gypsum wallboard is showing signs of wear.	Patch and paint the gypsum wallboard.	2,500	SF	\$21,410	\$54,820	3

**City of Rohnert Park  
Facility Condition Assessment**

Callinan Sports & Fitness Center

DEFICIENCY TABLE

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

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Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
946	C2010 - WALL FINISHES	C2010.70.001	Racquetball Ball 2	Painted gypsum wallboard is showing signs of wear.	Patch and paint the gypsum wallboard.	2,500	SF	\$21,410	\$54,820	3
949	C2010 - WALL FINISHES	C2010.70.001	Corridor	Painted gypsum wallboard is showing signs of wear.	Patch and paint the gypsum wallboard.	200	SF	\$1,720	\$4,420	3
967	C2010 - WALL FINISHES	C2010.70.001	Corridor	Painted gypsum wallboard is showing signs of wear.	Patch and paint the gypsum wallboard.	200	SF	\$1,720	\$4,420	3
952	C2030 - FLOORING	C2030.20.001	Men's Sauna	Ceramic tile floor is approaching the end of its useful life.	Remove the existing ceramic tile flooring and replace.	100	SF	\$2,720	\$6,980	3
926	C2030 - FLOORING	C2030.50.001	Server Room	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	150	SF	\$1,550	\$3,980	3
932	C2030 - FLOORING	C2030.50.001	Storage	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	100	SF	\$1,030	\$2,650	3
923	C2030 - FLOORING	C2030.50.001	Storage	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	100	SF	\$1,030	\$2,650	3
925	C2030 - FLOORING	C2030.50.001	Storage	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	100	SF	\$1,030	\$2,650	3
928	C2030 - FLOORING	C2030.50.001	Throughout	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	4,000	SF	\$41,100	\$105,230	3
933	C2030 - FLOORING	C2030.75.001	Corridor	Carpet tile is missing or damaged.	Replace carpet tile.	1,000	SF	\$10,960	\$28,070	3
924	C2030 - FLOORING	C2030.75.002	Classroom	Carpeting is approaching the end of its useful life.	Remove existing carpeting and replace it with new.	400	SF	\$4,390	\$11,250	3
947	C2030 - FLOORING	C2030.80.001	Racquetball Ball 2	Gymnasium floor is approaching the end of its useful life.	Replace the existing flooring with a new wood gym floor.	1,000	SF	\$21,920	\$56,130	3
935	C2030 - FLOORING	C2030.80.001	Racquetball Court	Gymnasium floor is approaching the end of its useful life.	Replace the existing flooring with a new wood gym floor.	800	SF	\$17,540	\$44,920	3
568	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.020		Electric water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$1,420	\$3,650	3
587	D3030 - COOLING SYSTEMS	D3030.70.011		Fan coil unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,800	\$12,300	3
590	D3030 - COOLING SYSTEMS	D3030.70.011		Fan coil unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,800	\$12,300	3

**City of Rohnert Park  
Facility Condition Assessment**

**Callinan Sports & Fitness Center**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

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Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
582	D3060 - VENTILATION	D3060.30.009		In-Line building exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$12,810	\$32,810	3
969	E2010 - FIXED FURNISHINGS	E2010.70.001	Basketball Court	Bleachers are in need of refurbishment.	Repair, refurbish, and refinish the bleachers accordingly.	100	LF	\$8,220	\$21,060	3
917	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Pavement	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	100	SF	\$1,480	\$3,800	3
976	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Pavement	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	300	SF	\$4,440	\$11,380	3
975	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Pavement	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	50	SF	\$740	\$1,900	3
977	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Pavement	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	50	SF	\$740	\$1,900	3
968	G2050 - ATHLETIC, RECREATIONAL, AND PLAYFIELD AREAS	G2050.10.028	Basketball Court	Basketball court wall padding is damaged.	Replace basketball court wall padding.	600	SF	\$19,730	\$50,520	3
562	G2080 - LANDSCAPING	G2080.10.027		Irrigation Controller is approaching the end of its expected useful life.	Replace existing irrigation controller.	1	EA	\$1,400	\$3,590	3
922	E2010 - FIXED FURNISHINGS	E2010.30.001	Reception	Plastic laminate countertops are at or are approaching the end of their useful life.	Repair or replace plastic laminate countertops.	40	LF	\$2,200	\$5,880	4
921	E2010 - FIXED FURNISHINGS	E2010.30.009	Office	Plastic Laminate Casework is at or will be approaching the end of its expected useful life.	Provide new plastic laminate casework (upper, lower, and countertop)	10	LF	\$9,210	\$24,590	4
930	C1030 - INTERIOR DOORS	C1030.90.004	Gymnasium Corridor	Paint finish at wood doors and frames is in poor condition.	Refinish doors and frames.	4	EA	\$1,920	\$5,340	5
942	C2030 - FLOORING	C2030.10.001	Mechanical Room	Concrete flooring is showing signs of cracking and wear.	Repair and refinish the concrete floor.	1,000	SF	\$6,860	\$19,060	5
931	C2030 - FLOORING	C2030.50.001	Janitor/Storage	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	100	SF	\$1,030	\$2,870	5
937	C2030 - FLOORING	C2030.50.001	Mechanical Shop	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	200	SF	\$2,060	\$5,730	5
586	D3030 - COOLING SYSTEMS	D3030.70.011		Fan coil unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,800	\$13,340	5



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**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
959	D3030 - COOLING SYSTEMS	D3030.70.043		Split system with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$11,620	\$32,270	5
569	D3030 - COOLING SYSTEMS	D3030.70.012		Fan coil unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$7,130	\$20,580	6
588	D3030 - COOLING SYSTEMS	D3030.70.012		Fan coil unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$7,130	\$20,580	6
581	D3030 - COOLING SYSTEMS	D3030.70.012		Fan coil unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$7,130	\$20,580	6
580	D3050 - FACILITY HVAC DISTRIBUTION SYSTEMS	D3050.50.014		Air handler return fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$13,700	\$39,550	6
579	D3050 - FACILITY HVAC DISTRIBUTION SYSTEMS	D3050.50.014		Air handler supply fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$13,700	\$39,550	6

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Record ID: 560  
 System: D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life: 1985 / 20 / -17

Item No.: D5040.50.411

Floor/Room:

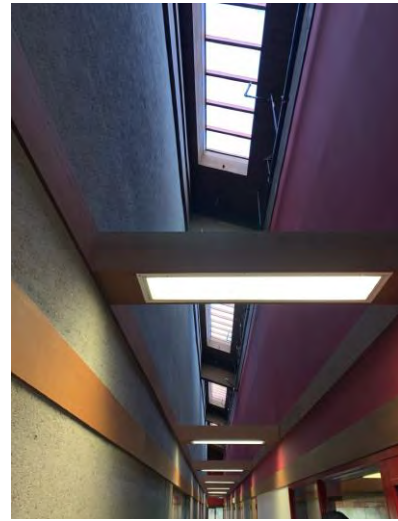
**Priority:** 1

Quantity/Unit of Measure: 31,882/SF  
 Total Deficiency Cost: \$1,824,200

Deficiency Description: *Interior lighting system is past its expected useful life.*

Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments:



Record ID: 562  
 System: G2080 - LANDSCAPING

Year Installed / Industry Life / Remaining Useful Life: - / 15 / -

Item No.: G2080.10.027

Floor/Room:

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$3,590

Deficiency Description: *Irrigation Controller is approaching the end of its expected useful life.*

Description of Work: *Replace existing irrigation controller.*

Comments:



Record ID: 564  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1985 / 30 / -7

Item No.: D5020.30.1008

Floor/Room: 1st / Electrical

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,570

Deficiency Description: *The 225A (120/208, 3P) panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



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**Callinan Sports & Fitness Center**

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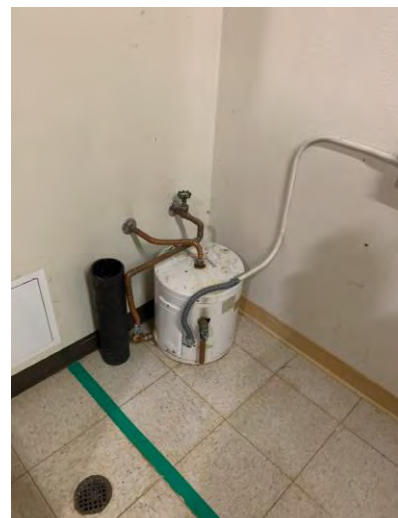
Record ID: 566  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1985 / 30 / -7  
Item No.: D5020.30.1008  
Floor/Room: 1st / Electrical  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$18,570  
Deficiency Description: *The 225A (120/208, 3P) panelboard is past its expected useful life.*  
  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
  
Comments:



Record ID: 567  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1985 / 20 / -17  
Item No.: D5020.10.304  
Floor/Room: 1st / Electrical  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$21,340  
Deficiency Description: *The 800A metered main switchboard (3P, 120/208 ) is past its expected useful life.*  
  
Description of Work: *Replace the existing metered main switchboard with a new metered main switchboard.*  
  
Comments:



Record ID: 568  
System: D2010 - DOMESTIC WATER DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: - / 15 / -  
Item No.: D2010.20.020  
Floor/Room:  
**Priority:** 3  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$3,650  
Deficiency Description: *Electric water heater is approaching the end of its expected useful life.*  
  
Description of Work: *Provide equipment replacement and installation.*  
  
Comments:



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Record ID: 569  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 1988 / 15 / -19

Item No.: D3030.70.012

Floor/Room:

Priority: 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$20,580

Deficiency Description: *Fan coil unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Although operational with electronic controls. It is recommended to plan for replacement for energy efficiency.*



Record ID: 570  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1985 / 30 / -7

Item No.: D5020.30.1009

Floor/Room: 1st / Mechanical

Priority: 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$23,280

Deficiency Description: *The 400A (120/208, 3P) panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments: *Rust observed.*



Record ID: 571  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1985 / 30 / -7

Item No.: D5020.30.1007

Floor/Room: 1st / Mechanical

Priority: 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$11,460

Deficiency Description: *The 100A (120/208, 3P) panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



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Record ID 579  
System D3050 - FACILITY HVAC DISTRIBUTION SYSTEMS  
Year Installed / Industry Life / Remaining Useful Life 1988 / 15 / -19  
Item No. D3050.50.014  
Floor/Room:  
**Priority: 7**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$39,550  
Deficiency Description: *Air handler supply fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Although operational with VFD and electronic controls. It is recommended to plan for replacement for energy efficiency.*



Record ID 580  
System D3050 - FACILITY HVAC DISTRIBUTION SYSTEMS  
Year Installed / Industry Life / Remaining Useful Life 1988 / 15 / -19  
Item No. D3050.50.014  
Floor/Room:  
**Priority: 7**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$39,550  
Deficiency Description: *Air handler return fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Although operational with VFD and electronic controls. It is recommended to plan for replacement for energy efficiency.*



Record ID 581  
System D3030 - COOLING SYSTEMS  
Year Installed / Industry Life / Remaining Useful Life 1988 / 15 / -19  
Item No. D3030.70.012  
Floor/Room:  
**Priority: 7**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$20,580  
Deficiency Description: *Fan coil unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Although operational with electronic controls. It is recommended to plan for replacement for energy efficiency.*



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Record ID: 582  
 System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: 1988 / 25 / -9

Item No.: D3060.30.009

Floor/Room:

Priority: 3

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$32,810

Deficiency Description: *In-Line building exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 583  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1985 / 30 / -7

Item No.: D5020.30.1009

Floor/Room: 1st / Storage

Priority: 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$23,280

Deficiency Description: *The 400A (120/208, 3P) panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID: 584  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1985 / 30 / -7

Item No.: D5020.30.1007

Floor/Room: 1st / Storage

Priority: 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$11,460

Deficiency Description: *The 100A (120/208, 3P) panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



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Record ID: 585  
 System: D8010 - INTEGRATED AUTOMATION FACILITY CONTROLS  
 Year Installed / Industry Life / Remaining Useful Life: 1985 / 15 / -22  
 Item No.: D8010.60.001  
 Floor/Room: 1st / Electrical  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$42,110  
 Deficiency Description: *The 5kVA lighting battery back-up system is past the end of its expected useful life.*

Description of Work: *Replace the existing integrated lighting back-up system with new.*

Comments:



Record ID: 586  
 System: D3030 - COOLING SYSTEMS  
 Year Installed / Industry Life / Remaining Useful Life: 1988 / 15 / -19  
 Item No.: D3030.70.011  
 Floor/Room:  
**Priority:** 5  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$13,340  
 Deficiency Description: *Fan coil unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Although operational with electronic controls. It is recommended to plan for replacement for energy efficiency.*



Record ID: 587  
 System: D3030 - COOLING SYSTEMS  
 Year Installed / Industry Life / Remaining Useful Life: 1988 / 15 / -19  
 Item No.: D3030.70.011  
 Floor/Room:  
**Priority:** 3  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$12,300  
 Deficiency Description: *Fan coil unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Although operational with electronic controls. It is recommended to plan for replacement for energy efficiency.*



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Record ID: 588  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 1988 / 15 / -19

Item No.: D3030.70.012

Floor/Room:

Priority: 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$20,580

Deficiency Description: *Fan coil unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Although operational with electronic controls. It is recommended to plan for replacement for energy efficiency.*



Record ID: 590  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 1988 / 15 / -19

Item No.: D3030.70.011

Floor/Room:

Priority: 3

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$12,300

Deficiency Description: *Fan coil unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Although operational with electronic controls. It is recommended to plan for replacement for energy efficiency.*



Record ID: 917  
 System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: G2030.10.005

Floor/Room: Site / Pavement

Priority: 3

Quantity/Unit of Measure: 100/SF  
 Total Deficiency Cost: \$3,800

Deficiency Description: *Concrete pavement has major damage / structural failure.*

Description of Work: *Replace concrete and base to match existing.*

Comments:





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Record ID 919  
System B1020 - ROOF CONSTRUCTION

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. B1020.10.003

Floor/Room: 1 / Lobby

Priority: 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$340  
Deficiency Description: *Wood beam shows signs of wear.*

Description of Work: *Clean, repair, seal, and refinish wood beam.*

Comments: *Potential water intrusion. Further investigation is recommended to determine the source of water damage.*



Record ID 920  
System C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. C2050.80.003

Floor/Room: 1 / Lobby

Priority: 1  
Quantity/Unit of Measure: 25/SF  
Total Deficiency Cost: \$720  
Deficiency Description: *Glue-On Acoustical Ceiling Tile is in poor condition.*

Description of Work: *Remove existing Glue-On Acoustical and replace with new Glue-On Acoustical Tiles.*

Comments: *Further investigation is recommended to determine the source of water damage.*



Record ID 921  
System E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. E2010.30.009

Floor/Room: 1 / Office

Priority: 4  
Quantity/Unit of Measure: 10/LF  
Total Deficiency Cost: \$24,590  
Deficiency Description: *Plastic Laminate Casework is at or will be approaching the end of its expected useful life.*

Description of Work: *Provide new plastic laminate casework (upper, lower, and countertop)*

Comments:



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Record ID 922  
System E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. E2010.30.001

Floor/Room: 1 / Reception

**Priority:** 4

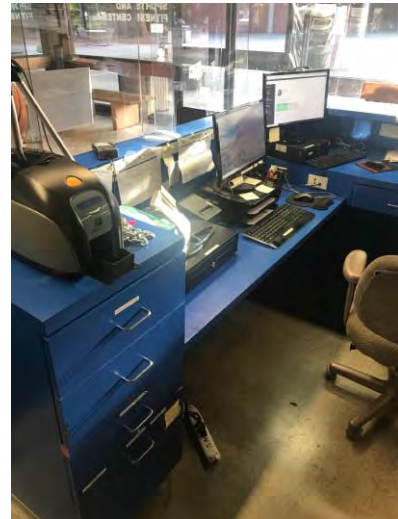
Quantity/Unit of Measure: 40/LF

Total Deficiency Cost: \$5,880

Deficiency Description: *Plastic laminate countertops are at or are approaching the end of their useful life.*

Description of Work: *Repair or replace plastic laminate countertops.*

Comments:



Record ID 923  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.50.001

Floor/Room: 1 / Storage

**Priority:** 3

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$2,650

Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



Record ID 924  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. C2030.75.002

Floor/Room: 1 / Classroom

**Priority:** 3

Quantity/Unit of Measure: 400/SF

Total Deficiency Cost: \$11,250

Deficiency Description: *Carpeting is approaching the end of its useful life.*

Description of Work: *Remove existing carpeting and replace it with new.*

Comments:



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Record ID 925  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.50.001

Floor/Room: 1 / Storage

Priority: 3

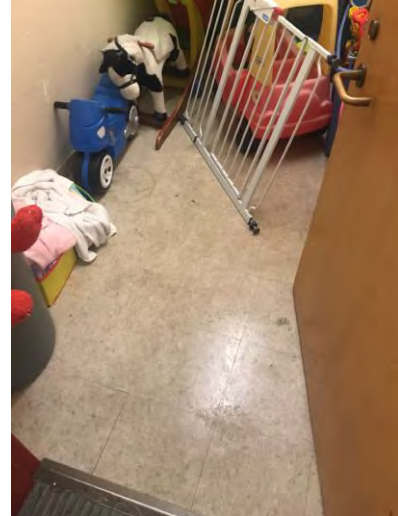
Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$2,650

Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



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Record ID 926  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.50.001

Floor/Room: 1 / Server Room

Priority: 3

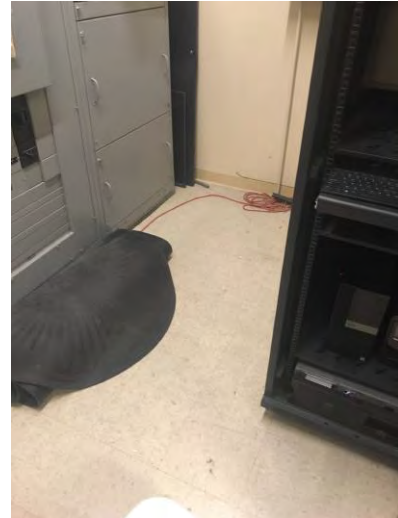
Quantity/Unit of Measure: 150/SF

Total Deficiency Cost: \$3,980

Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



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Record ID 928  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.50.001

Floor/Room: 1 / Throughout

Priority: 3

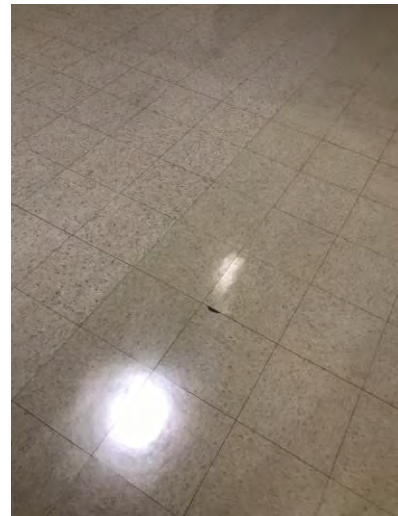
Quantity/Unit of Measure: 4,000/SF

Total Deficiency Cost: \$105,230

Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



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Record ID 930  
System C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. C1030.90.004

Floor/Room: 1st Floor / Gymnasium Corridor

**Priority:** 5

Quantity/Unit of Measure: 4/EA

Total Deficiency Cost: \$5,340

Deficiency Description: *Paint finish at wood doors and frames is in poor condition.*

Description of Work: *Refinish doors and frames.*

Comments:



Record ID 931  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.50.001

Floor/Room: 1st Floor / Janitor/Storage

**Priority:** 5

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$2,870

Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



Record ID 932  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.50.001

Floor/Room: / Storage

**Priority:** 3

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$2,650

Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



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Record ID: 933  
System: C2030 - FLOORING  
Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
Item No.: C2030.75.001  
Floor/Room: 1st Floor / Corridor  
**Priority:** 3  
Quantity/Unit of Measure: 1,000/SF  
Total Deficiency Cost: \$28,070  
Deficiency Description: *Carpet tile is missing or damaged.*

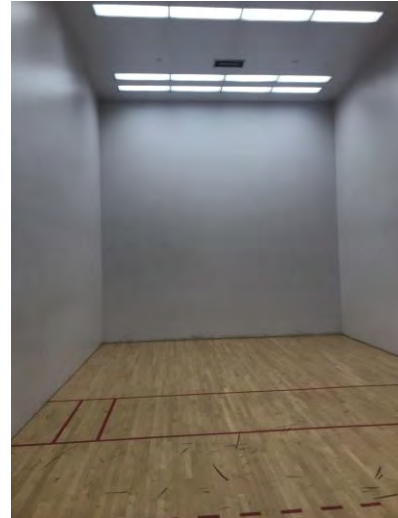


Description of Work: *Replace carpet tile.*

Comments: *check quantity*

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Record ID: 934  
System: C2010 - WALL FINISHES  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: C2010.70.001  
Floor/Room: 1st Floor / Racquetball Court  
**Priority:** 3  
Quantity/Unit of Measure: 2,500/SF  
Total Deficiency Cost: \$54,820  
Deficiency Description: *Painted gypsum wallboard is showing signs of wear.*

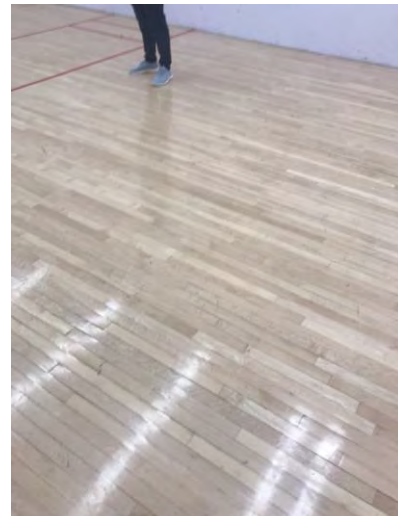


Description of Work: *Patch and paint the gypsum wallboard.*

Comments:

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Record ID: 935  
System: C2030 - FLOORING  
Year Installed / Industry Life / Remaining Useful Life: - / 40 / -  
Item No.: C2030.80.001  
Floor/Room: 1st Floor / Racquetball Court  
**Priority:** 3  
Quantity/Unit of Measure: 800/SF  
Total Deficiency Cost: \$44,920  
Deficiency Description: *Gymnasium floor is approaching the end of its useful life.*



Description of Work: *Replace the existing flooring with a new wood gym floor.*

Comments: *Floor is uneven down court.*

**City of Rohnert Park  
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Record ID: 937  
System: C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life: - / 60 / -

Item No.: C2030.50.001  
Floor/Room: 1st Floor / Mechanical Shop

**Priority:** 5

Quantity/Unit of Measure: 200/SF  
Total Deficiency Cost: \$5,730  
Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



Record ID: 938  
System: E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: E2010.20.003  
Floor/Room: 1st Floor / Racquetball Court

**Priority:** 2

Quantity/Unit of Measure: 250/SF  
Total Deficiency Cost: \$4,230  
Deficiency Description: *Film/tint on window is deteriorating.*

Description of Work: *Remove and reinstall film coating.*

Comments:



Record ID: 941  
System: C1010 - INTERIOR PARTITIONS

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

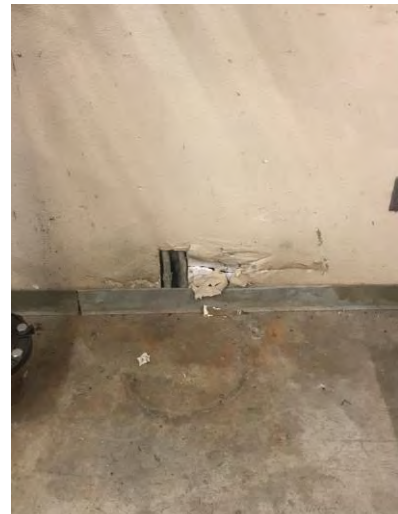
Item No.: C1010.10.001  
Floor/Room: 1st Floor / Mechanical Room

**Priority:** 1

Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$690  
Deficiency Description: *Painted gypsum wallboard is in poor condition with several cracks.*

Description of Work: *Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.*

Comments:



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Record ID: 942  
System: C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life: - / 50 / -  
Item No.: C2030.10.001  
Floor/Room: 1st Floor / Mechanical Room  
**Priority:** 5  
Quantity/Unit of Measure: 1,000/SF  
Total Deficiency Cost: \$19,060  
Deficiency Description: *Concrete flooring is showing signs of cracking and wear.*

Description of Work: *Repair and refinish the concrete floor.*

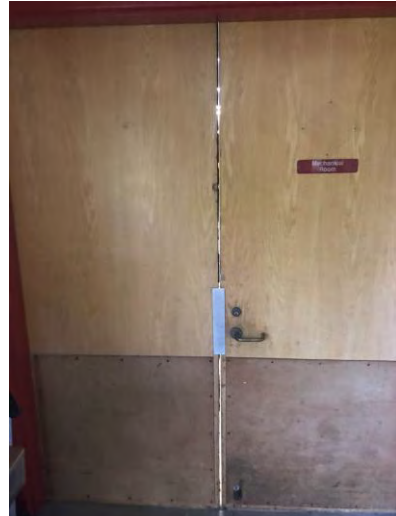
Comments:



Record ID: 944  
System: C1030 - INTERIOR DOORS  
  
Year Installed / Industry Life / Remaining Useful Life: - / 50 / -  
Item No.: C1030.10.001  
Floor/Room: 1st Floor / Mechanical Room  
**Priority:** 3  
Quantity/Unit of Measure: 2/EA  
Total Deficiency Cost: \$15,450  
Deficiency Description: *Interior wood door is at or approaching the end of its useful life.*

Description of Work: *Replace with new wood door.*

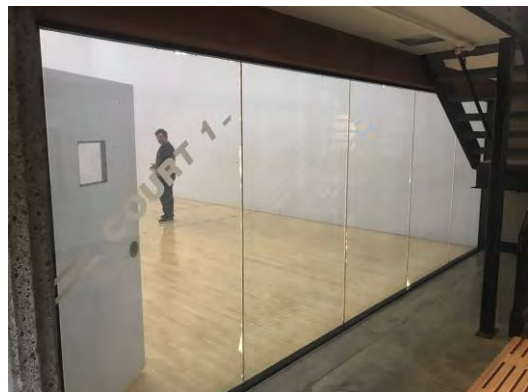
Comments:



Record ID: 945  
System: E2010 - FIXED FURNISHINGS  
  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: E2010.20.003  
Floor/Room: 1 / Court 1  
**Priority:** 2  
Quantity/Unit of Measure: 250/SF  
Total Deficiency Cost: \$4,230  
Deficiency Description: *Film/tint on window is deteriorating.*

Description of Work: *Remove and reinstall film coating.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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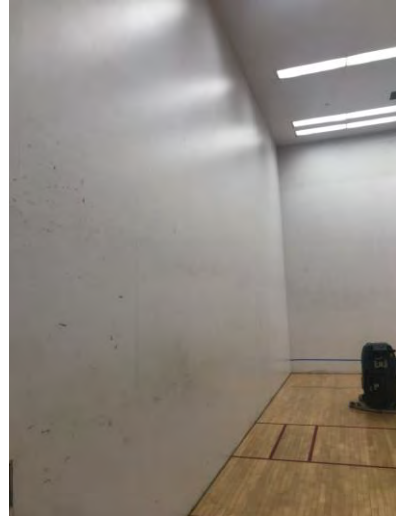
**Callinan Sports & Fitness Center**

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Record ID: 946  
System: C2010 - WALL FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: C2010.70.001  
Floor/Room: 1st Floor / Racquetball Ball 2  
**Priority:** 3  
Quantity/Unit of Measure: 2,500/SF  
Total Deficiency Cost: \$54,820  
Deficiency Description: *Painted gypsum wallboard is showing signs of wear.*

Description of Work: *Patch and paint the gypsum wallboard.*

Comments:



Record ID: 947  
System: C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life: - / 40 / -  
Item No.: C2030.80.001  
Floor/Room: 1st Floor / Racquetball Ball 2  
**Priority:** 3  
Quantity/Unit of Measure: 1,000/SF  
Total Deficiency Cost: \$56,130  
Deficiency Description: *Gymnasium floor is approaching the end of its useful life.*

Description of Work: *Replace the existing flooring with a new wood gym floor.*

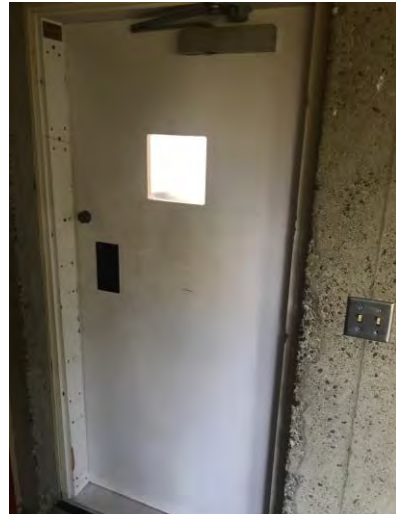
Comments:



Record ID: 948  
System: C1030 - INTERIOR DOORS  
  
Year Installed / Industry Life / Remaining Useful Life: - / 60 / -  
Item No.: C1030.90.003  
Floor/Room: 1 / Racquetball Ball 2  
**Priority:** 3  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$900  
Deficiency Description: *Metal door and frame are in fair to poor condition.*

Description of Work: *Repair and refinish the metal door and frame.*

Comments:





**City of Rohnert Park  
Facility Condition Assessment**

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**Callinan Sports & Fitness Center**

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Record ID: 949  
System: C2010 - WALL FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: C2010.70.001  
Floor/Room: 1 / Corridor  
**Priority:** 3  
Quantity/Unit of Measure: 200/SF  
Total Deficiency Cost: \$4,420  
Deficiency Description: *Painted gypsum wallboard is showing signs of wear.*

Description of Work: *Patch and paint the gypsum wallboard.*

Comments:



Record ID: 952  
System: C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life: - / 60 / -  
Item No.: C2030.20.001  
Floor/Room: 1 / Men's Sauna  
**Priority:** 3  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$6,980  
Deficiency Description: *Ceramic tile floor is approaching the end of its useful life.*

Description of Work: *Remove the existing ceramic tile flooring and replace.*

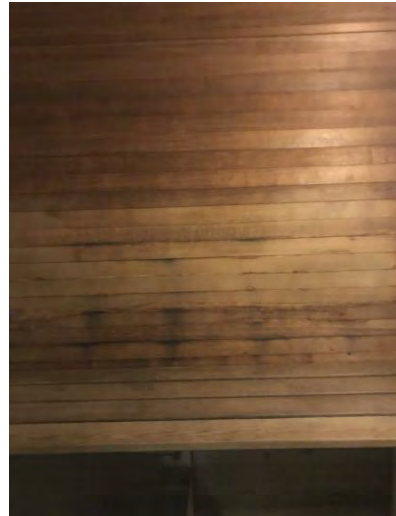
Comments:



Record ID: 953  
System: C2010 - WALL FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: C2010.20.002  
Floor/Room: 1 / Men's Sauna  
**Priority:** 3  
Quantity/Unit of Measure: 250/SF  
Total Deficiency Cost: \$2,210  
Deficiency Description: *The existing veneer plywood is damaged or worn.*

Description of Work: *Clean, prepare, and paint the plywood paneling.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Callinan Sports & Fitness Center**

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Record ID 954  
System C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. C1030.10.008

Floor/Room: **1 / Men's Locker**

**Priority:** 3

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$1,090

Deficiency Description: *Interior wood door is in visual need of refurbishment.*

Description of Work: *Refurbish and restrain the wood door.*

Comments:



Record ID 955  
System C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. C1030.10.008

Floor/Room: **1 / Men's Restroom**

**Priority:** 3

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$1,090

Deficiency Description: *Interior wood door is in visual need of refurbishment.*

Description of Work: *Refurbish and restrain the wood door.*

Comments:



Record ID 956  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.20.001

Floor/Room: **1 / Women's Restroom**

**Priority:** 2

Quantity/Unit of Measure: 300/SF

Total Deficiency Cost: \$19,960

Deficiency Description: *Ceramic tile floor is approaching the end of its useful life.*

Description of Work: *Remove the existing ceramic tile flooring and replace.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Callinan Sports & Fitness Center**

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Record ID 957  
System C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. C1030.10.008

Floor/Room: 1 / Women's Restroom

Priority: 3

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$1,090

Deficiency Description: *Interior wood door is in visual need of refurbishment.*

Description of Work: *Refurbish and restain the wood door.*

Comments:



Record ID 958  
System B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. B2010.10.003

Floor/Room: 1 / Exterior

Priority: 3

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$2,830

Deficiency Description: *Wood board siding is approaching the end of its useful life.*

Description of Work: *Replace or repair the existing wood siding. Place a new siding over building paper and plywood sheathing.*

Comments:



Record ID 959  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life 2012 / 15 / 5

Item No. D3030.70.043

Floor/Room:

Priority: 5

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$32,270

Deficiency Description: *Split system with fan coil and outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
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**Callinan Sports & Fitness Center**

Record ID: 960  
 System: C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: C1030.90.004  
 Floor/Room: 1 / Janitor Closet

**Priority:** 3

Quantity/Unit of Measure: 2/EA  
 Total Deficiency Cost: \$2,470

Deficiency Description: *Paint finish at wood doors and frames is in poor condition.*

Description of Work: *Refinish doors and frames.*

Comments:



Record ID: 962  
 System: C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: C1030.90.005  
 Floor/Room: 1 / Janitor Closet

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$1,140

Deficiency Description: *Interior door hardware is at or approaching the end of its useful life.*

Description of Work: *Replace interior door hardware.*

Comments:



Record ID: 966  
 System: C1010 - INTERIOR PARTITIONS

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: C1010.10.001  
 Floor/Room: 1 / Racquetball Ball 2

**Priority:** 1

Quantity/Unit of Measure: 150/SF  
 Total Deficiency Cost: \$1,040

Deficiency Description: *Painted gypsum wallboard is in poor condition with several cracks.*

Description of Work: *Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.*

Comments: *check qty*



**City of Rohnert Park  
Facility Condition Assessment**

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**Callinan Sports & Fitness Center**

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Record ID: 967  
System: C2010 - WALL FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: C2010.70.001  
Floor/Room: 1 / Corridor  
**Priority:** 3  
Quantity/Unit of Measure: 200/SF  
Total Deficiency Cost: \$4,420  
Deficiency Description: *Painted gypsum wallboard is showing signs of wear.*

Description of Work: *Patch and paint the gypsum wallboard.*

Comments:



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Record ID: 968  
System: G2050 - ATHLETIC, RECREATIONAL, AND PLAYFIELD AREAS  
  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: G2050.10.028  
Floor/Room: 1 / Basketball Court  
**Priority:** 3  
Quantity/Unit of Measure: 600/SF  
Total Deficiency Cost: \$50,520  
Deficiency Description: *Basketball court wall padding is damaged.*

Description of Work: *Replace basketball court wall padding.*

Comments:

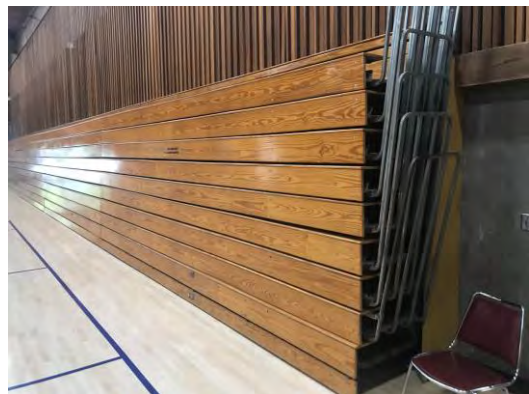


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Record ID: 969  
System: E2010 - FIXED FURNISHINGS  
  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: E2010.70.001  
Floor/Room: 1 / Basketball Court  
**Priority:** 3  
Quantity/Unit of Measure: 100/LF  
Total Deficiency Cost: \$21,060  
Deficiency Description: *Bleachers are in need of refurbishment.*

Description of Work: *Repair, refurbish, and refinish the bleachers accordingly.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Callinan Sports & Fitness Center**

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Record ID: 971  
System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: G2030.10.005  
Floor/Room: Site / Pavement  
**Priority:** 2  
Quantity/Unit of Measure: 25/SF  
Total Deficiency Cost: \$920  
Deficiency Description: *Concrete pavement has major damage / structural failure.*  
  
Description of Work: *Replace concrete and base to match existing.*  
  
Comments:



Record ID: 975  
System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: G2030.10.005  
Floor/Room: Site / Pavement  
**Priority:** 3  
Quantity/Unit of Measure: 50/SF  
Total Deficiency Cost: \$1,900  
Deficiency Description: *Concrete pavement has major damage / structural failure.*  
  
Description of Work: *Replace concrete and base to match existing.*  
  
Comments:



Record ID: 976  
System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: G2030.10.005  
Floor/Room: Site / Pavement  
**Priority:** 3  
Quantity/Unit of Measure: 300/SF  
Total Deficiency Cost: \$11,380  
Deficiency Description: *Concrete pavement has major damage / structural failure.*  
  
Description of Work: *Replace concrete and base to match existing.*  
  
Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Callinan Sports & Fitness Center**

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Record ID: 977  
System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: G2030.10.005  
Floor/Room: Site / Pavement  
**Priority:** 3  
Quantity/Unit of Measure: 50/SF  
Total Deficiency Cost: \$1,900  
Deficiency Description: *Concrete pavement has major damage / structural failure.*  
  
Description of Work: *Replace concrete and base to match existing.*  
  
Comments:



Record ID: 1740  
System: D5040 - LIGHTING  
Year Installed / Industry Life / Remaining Useful Life: 1985 / 20 / -17  
Item No.: D5040.50.302  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 54/EA  
Total Deficiency Cost: \$122,620  
Deficiency Description: *The exterior light fixture is past its expected useful life.*  
  
Description of Work: *Replace the existing light fixture with an LED lighting fixture.*  
  
Comments:



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# City Hall

## Detailed Report

**Address: 130 Avram Avenue, Rohnert Park, CA 94928**

### Statistics

Year Built:	N/A
Building Additions:	2007
Building Area:	14,771 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$2,446,100</b>
FCI:	0.160
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$15,243,000
Replacement Cost/SF:	\$1,032



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## Assessment Descriptions

### Architectural Elements

The City Hall building is a 14,771 SF, two-story, concrete and wood-frame structure located on Avram Avenue. Interior spaces consist of offices, conference rooms, storage rooms, lunch room, copy room, lobby, and library. Renovations to the interior finishes and parking lots were completed in 2007. The addition of a Council Chamber and elevator were also included as part of the renovation.

The interior finish materials consist of carpet flooring, vinyl composition tile, painted gypsum board, ceramic tiles, and lay-in acoustical ceiling tiles. Overall, the interior finishes are in fair to poor condition, with most of the carpet flooring and plastic laminate casework needing replacement within the next five years.

The exterior finishes consist of wood siding, stucco, ceramic tile wall, and modified-bituminous roofing. The roof is showing signs of ponding and appears to have been patched in several areas. It is recommended the entire roof be replaced within the next few years. Additionally, there is minor cracking throughout the exterior stucco wall surfaces that is recommended for repair.

### Mechanical Systems

The mechanical systems consist of packaged air conditioning units, split system units with furnace heating, data split system units, and rooftop ventilators. The conditioned air is distributed to the spaces via concealed hard duct and diffusers. Overall, the mechanical systems appear to be in operable condition.

### Electrical Systems

Electrical power is provided by a 1000A, 120/208V, 3-phase metered main switchboard. This sub-feeds several panelboards through the building. The electrical equipment was installed under the 2007 renovation and appeared to be in good condition.

The interior lighting system is approaching the end of its expected useful life within the next six years but showed no signs of deterioration. The exterior fixtures consists of wall sconces, light poles, and bollards. No concerns were noted. The exterior lighting system appears to be original to the facility and past its expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, gas piping, sanitary waste piping and vent piping. The domestic hot water is provided by both instant point-of-use and gas-fired water heaters. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

A fire alarm system was observed on site and appears to be in operable condition.

Staff recently tested the silent panic buttons throughout the facility and all are in working condition.

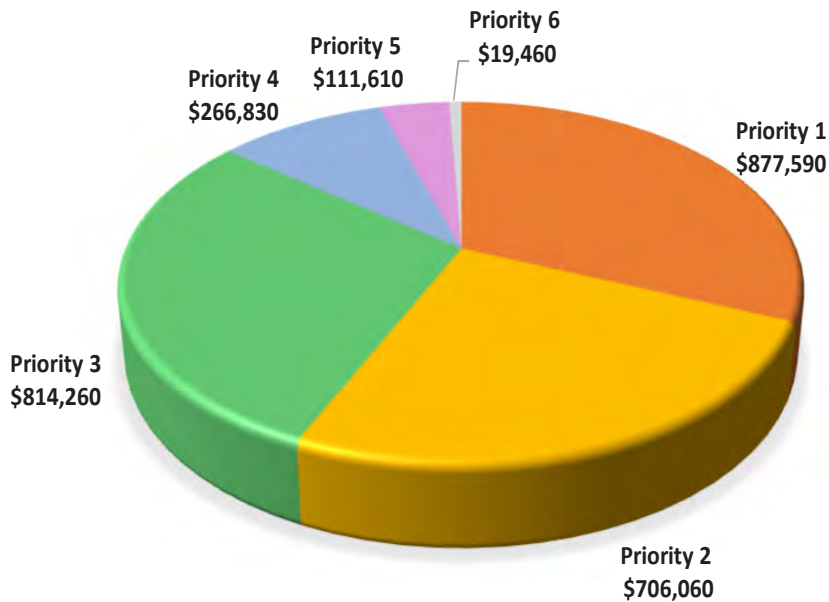
## Conclusion

For the City Hall, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

City Hall						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$877,590	\$706,060	\$814,260	\$266,830	\$111,610	\$19,460	\$2,795,810
31.39%	25.25%	29.12%	9.54%	3.99%	0.70%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

City Hall

<b>Capital Renewal Cost:</b>	<b>\$2,446,100</b>	FCI:	<b>0.160</b>
Replacement Cost:	<b>\$15,243,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,032</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Unifomat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$117,050	-	-	\$138,130	-	-	-
B3010	ROOFING	\$239,270	-	\$270,380	-	-	-	-
C1010	INTERIOR PARTITIONS	\$2,520	-	\$2,850	-	-	-	-
C1030	INTERIOR DOORS	\$1,840	-	-	\$2,180	-	-	-
C2010	WALL FINISHES	\$3,740	-	\$4,230	-	-	-	-
C2030	FLOORING	\$239,070	-	\$190	\$280,590	-	\$1,450	-
C2050	CEILING FINISHES	\$1,600	\$1,740	-	-	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$28,980	-	-	-	\$28,270	\$5,760	\$2,000
D3030	COOLING SYSTEMS	\$435,200	-	\$57,560	\$393,360	-	\$65,200	-
D3060	VENTILATION	\$13,120	-	-	-	-	-	\$17,460
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$30,620	-	-	-	-	\$39,200	-
D5040	LIGHTING	\$810,960	\$875,850	-	-	-	-	-
D7050	DETECTION AND ALARM	\$328,180	-	\$370,850	-	-	-	-
G2020	PARKING LOTS	\$193,950	-	-	-	\$238,560	-	-
<b>TOTALS</b>		<b>\$2,446,100</b>	<b>\$877,590</b>	<b>\$706,060</b>	<b>\$814,260</b>	<b>\$266,830</b>	<b>\$111,610</b>	<b>\$19,460</b>
TOTAL (Priority 1-6 without escalation)		<b>\$2,446,100</b>	<b>\$2,795,810</b>					
			TOTAL (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

City Hall

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engine Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1028	C2050 - CEILING FINISHES	C2050.70.001	Lobby	Paint is approaching the end of its useful life.	Paint the ceiling and/or walls (prime + 2 finish coats).	25	SF	\$80	\$200	1
1029	C2050 - CEILING FINISHES	C2050.80.001	Office	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	100	SF	\$650	\$1,540	1
637	D5040 - LIGHTING	D5040.10.003		The existing lighting controls are at or are approaching end of their expected useful life.	Replace the existing switches and provide a new lighting control system.	1	EA	\$480	\$1,140	1
1742	D5040 - LIGHTING	D5040.50.302		The exterior light fixture is past its expected useful life.	Replace the existing light fixture with an LED lighting fixture.	13	EA	\$12,600	\$29,530	1
1741	D5040 - LIGHTING	D5040.50.411		Interior lighting system is approaching the end its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	14,771	SF	\$360,720	\$845,180	1
1031	B3010 - ROOFING	B3010.50.004	Roof	Single-ply (modified bitumen) roofing is at or approaching the end of its useful life.	Replace single-ply (modified bitumen) roofing.	7,000	SF	\$110,290	\$270,380	2
1030	C1010 - INTERIOR PARTITIONS	C1010.10.001	Office	Painted gypsum wallboard is in poor condition with several cracks.	Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.	400	SF	\$1,160	\$2,850	2
1027	C2010 - WALL FINISHES	C2010.70.001	Office	Painted gypsum wallboard is showing signs of wear.	Patch and paint the gypsum wallboard.	200	SF	\$1,720	\$4,230	2
1026	C2030 - FLOORING	C2030.90.001	Break Room	Vinyl wall base is approaching the end of its useful life.	Replace the vinyl wall base.	10	LF	\$70	\$190	2
650	D3030 - COOLING SYSTEMS	D3030.70.002		Split system with wall mounted AC and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$7,030	\$17,250	2
655	D3030 - COOLING SYSTEMS	D3030.70.003		Air cooling only computer room split system with wall mounted AC and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$16,440	\$40,310	2
646	D7050 - DETECTION AND ALARM	D7050.10.022		The building fire alarm system is approaching end of its industry rated useful life.	Provide a fully addressable fire alarm control panel with associated initiating and signaling devices.	14,771	SF	\$151,270	\$370,850	2

**City of Rohnert Park  
Facility Condition Assessment**

City Hall

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1035	B2010 - EXTERIOR WALLS	B2010.10.016	Exterior	Painted stucco wall is showing signs of wear and cracking.	Clean, patch, and paint existing stucco walls.	5,000	SF	\$51,380	\$131,540	3
1020	B2010 - EXTERIOR WALLS	B2010.10.016	Exterior	Painted stucco wall is showing signs of age and wear.	Power wash and repaint existing stucco walls.	250	SF	\$2,570	\$6,590	3
1022	C1030 - INTERIOR DOORS	C1030.10.008	Women's Restroom	Interior wood door is in visual need of refurbishment.	Refurbish and restain the wood door.	1	EA	\$420	\$1,090	3
1021	C1030 - INTERIOR DOORS	C1030.10.008	Men's Restroom	Interior wood door is in visual need of refurbishment.	Refurbish and restain the wood door.	1	EA	\$420	\$1,090	3
1033	C2030 - FLOORING	C2030.75.001	Throughout	Carpet tile is missing or damaged.	Replace carpet tile.	10,000	SF	\$109,600	\$280,590	3
648	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$52,640	3
660	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$52,640	3
659	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$52,640	3
649	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$52,640	3
662	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$52,640	3
654	D3030 - COOLING SYSTEMS	D3030.70.043		Split system with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$11,620	\$29,750	3
656	D3030 - COOLING SYSTEMS	D3030.70.044		Split system with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$13,070	\$33,470	3
651	D3030 - COOLING SYSTEMS	D3030.70.044		Split system with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$13,070	\$33,470	3
653	D3030 - COOLING SYSTEMS	D3030.70.044		Split system with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$13,070	\$33,470	3

**City of Rohnert Park  
Facility Condition Assessment**

City Hall

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engine Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
665	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.003		Gas fired tankless water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$10,590	\$28,270	4
1036	G2020 - PARKING LOTS	G2020.10.002	North Parking Lot	AC paving shows evidence of potholing.	Replace AC pavement section.	7,500	SF	\$89,400	\$238,560	4
1024	C2030 - FLOORING	C2030.50.001	Janitor's Closet	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	50	SF	\$520	\$1,450	5
636	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.006		Instantaneous water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$690	\$1,920	5
635	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.006		Instantaneous water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$690	\$1,920	5
663	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.006		Instantaneous water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$690	\$1,920	5
661	D3030 - COOLING SYSTEMS	D3030.70.002		Split system with wall mounted AC and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$7,030	\$19,540	5
657	D3030 - COOLING SYSTEMS	D3030.70.003	Roof	Air cooling only computer room split system with wall mounted AC and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$16,440	\$45,660	5
670	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.305	1st	The 1000A metered main switchboard (3P, 120/208 ) is approaching the end of its expected useful life.	Replace the existing metered main switchboard with a new metered main switchboard.	1	EA	\$14,110	\$39,200	5
664	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.006		Instantaneous water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$690	\$2,000	6
652	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$8,730	6
658	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$8,730	6



**City of Rohnert Park  
Facility Condition Assessment**

**City Hall**

Record ID: 635  
 System: D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: - / 5 / -

Item No.: D2010.20.006

Floor/Room:

Priority: 5

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$1,920

Deficiency Description: *Instantaneous water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 636  
 System: D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 2011 / 5 / -6

Item No.: D2010.20.006

Floor/Room:

Priority: 5

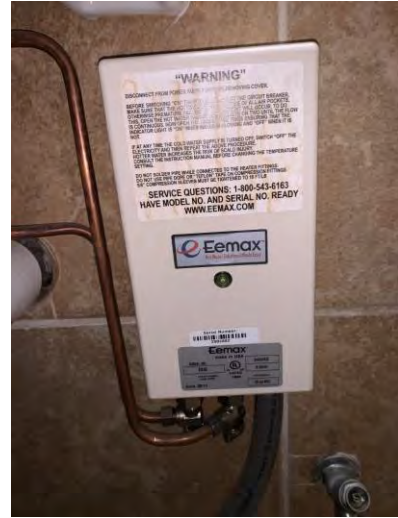
Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$1,920

Deficiency Description: *Instantaneous water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 637  
 System: D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life: 2007 / 20 / 5

Item No.: D5040.10.003

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$1,140

Deficiency Description: *The existing lighting controls are at or are approaching end of their expected useful life.*

Description of Work: *Replace the existing switches and provide a new lighting control system.*

Comments: *Broken and obsolete needs replacement*



**City of Rohnert Park  
Facility Condition Assessment**

**City Hall**

Record ID: 646  
 System: D7050 - DETECTION AND ALARM

Year Installed / Industry Life / Remaining Useful Life: 2007 / 15 / 0

Item No.: D7050.10.022

Floor/Room:

Priority: 2

Quantity/Unit of Measure: 14,771/SF  
 Total Deficiency Cost: \$370,850

Deficiency Description: *The building fire alarm system is approaching end of its industry rated useful life.*

Description of Work: *Provide a fully addressable fire alarm control panel with associated initiating and signaling devices.*

Comments:



Record ID: 648  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2008 / 15 / 1

Item No.: D3030.10.018

Floor/Room:

Priority: 3

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$52,640

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 649  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2008 / 15 / 1

Item No.: D3030.10.018

Floor/Room:

Priority: 3

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$52,640

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**City Hall**

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Record ID 650  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. D3030.70.002

Floor/Room:

**Priority:** 2

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$17,250

Deficiency Description: *Split system with wall mounted AC and outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID 651  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life 2007 / 15 / 0

Item No. D3030.70.044

Floor/Room:

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$33,470

Deficiency Description: *Split system with fan coil and outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID 652  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life 2007 / 25 / 10

Item No. D3060.30.005

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$8,730

Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**City Hall**

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Record ID 653  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life 2007 / 15 / 0

Item No. D3030.70.044

Floor/Room:

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$33,470

Deficiency Description: *Split system with fan coil and outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 654  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life 2007 / 15 / 0

Item No. D3030.70.043

Floor/Room:

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$29,750

Deficiency Description: *Split system with fan coil and outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 655  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. D3030.70.003

Floor/Room:

**Priority:** 2

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$40,310

Deficiency Description: *Air cooling only computer room split system with wall mounted AC and outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## City Hall

Record ID 656  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life 2007 / 15 / 0

Item No. D3030.70.044

Floor/Room:

Priority: 3

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$33,470

Deficiency Description: *Split system with fan coil and outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 657  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life 2018 / 15 / 11

Item No. D3030.70.003

Floor/Room: Roof

Priority: 5

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$45,660

Deficiency Description: *Air cooling only computer room split system with wall mounted AC and outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 658  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life 2007 / 25 / 10

Item No. D3060.30.005

Floor/Room:

Priority: 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$8,730

Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**City Hall**

Record ID: 659  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2008 / 15 / 1

Item No.: D3030.10.018

Floor/Room:

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$52,640

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 660  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2007 / 15 / 0

Item No.: D3030.10.018

Floor/Room:

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$52,640

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 661  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2010 / 15 / 3

Item No.: D3030.70.002

Floor/Room:

**Priority:** 5

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$19,540

Deficiency Description: *Split system with wall mounted AC and outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**City Hall**

Record ID: 662  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2008 / 15 / 1

Item No.: D3030.10.018

Floor/Room:

Priority: 3

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$52,640

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 663  
 System: D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: - / 5 / -

Item No.: D2010.20.006

Floor/Room:

Priority: 5

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$1,920

Deficiency Description: *Instantaneous water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 664  
 System: D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 2021 / 5 / 4

Item No.: D2010.20.006

Floor/Room:

Priority: 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$2,000

Deficiency Description: *Instantaneous water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**City Hall**

Record ID: 665  
System: D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 2007 / 15 / 0

Item No.: D2010.20.003

Floor/Room:

Priority: 4

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$28,270

Deficiency Description: *Gas fired tankless water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 670  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 2007 / 20 / 5

Item No.: D5020.10.305

Floor/Room: 1st

Priority: 5

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$39,200

Deficiency Description: *The 1000A metered main switchboard (3P, 120/208 ) is approaching the end of its expected useful life.*

Description of Work: *Replace the existing metered main switchboard with a new metered main switchboard.*

Comments:



Record ID: 1020  
System: B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life: - / 10 / -

Item No.: B2010.10.016

Floor/Room: 1 / Exterior

Priority: 3

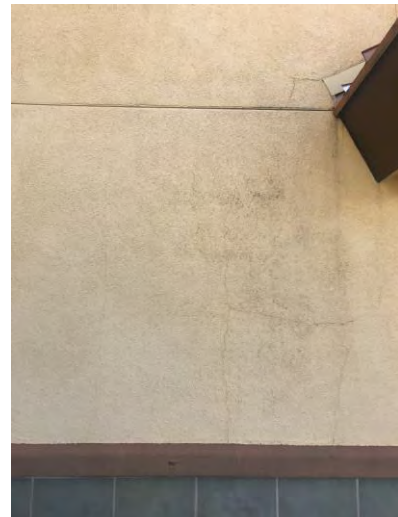
Quantity/Unit of Measure: 250/SF

Total Deficiency Cost: \$6,590

Deficiency Description: *Painted stucco wall is showing signs of age and wear.*

Description of Work: *Power wash and repaint existing stucco walls.*

Comments:





**City of Rohnert Park  
Facility Condition Assessment**

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**City Hall**

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Record ID: 1021  
System: C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: C1030.10.008  
Floor/Room: 1 / Men's Restroom

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$1,090  
Deficiency Description: *Interior wood door is in visual need of refurbishment.*

Description of Work: *Refurbish and restrain the wood door.*

Comments:



Record ID: 1022  
System: C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: C1030.10.008  
Floor/Room: 1 / Women's Restroom

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$1,090  
Deficiency Description: *Interior wood door is in visual need of refurbishment.*

Description of Work: *Refurbish and restrain the wood door.*

Comments:



Record ID: 1024  
System: C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life: - / 60 / -

Item No.: C2030.50.001  
Floor/Room: 1 / Janitor's Closet

**Priority:** 5

Quantity/Unit of Measure: 50/SF  
Total Deficiency Cost: \$1,450  
Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



## City of Rohnert Park Facility Condition Assessment

### City Hall

Record ID: 1026  
 System: C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: C2030.90.001  
 Floor/Room: 1 / Break Room

**Priority:** 2

Quantity/Unit of Measure: 10/LF  
 Total Deficiency Cost: \$190

Deficiency Description: *Vinyl wall base is approaching the end of its useful life.*

Description of Work: *Replace the vinyl wall base.*



Comments:

Record ID: 1027  
 System: C2010 - WALL FINISHES

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

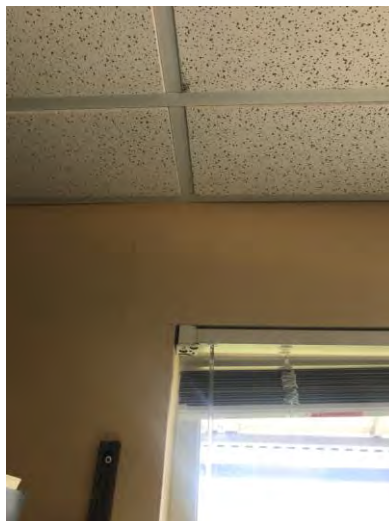
Item No.: C2010.70.001  
 Floor/Room: 2 / Office

**Priority:** 2

Quantity/Unit of Measure: 200/SF  
 Total Deficiency Cost: \$4,230

Deficiency Description: *Painted gypsum wallboard is showing signs of wear.*

Description of Work: *Patch and paint the gypsum wallboard.*



Comments:

Record ID: 1028  
 System: C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life: - / 75 / -

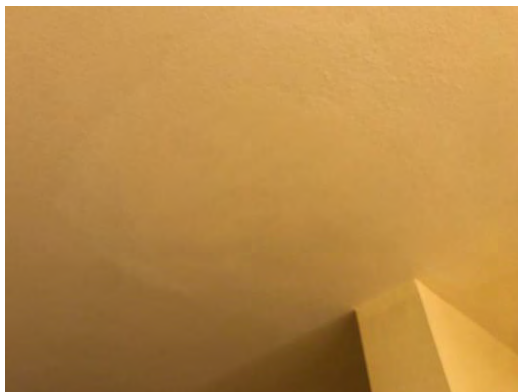
Item No.: C2050.70.001  
 Floor/Room: 2 / Lobby

**Priority:** 1

Quantity/Unit of Measure: 25/SF  
 Total Deficiency Cost: \$200

Deficiency Description: *Paint is approaching the end of its useful life.*

Description of Work: *Paint the ceiling and/or walls (prime + 2 finish coats).*



Comments: *Further investigation is recommended to determine source of water damage.*

**City of Rohnert Park  
Facility Condition Assessment**

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**City Hall**

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Record ID 1029  
System C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. C2050.80.001

Floor/Room: 2 / Office

Priority: 1

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$1,540

Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*



Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:

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Record ID 1030  
System C1010 - INTERIOR PARTITIONS

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. C1010.10.001

Floor/Room: 2 / Office

Priority: 2

Quantity/Unit of Measure: 400/SF

Total Deficiency Cost: \$2,850

Deficiency Description: *Painted gypsum wallboard is in poor condition with several cracks.*



Description of Work: *Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.*

Comments:

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Record ID 1031  
System B3010 - ROOFING

Year Installed / Industry Life / Remaining Useful Life - / 10 / -

Item No. B3010.50.004

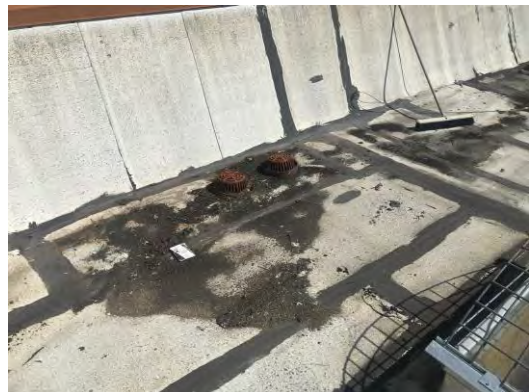
Floor/Room: Roof / Roof

Priority: 2

Quantity/Unit of Measure: 7,000/SF

Total Deficiency Cost: \$270,380

Deficiency Description: *Single-ply (modified bitumen) roofing is at or approaching the end of its useful life.*



Description of Work: *Replace single-ply (modified bitumen) roofing.*

Comments: *Signs of ponding and deterioration throughout.*

# City of Rohnert Park Facility Condition Assessment

## City Hall

Record ID: 1033  
System: C2030 - FLOORING  
Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
Item No.: C2030.75.001  
Floor/Room: 1 / Throughout  
**Priority:** 3  
Quantity/Unit of Measure: 10,000/SF  
Total Deficiency Cost: \$280,590  
Deficiency Description: *Carpet tile is missing or damaged.*



Description of Work: *Replace carpet tile.*

Comments: *Through first and second floor carpet.*

Record ID: 1035  
System: B2010 - EXTERIOR WALLS  
Year Installed / Industry Life / Remaining Useful Life: - / 10 / -  
Item No.: B2010.10.016  
Floor/Room: 1 / Exterior  
**Priority:** 3  
Quantity/Unit of Measure: 5,000/SF  
Total Deficiency Cost: \$131,540  
Deficiency Description: *Painted stucco wall is showing signs of wear and cracking.*



Description of Work: *Clean, patch, and paint existing stucco walls.*

Comments: *Entire stucco wall.*

Record ID: 1036  
System: G2020 - PARKING LOTS  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: G2020.10.002  
Floor/Room: Site / North Parking Lot  
**Priority:** 4  
Quantity/Unit of Measure: 7,500/SF  
Total Deficiency Cost: \$238,560  
Deficiency Description: *AC paving shows evidence of potholing.*



Description of Work: *Replace AC pavement section.*

Comments:

# City of Rohnert Park Facility Condition Assessment

## City Hall

Record ID 1741  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life 2007 / 20 / 5

Item No. D5040.50.411

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 14,771/SF

Total Deficiency Cost: \$845,180

Deficiency Description: *Interior lighting system is approaching the end its expected useful life.*

Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments:



Record ID 1742  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life 2007 / 20 / 5

Item No. D5040.50.302

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 13/EA

Total Deficiency Cost: \$29,530

Deficiency Description: *The exterior light fixture is past its expected useful life.*

Description of Work: *Replace the existing light fixture with an LED lighting fixture.*

Comments:



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# Community Center

## Detailed Report

**Address: 5401 Snyder Lane, Rohnert Park, CA 94928**

### Statistics

Year Built:	1976
Building Additions:	N/A
Building Area:	20,792 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$2,659,170</b>
FCI:	0.113
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$23,543,000
Replacement Cost/SF:	\$1,132



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## Assessment Descriptions

### Architectural Elements

The Community Center is a single-story, 20,792 SF, concrete and wood-frame building located adjacent to the Callinan Sports and Fitness Center. The building was originally constructed in 1976 and consists of basketball courts, tennis courts, locker rooms, child care area, lobby, and storage rooms. The building underwent roofing and siding system replacements in 2017. The interior finish materials consist of painted gypsum board, carpet flooring, vinyl composition tile, and ceramic tile. Overall, the interior finish materials are in fair condition, but it is recommended areas of the carpet be replaced and painted gypsum board walls and ceilings be repainted. The interior casework and cabinets are generally worn and are recommended for either refurbishment or replacement.

The exterior finish materials consist of board-and-batten wood siding, asphalt composition shingle roofing, and single-ply roofing, wood doors, aluminum windows. Some of the exterior wood doors are recommended for refinishing. Overall, the exterior finish materials are in fair condition.

### Mechanical Systems

The mechanical systems consist of packaged air conditioning units, split system units with furnace heating, and utility fan ventilators. The conditioned air is distributed to the spaces via concealed hard duct and diffusers. Overall, the mechanical systems appear to be in operable condition.

### Electrical Systems

Electrical power is provided by an 800 amp metered main switchboard that supplies several panelboards that appear to be original to the building and past their expected useful life. The equipment appears to be original to the 1970's installation. Interior and exterior lighting systems are operating but appear to be past their expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, gas piping, sanitary waste piping and vent piping. The domestic hot water is provided by gas-fired water heater. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

The building has a Silent Knight fire alarm panel and devices.



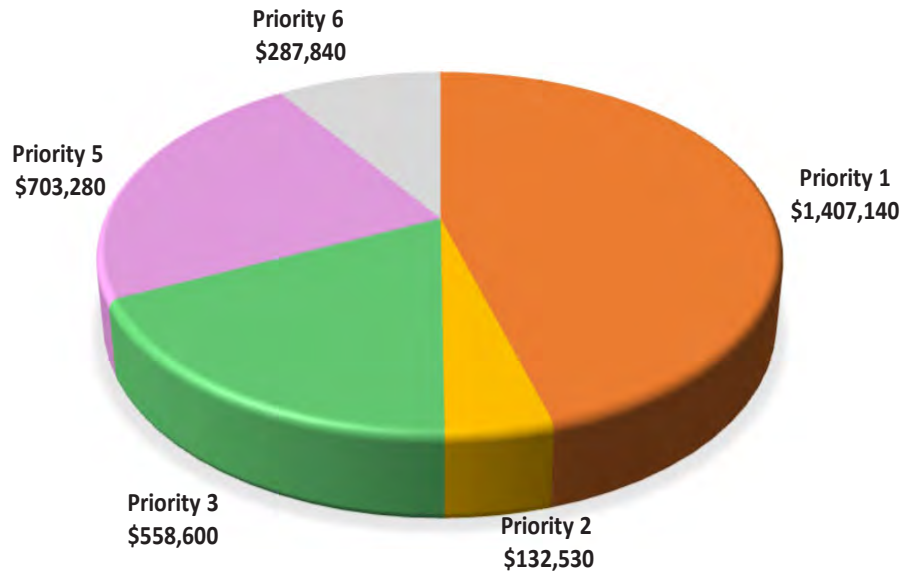
## Conclusion

For the Community Center, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Community Center						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$1,407,140	\$132,530	\$558,600	\$0	\$703,280	\$287,840	\$3,089,390
45.55%	4.29%	18.08%	0.00%	22.76%	9.32%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Community Center

**Capital Renewal Cost: \$2,659,170**

FCI: **0.113**

Replacement Cost: **\$23,543,000**

Condition Score: **C**

Replacement Cost/SF: **\$1,132**

Condition Rating: **POOR**

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B1020	ROOF CONSTRUCTION	\$310	-	-	\$370	-	-	-
B2010	EXTERIOR WALLS	\$47,580	-	-	\$22,460	-	\$36,550	-
B2050	EXTERIOR DOORS AND GRILLES	\$13,980	-	-	\$16,500	-	-	-
C2010	WALL FINISHES	\$2,390	-	\$2,710	-	-	-	-
C2030	FLOORING	\$150,310	-	\$26,320	\$133,060	-	\$18,320	-
C2050	CEILING FINISHES	\$7,480	\$4,040	-	\$4,420	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$47,500	\$13,250	-	\$27,120	-	-	\$16,310
D3020	HEATING SYSTEMS	\$220,770	\$34,060	-	-	-	-	\$251,720
D3030	COOLING SYSTEMS	\$225,390	-	\$103,500	\$157,920	-	-	-
D3060	VENTILATION	\$14,890	-	-	-	-	-	\$19,810
D5010	FACILITY POWER GENERATION	\$10,270	\$11,100	-	-	-	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$127,430	\$137,670	-	-	-	-	-
D5040	LIGHTING	\$1,101,540	\$1,189,670	-	-	-	-	-
D7050	DETECTION AND ALARM	\$461,940	-	-	-	-	\$591,290	-
E2010	FIXED FURNISHINGS	\$219,790	\$17,350	-	\$187,770	-	\$57,120	-
G2060	SITE DEVELOPMENT	\$4,560	-	-	\$5,390	-	-	-
G2080	LANDSCAPING	\$3,040	-	-	\$3,590	-	-	-

**City of Rohnert Park  
Facility Condition Assessment**

Community Center

<b>Capital Renewal Cost:</b>	<b>\$2,659,170</b>	FCI:	<b>0.113</b>
Replacement Cost:	<b>\$23,543,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,132</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
Uniformat Code	Building System Class	Current Costs	Priority 1 0-12 Months	Priority 2 1-2 Years	Priority 3 2-3 Years	Priority 4 3-4 Years	Priority 5 4-5 Years	Priority 6 6-10 Years
TOTALS		<b>\$2,659,170</b>	<b>\$1,407,140</b>	<b>\$132,530</b>	<b>\$558,600</b>	-	<b>\$703,280</b>	<b>\$287,840</b>
TOTAL (Priority 1-6 without escalation)		<b>\$2,659,170</b>	<b>\$3,089,390</b>					
			TOTAL (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

**Community Center**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
987	C2050 - CEILING FINISHES	C2050.10.001	1	Painted gypsum wallboard ceiling is approaching the end of its useful life.	Remove the existing gypsum board ceiling and replace. Tape and paint.	200	SF	\$1,720	\$4,040	1
627	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.002		Gas fired water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,650	\$13,250	1
628	D3020 - HEATING SYSTEMS	D3020.10.007		Furnace is approaching the end of its expected useful life.	Provide equipment replacement and installation.	2	EA	\$14,530	\$34,060	1
604	D5010 - FACILITY POWER GENERATION	D5010.10.601	1	The Vehicle Charger Power Source are at or are approaching the end of their useful lives.	Replace the charger.	2	KW	\$4,730	\$11,100	1
620	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.304	Mech	The 800A metered main switchboard (3P, 120/208 ) is past its expected useful life.	Replace the existing metered main switchboard with a new metered main switchboard.	1	EA	\$9,100	\$21,340	1
616	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	Equip	The 225A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
619	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	Equipment	The 225A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
617	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	1	The 225A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
609	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	1	The 225A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
603	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008		The 225A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
602	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	Mech	The 225A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
593	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001		The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1

**City of Rohnert Park  
Facility Condition Assessment**

**Community Center**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

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General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

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Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
595	D5040 - LIGHTING	D5040.50.411	1st Floor	Interior lighting system is functional but past its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	20,792	SF	\$507,750	\$1,189,670	1
1009	E2010 - FIXED FURNISHINGS	E2010.30.004	Garden Room	The existing casework is in need of refurbishment.	Repair, refurbish, and refinish the existing wood casework and counters.	12	LF	\$7,400	\$17,350	1
993	C2010 - WALL FINISHES	C2010.20.001	Corridor	Paneling is not in serviceable condition.	Remove and replace existing wood wall panels.	100	SF	\$1,100	\$2,710	2
990	C2030 - FLOORING	C2030.50.001	Workroom	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	200	SF	\$2,060	\$5,060	2
982	C2030 - FLOORING	C2030.50.002	Gymnasium	Sheet vinyl is approaching the end of its useful life.	Remove the existing sheet vinyl and replace.	500	SF	\$8,670	\$21,260	2
599	D3030 - COOLING SYSTEMS	D3030.70.002		Outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$7,030	\$17,250	2
614	D3030 - COOLING SYSTEMS	D3030.70.002		Outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$7,030	\$17,250	2
600	D3030 - COOLING SYSTEMS	D3030.70.002		Outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$7,030	\$17,250	2
623	D3030 - COOLING SYSTEMS	D3030.70.002		Outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$7,030	\$17,250	2
632	D3030 - COOLING SYSTEMS	D3030.70.002	Roof	Outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$7,030	\$17,250	2
622	D3030 - COOLING SYSTEMS	D3030.70.002		Outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$7,030	\$17,250	2
999	B1020 - ROOF CONSTRUCTION	B1020.10.003	Pottery	Wood roof beam is in need of refinishing.	Clean, repair, seal, and refinish wood beam.	1	EA	\$140	\$370	3
985	B2010 - EXTERIOR WALLS	B2010.10.003	Exterior	Wood veneer is showing signs of wear.	Clean and repaint exterior wood veneer.	800	SF	\$8,770	\$22,460	3
983	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.007	Exterior	Exterior wood door is damaged or deteriorating.	Refurbish/repair wood door.	3	EA	\$6,440	\$16,500	3

**City of Rohnert Park  
Facility Condition Assessment**

**Community Center**

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General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

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Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
989	C2030 - FLOORING	C2030.50.001	1	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	100	SF	\$1,030	\$2,650	3
997	C2030 - FLOORING	C2030.50.001	Crafts	Ceramic tile floor is approaching the end of its useful life.	Remove the existing ceramic tile flooring and replace.	800	SF	\$8,220	\$21,060	3
1006	C2030 - FLOORING	C2030.50.001	Storage	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	100	SF	\$1,030	\$2,650	3
1011	C2030 - FLOORING	C2030.75.001	Lobby	Carpet tile is showing signs of wear.	Replace carpet tile.	2,000	SF	\$21,920	\$56,130	3
1001	C2030 - FLOORING	C2030.75.001	Conference	Carpet tile is showing signs of wear.	Replace carpet tile.	400	SF	\$4,390	\$11,250	3
1002	C2030 - FLOORING	C2030.75.001	Meeting 1	Carpet tile is showing signs of wear.	Replace carpet tile.	400	SF	\$4,390	\$11,250	3
1010	C2030 - FLOORING	C2030.75.001	Garden Room	Carpet tile is showing signs of wear.	Replace carpet tile.	1,000	SF	\$10,960	\$28,070	3
992	C2050 - CEILING FINISHES	C2050.10.001	1	Painted gypsum wallboard ceiling is approaching the end of its useful life.	Remove the existing gypsum board ceiling and replace. Tape and paint.	100	SF	\$860	\$2,210	3
995	C2050 - CEILING FINISHES	C2050.10.001	1	Painted gypsum wallboard ceiling is approaching the end of its useful life.	Remove the existing gypsum board ceiling and replace. Tape and paint.	100	SF	\$860	\$2,210	3
610	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.003		Gas fired water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$10,590	\$27,120	3
615	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$52,640	3
630	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$52,640	3
631	D3030 - COOLING SYSTEMS	D3030.10.018	Roof	Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$52,640	3
1000	E2010 - FIXED FURNISHINGS	E2010.30.004	Pottery	The existing casework is at or is approaching the end of its useful life.	Replace original wood cabinets	50	LF	\$30,830	\$78,940	3
988	E2010 - FIXED FURNISHINGS	E2010.30.005	Workroom	The existing casework is in need of refurbishment.	Repair, refurbish, and refinish the existing wood casework and counters.	100	LF	\$27,400	\$70,160	3
1004	E2010 - FIXED FURNISHINGS	E2010.30.005	1	The existing casework is in need of refurbishment.	Repair, refurbish, and refinish the existing wood casework.	15	LF	\$4,120	\$10,550	3

**City of Rohnert Park  
Facility Condition Assessment**

**Community Center**

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Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
984	E2010 - FIXED FURNISHINGS	E2010.30.005	Storage	The existing casework is in need of refurbishment.	Repair, refurbish, and refinish the existing wood casework and counters.	5	LF	\$1,380	\$3,540	3
991	E2010 - FIXED FURNISHINGS	E2010.30.005	Storage	The existing casework is in need of refurbishment.	Repair, refurbish, and refinish the existing wood casework.	35	LF	\$9,600	\$24,580	3
978	G2060 - SITE DEVELOPMENT	G2060.20.004	Trash Enclosure	Wood fence is deteriorated or at end-of-life.	Replace wood fencing, including slats and posts.	150	SF	\$2,100	\$5,390	3
618	G2080 - LANDSCAPING	G2080.10.027		Irrigation Controller is approaching the end of its expected useful life.	Replace existing irrigation controller.	1	EA	\$1,400	\$3,590	3
1012	B2010 - EXTERIOR WALLS	B2010.10.003	Exterior	Wood board siding is showing signs of wear.	Replace or repair the existing wood siding. Place a new siding over building paper and plywood sheathing.	1,200	SF	\$13,160	\$36,550	5
996	C2030 - FLOORING	C2030.75.001	Office	Carpet tile is missing or damaged.	Replace carpet tile.	200	SF	\$2,200	\$6,120	5
994	C2030 - FLOORING	C2030.75.001	Corridor	Carpet tile is missing or damaged.	Replace carpet tile.	400	SF	\$4,390	\$12,200	5
601	D7050 - DETECTION AND ALARM	D7050.10.022	1	The building fire alarm system is approaching its expected useful life.	Replace with a new fire alarm system with associated initiating and signaling devices.	20,792	SF	\$212,930	\$591,290	5
998	E2010 - FIXED FURNISHINGS	E2010.30.005	Crafts	The existing casework is in need of refurbishment.	Repair, refurbish, and refinish the existing casework and counters.	25	LF	\$6,860	\$19,060	5
981	E2010 - FIXED FURNISHINGS	E2010.30.008	Gymnasium	Plastic laminate base cabinet (with countertop) is in poor condition.	Remove and replace with new plastic laminate base cabinet and countertop.	25	LF	\$13,700	\$38,060	5
605	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.002		Gas fired water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,650	\$16,310	6
612	D3020 - HEATING SYSTEMS	D3020.10.007		Furnace is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$7,270	\$20,990	6
606	D3020 - HEATING SYSTEMS	D3020.10.007		Furnace is approaching the end of its expected useful life.	Provide equipment replacement and installation.	2	EA	\$14,530	\$41,940	6
607	D3020 - HEATING SYSTEMS	D3020.10.007		Furnace is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$7,270	\$20,990	6
608	D3020 - HEATING SYSTEMS	D3020.10.007		Furnace is approaching the end of its expected useful life.	Provide equipment replacement and installation.	2	EA	\$14,530	\$41,940	6



**City of Rohnert Park  
Facility Condition Assessment**

**Community Center**

**DEFICIENCY TABLE**

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Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
626	D3020 - HEATING SYSTEMS	D3020.10.007		Furnace is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$7,270	\$20,990	6
611	D3020 - HEATING SYSTEMS	D3020.10.007		Furnace is approaching the end of its expected useful life.	Provide equipment replacement and installation.	2	EA	\$14,530	\$41,940	6
624	D3020 - HEATING SYSTEMS	D3020.10.007		Furnace is approaching the end of its expected useful life.	Provide equipment replacement and installation.	2	EA	\$14,530	\$41,940	6
625	D3020 - HEATING SYSTEMS	D3020.10.007		Furnace is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$7,270	\$20,990	6
613	D3060 - VENTILATION	D3060.30.011		Utility exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6

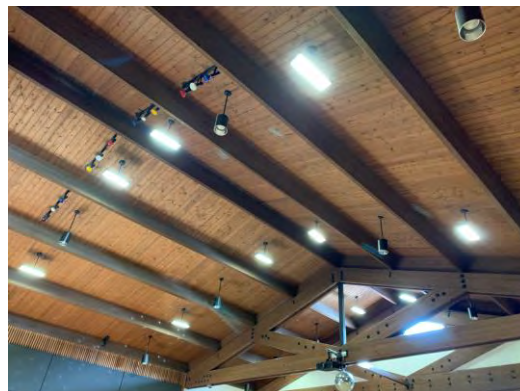
# City of Rohnert Park Facility Condition Assessment

## Community Center

Record ID: 593  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1978 / 30 / -14  
Item No.: D5020.30.4001  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$4,910  
Deficiency Description: *The load center is past its expected useful life.*  
Description of Work: *Replace the existing load center with a new load center.*  
Comments:



Record ID: 595  
System: D5040 - LIGHTING  
Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
Item No.: D5040.50.411  
Floor/Room: 1st Floor  
**Priority:** 1  
Quantity/Unit of Measure: 20,792/SF  
Total Deficiency Cost: \$1,189,670  
Deficiency Description: *Interior lighting system is functional but past its expected useful life.*  
Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*  
Comments:



Record ID: 599  
System: D3030 - COOLING SYSTEMS  
Year Installed / Industry Life / Remaining Useful Life: 2005 / 15 / -2  
Item No.: D3030.70.002  
Floor/Room:  
**Priority:** 2  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$17,250  
Deficiency Description: *Outdoor condensing unit is approaching the end of its expected useful life.*  
Description of Work: *Provide equipment replacement and installation.*  
Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Community Center**

Record ID: 600  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2005 / 15 / -2

Item No.: D3030.70.002

Floor/Room:

Priority: 2

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$17,250

Deficiency Description: *Outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 601  
 System: D7050 - DETECTION AND ALARM

Year Installed / Industry Life / Remaining Useful Life: 2012 / 15 / 5

Item No.: D7050.10.022

Floor/Room: 1

Priority: 5

Quantity/Unit of Measure: 20,792/SF  
 Total Deficiency Cost: \$591,290

Deficiency Description: *The building fire alarm system is approaching its expected useful life.*

Description of Work: *Replace with a new fire alarm system with associated initiating and signaling devices.*

Comments: *Estimated 2012 Installation (latest annual inspection)*



Record ID: 602  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1978 / 30 / -14

Item No.: D5020.30.1008

Floor/Room: 1st / Mech

Priority: 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,570

Deficiency Description: *The 225A (120/208, 3P) panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Community Center

Record ID: 603  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1978 / 30 / -14  
Item No.: D5020.30.1008  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$18,570  
Deficiency Description: *The 225A (120/208, 3P) panelboard is past its expected useful life.*  
  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
  
Comments:



Record ID: 604  
System: D5010 - FACILITY POWER GENERATION  
Year Installed / Industry Life / Remaining Useful Life: 1978 / 10 / -34  
Item No.: D5010.10.601  
Floor/Room: 1  
**Priority:** 1  
Quantity/Unit of Measure: 2/KW  
Total Deficiency Cost: \$11,100  
Deficiency Description: *The Vehicle Charger Power Source are at or are approaching the end of their useful lives.*  
  
Description of Work: *Replace the charger.*  
  
Comments:



Record ID: 605  
System: D2010 - DOMESTIC WATER DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 2015 / 15 / 8  
Item No.: D2010.20.002  
Floor/Room:  
**Priority:** 7  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$16,310  
Deficiency Description: *Gas fired water heater is approaching the end of its expected useful life.*  
  
Description of Work: *Provide equipment replacement and installation.*  
  
Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Community Center**

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Record ID 606  
System D3020 - HEATING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. D3020.10.007

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 2/EA  
Total Deficiency Cost: \$41,940  
Deficiency Description: *Furnace is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 607  
System D3020 - HEATING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. D3020.10.007

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$20,990  
Deficiency Description: *Furnace is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 608  
System D3020 - HEATING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. D3020.10.007

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 2/EA  
Total Deficiency Cost: \$41,940  
Deficiency Description: *Furnace is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



## City of Rohnert Park Facility Condition Assessment

### Community Center

Record ID: 609  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1978 / 30 / -14  
 Item No.: D5020.30.1008  
 Floor/Room: 1  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,570  
 Deficiency Description: *The 225A (120/208, 3P) panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID: 610  
 System: D2010 - DOMESTIC WATER DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 2008 / 15 / 1  
 Item No.: D2010.20.003  
 Floor/Room:  
**Priority:** 3  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$27,120  
 Deficiency Description: *Gas fired water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 611  
 System: D3020 - HEATING SYSTEMS  
 Year Installed / Industry Life / Remaining Useful Life: - / 15 / -  
 Item No.: D3020.10.007  
 Floor/Room:  
**Priority:** 7  
 Quantity/Unit of Measure: 2/EA  
 Total Deficiency Cost: \$41,940  
 Deficiency Description: *Furnace is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Community Center

Record ID 612  
System D3020 - HEATING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life 2018 / 15 / 11

Item No. D3020.10.007

Floor/Room:

Priority: 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$20,990

Deficiency Description: *Furnace is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 613  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 25 / -

Item No. D3060.30.011

Floor/Room:

Priority: 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$19,810

Deficiency Description: *Utility exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 614  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. D3030.70.002

Floor/Room:

Priority: 2

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$17,250

Deficiency Description: *Outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Community Center

Record ID: 615  
System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2006 / 15 / -1

Item No.: D3030.10.018

Floor/Room:

Priority: 3

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$52,640

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 616  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1978 / 30 / -14

Item No.: D5020.30.1008

Floor/Room: 1 / Equip

Priority: 1

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$18,570

Deficiency Description: *The 225A (120/208, 3P) panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID: 617  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1978 / 30 / -14

Item No.: D5020.30.1008

Floor/Room: 1

Priority: 1

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$18,570

Deficiency Description: *The 225A (120/208, 3P) panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:





**City of Rohnert Park  
Facility Condition Assessment**

**Community Center**

Record ID: 618  
 System: G2080 - LANDSCAPING

Year Installed / Industry Life / Remaining Useful Life: - / 15 / -

Item No.: G2080.10.027

Floor/Room:

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$3,590  
 Deficiency Description: *Irrigation Controller is approaching the end of its expected useful life.*

Description of Work: *Replace existing irrigation controller.*

Comments:



Record ID: 619  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1978 / 30 / -14

Item No.: D5020.30.1008

Floor/Room: 1 / Equipment

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,570  
 Deficiency Description: *The 225A (120/208, 3P) panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID: 620  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1978 / 20 / -24

Item No.: D5020.10.304

Floor/Room: 1 / Mech

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$21,340  
 Deficiency Description: *The 800A metered main switchboard (3P, 120/208 ) is past its expected useful life.*

Description of Work: *Replace the existing metered main switchboard with a new metered main switchboard.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Community Center

Record ID: 622  
System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2005 / 15 / -2

Item No.: D3030.70.002

Floor/Room:

Priority: 2

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$17,250

Deficiency Description: *Outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 623  
System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2005 / 15 / -2

Item No.: D3030.70.002

Floor/Room:

Priority: 2

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$17,250

Deficiency Description: *Outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 624  
System: D3020 - HEATING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2018 / 15 / 11

Item No.: D3020.10.007

Floor/Room:

Priority: 7

Quantity/Unit of Measure: 2/EA  
Total Deficiency Cost: \$41,940

Deficiency Description: *Furnace is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Community Center**

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Record ID: 625  
System: D3020 - HEATING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2018 / 15 / 11

Item No.: D3020.10.007

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$20,990  
Deficiency Description: *Furnace is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID: 626  
System: D3020 - HEATING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: - / 15 / -

Item No.: D3020.10.007

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$20,990  
Deficiency Description: *Furnace is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID: 627  
System: D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: - / 15 / -

Item No.: D2010.20.002

Floor/Room:

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$13,250  
Deficiency Description: *Gas fired water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Community Center**

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Record ID 628  
System D3020 - HEATING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 15 / -  
Item No. D3020.10.007  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 2/EA  
Total Deficiency Cost: \$34,060  
Deficiency Description: *Furnace is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID 630  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 15 / -  
Item No. D3030.10.018  
Floor/Room:  
**Priority:** 3  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$52,640  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID 631  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 15 / -  
Item No. D3030.10.018  
Floor/Room: Roof  
**Priority:** 3  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$52,640  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Community Center**

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Record ID 632  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. D3030.70.002

Floor/Room: Roof

Priority: 2

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$17,250

Deficiency Description: *Outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 978  
System G2060 - SITE DEVELOPMENT

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. G2060.20.004

Floor/Room: Site / Trash Enclosure

Priority: 3

Quantity/Unit of Measure: 150/SF  
Total Deficiency Cost: \$5,390

Deficiency Description: *Wood fence is deteriorated or at end-of-life.*

Description of Work: *Replace wood fencing, including slats and posts.*

Comments:



Record ID 981  
System E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. E2010.30.008

Floor/Room: 1 / Gymnasium

Priority: 5

Quantity/Unit of Measure: 25/LF  
Total Deficiency Cost: \$38,060

Deficiency Description: *Plastic laminate base cabinet (with countertop) is in poor condition.*

Description of Work: *Remove and replace with new plastic laminate base cabinet and countertop.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Community Center**

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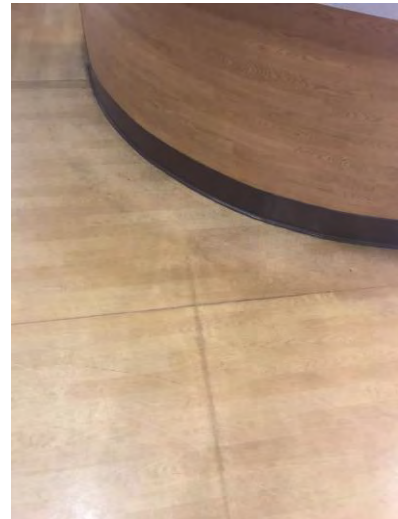
Record ID 982  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.50.002  
Floor/Room: 1 / Gymnasium  
**Priority:** 2  
Quantity/Unit of Measure: 500/SF  
Total Deficiency Cost: \$21,260  
Deficiency Description: *Sheet vinyl is approaching the end of its useful life.*

Description of Work: *Remove the existing sheet vinyl and replace.*

Comments:



Record ID 983  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. B2050.10.007  
Floor/Room: 1 / Exterior  
**Priority:** 3  
Quantity/Unit of Measure: 3/EA  
Total Deficiency Cost: \$16,500  
Deficiency Description: *Exterior wood door is damaged or deteriorating.*

Description of Work: *Refurbish/repair wood door.*

Comments:



Record ID 984  
System E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. E2010.30.005  
Floor/Room: 1 / Storage  
**Priority:** 3  
Quantity/Unit of Measure: 5/LF  
Total Deficiency Cost: \$3,540  
Deficiency Description: *The existing casework is in need of refurbishment.*

Description of Work: *Repair, refurbish, and refinish the existing wood casework and counters.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Community Center**

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Record ID 985  
System B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. B2010.10.003

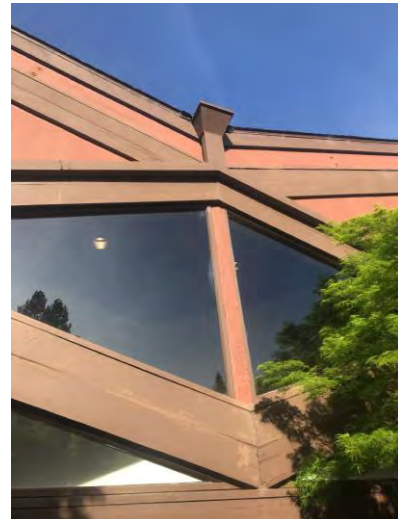
Floor/Room: 1 / Exterior

**Priority:** 3

Quantity/Unit of Measure: 800/SF

Total Deficiency Cost: \$22,460

Deficiency Description: *Wood veneer is showing signs of wear.*



Description of Work: *Clean and repaint exterior wood veneer.*

Comments:

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Record ID 987  
System C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. C2050.10.001

Floor/Room: 1

**Priority:** 1

Quantity/Unit of Measure: 200/SF

Total Deficiency Cost: \$4,040

Deficiency Description: *Painted gypsum wallboard ceiling is approaching the end of its useful life.*



Description of Work: *Remove the existing gypsum board ceiling and replace. Tape and paint.*

Comments:

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Record ID 988  
System E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. E2010.30.005

Floor/Room: 1 / Workroom

**Priority:** 3

Quantity/Unit of Measure: 100/LF

Total Deficiency Cost: \$70,160

Deficiency Description: *The existing casework is in need of refurbishment.*



Description of Work: *Repair, refurbish, and refinish the existing wood casework and counters.*

Comments:

# City of Rohnert Park Facility Condition Assessment

## Community Center

Record ID 989  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.50.001

Floor/Room: 1

Priority: 3

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$2,650

Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



Record ID 990  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.50.001

Floor/Room: 1 / Workroom

Priority: 2

Quantity/Unit of Measure: 200/SF

Total Deficiency Cost: \$5,060

Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



Record ID 991  
System E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. E2010.30.005

Floor/Room: 1 / Storage

Priority: 3

Quantity/Unit of Measure: 35/LF

Total Deficiency Cost: \$24,580

Deficiency Description: *The existing casework is in need of refurbishment.*

Description of Work: *Repair, refurbish, and refinish the existing wood casework.*

Comments:





**City of Rohnert Park  
Facility Condition Assessment**

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**Community Center**

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Record ID 992  
System C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. C2050.10.001

Floor/Room: 1

Priority: 3

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$2,210

Deficiency Description: *Painted gypsum wallboard ceiling is approaching the end of its useful life.*

Description of Work: *Remove the existing gypsum board ceiling and replace. Tape and paint.*

Comments:



Record ID 993  
System C2010 - WALL FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. C2010.20.001

Floor/Room: 1 / Corridor

Priority: 2

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$2,710

Deficiency Description: *Paneling is not in serviceable condition.*

Description of Work: *Remove and replace existing wood wall panels.*

Comments:



Record ID 994  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. C2030.75.001

Floor/Room: 1 / Corridor

Priority: 5

Quantity/Unit of Measure: 400/SF

Total Deficiency Cost: \$12,200

Deficiency Description: *Carpet tile is missing or damaged.*

Description of Work: *Replace carpet tile.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Community Center**

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Record ID 995  
System C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. C2050.10.001

Floor/Room: 1

Priority: 3

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$2,210

Deficiency Description: *Painted gypsum wallboard ceiling is approaching the end of its useful life.*

Description of Work: *Remove the existing gypsum board ceiling and replace. Tape and paint.*

Comments:



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Record ID 996  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. C2030.75.001

Floor/Room: 1 / Office

Priority: 5

Quantity/Unit of Measure: 200/SF

Total Deficiency Cost: \$6,120

Deficiency Description: *Carpet tile is missing or damaged.*

Description of Work: *Replace carpet tile.*

Comments:



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Record ID 997  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.50.001

Floor/Room: 1 / Crafts

Priority: 3

Quantity/Unit of Measure: 800/SF

Total Deficiency Cost: \$21,060

Deficiency Description: *Ceramic tile floor is approaching the end of its useful life.*

Description of Work: *Remove the existing ceramic tile flooring and replace.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Community Center**

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Record ID 998  
System E2010 - FIXED FURNISHINGS  
  
Year Installed / Industry Life / Remaining Useful Life - / - / -  
Item No. E2010.30.005  
Floor/Room: 1 / Crafts  
**Priority:** 5  
Quantity/Unit of Measure: 25/LF  
Total Deficiency Cost: \$19,060  
Deficiency Description: *The existing casework is in need of refurbishment.*

Description of Work: *Repair, refurbish, and refinish the existing casework and counters.*

Comments:



Record ID 999  
System B1020 - ROOF CONSTRUCTION  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. B1020.10.003  
Floor/Room: 1 / Pottery  
**Priority:** 3  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$370  
Deficiency Description: *Wood roof beam is in need of refinishing.*

Description of Work: *Clean, repair, seal, and refinish wood beam.*

Comments:



Record ID 1000  
System E2010 - FIXED FURNISHINGS  
  
Year Installed / Industry Life / Remaining Useful Life - / - / -  
Item No. E2010.30.004  
Floor/Room: 1 / Pottery  
**Priority:** 3  
Quantity/Unit of Measure: 50/LF  
Total Deficiency Cost: \$78,940  
Deficiency Description: *The existing casework is at or is approaching the end of its useful life.*

Description of Work: *Replace original wood cabinets*

Comments:



## City of Rohnert Park Facility Condition Assessment

### Community Center

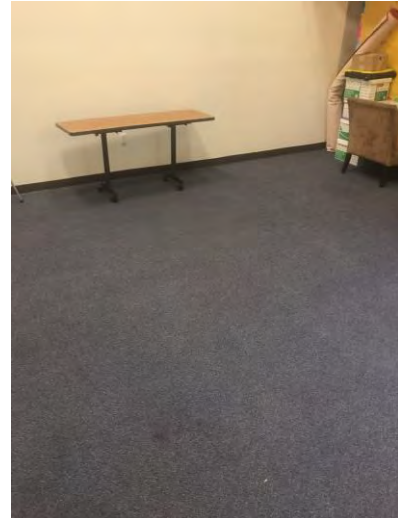
Record ID: 1001  
 System: C2030 - FLOORING  
 Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
 Item No.: C2030.75.001  
 Floor/Room: 1 / Conference  
**Priority:** 3  
 Quantity/Unit of Measure: 400/SF  
 Total Deficiency Cost: \$11,250  
 Deficiency Description: *Carpet tile is showing signs of wear.*



Description of Work: *Replace carpet tile.*

Comments:

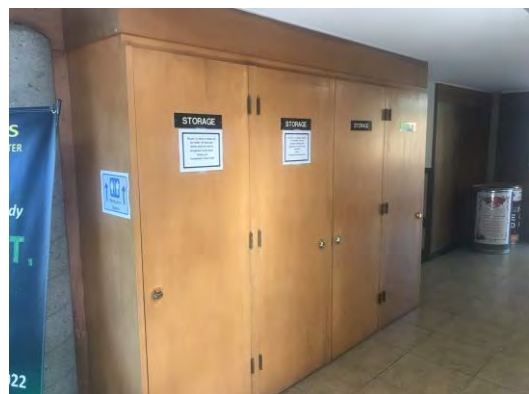
Record ID: 1002  
 System: C2030 - FLOORING  
 Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
 Item No.: C2030.75.001  
 Floor/Room: 1 / Meeting 1  
**Priority:** 3  
 Quantity/Unit of Measure: 400/SF  
 Total Deficiency Cost: \$11,250  
 Deficiency Description: *Carpet tile is showing signs of wear.*



Description of Work: *Replace carpet tile.*

Comments:

Record ID: 1004  
 System: E2010 - FIXED FURNISHINGS  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: E2010.30.005  
 Floor/Room: 1  
**Priority:** 3  
 Quantity/Unit of Measure: 15/LF  
 Total Deficiency Cost: \$10,550  
 Deficiency Description: *The existing casework is in need of refurbishment.*



Description of Work: *Repair, refurbish, and refinish the existing wood casework.*

Comments:

**City of Rohnert Park  
Facility Condition Assessment**

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**Community Center**

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Record ID 1006  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.50.001

Floor/Room: 1 / Storage

Priority: 3

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$2,650

Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



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Record ID 1009  
System E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. E2010.30.004

Floor/Room: 1 / Garden Room

Priority: 1

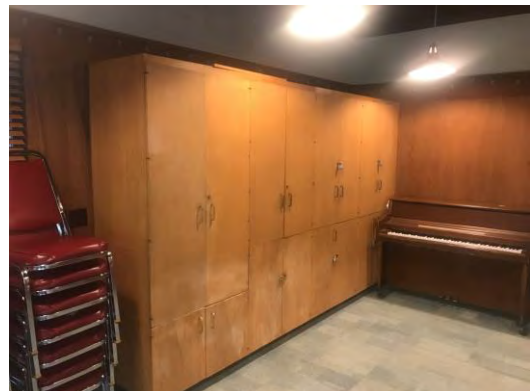
Quantity/Unit of Measure: 12/LF

Total Deficiency Cost: \$17,350

Deficiency Description: *The existing casework is in need of refurbishment.*

Description of Work: *Repair, refurbish, and refinish the existing wood casework and counters.*

Comments:



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Record ID 1010  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. C2030.75.001

Floor/Room: 1 / Garden Room

Priority: 3

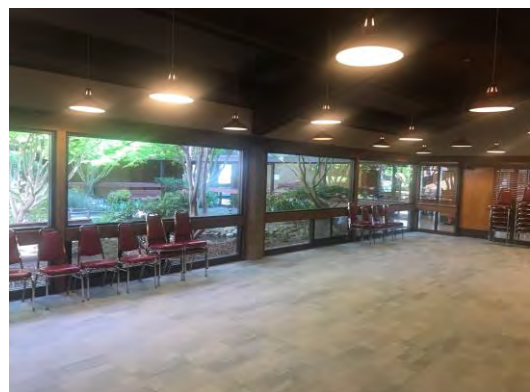
Quantity/Unit of Measure: 1,000/SF

Total Deficiency Cost: \$28,070

Deficiency Description: *Carpet tile is showing signs of wear.*

Description of Work: *Replace carpet tile.*

Comments:



# City of Rohnert Park Facility Condition Assessment

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## Community Center

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Record ID 1011  
System C2030 - FLOORING  
Year Installed / Industry Life / Remaining Useful Life - / 20 / -  
Item No. C2030.75.001  
Floor/Room: 1 / Lobby  
**Priority:** 3  
Quantity/Unit of Measure: 2,000/SF  
Total Deficiency Cost: \$56,130  
Deficiency Description: *Carpet tile is showing signs of wear.*



Description of Work: *Replace carpet tile.*

Comments:

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Record ID 1012  
System B2010 - EXTERIOR WALLS  
Year Installed / Industry Life / Remaining Useful Life - / 30 / -  
Item No. B2010.10.003  
Floor/Room: 1 / Exterior  
**Priority:** 5  
Quantity/Unit of Measure: 1,200/SF  
Total Deficiency Cost: \$36,550  
Deficiency Description: *Wood board siding is showing signs of wear.*



Description of Work: *Replace or repair the existing wood siding. Place a new siding over building paper and plywood sheathing.*

Comments: *Throughout exterior.*

# Girl Scout Hut - Alicia Park

## Detailed Report

**Address: 295 Santa Alicia Drive, Rohnert Park, CA 94928**

### Statistics

Year Built:	1964
Building Additions:	N/A
Building Area:	1,552 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$374,360</b>
FCI:	0.295
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$1,268,000
Replacement Cost/SF:	\$817



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## Assessment Descriptions

### Architectural Elements

Built in 1964, the Girl Scout Hut is a single-story, 1,552 SF, wood-frame building located on Santa Alicia Drive, on the Alicia Park property. The interior spaces consist of a main multi-purpose room, kitchen, and restrooms. The interior finish materials consist of vinyl composition tile flooring, painted gypsum board walls and ceiling, and ceramic tile. The vinyl composition tile is showing signs of wear and is recommended for replacement within the next five years. Interior wood doors are also in need of refinishing. Several areas of the painted gypsum board and ceiling are showing signs of cracking and are recommended to be patched.

The exterior finish materials consist of wood siding and asphalt composition shingle roofing. The painted wood siding finish appears to show signs of wear and water penetration in several areas, along with several of the wood doors. It is recommended the damaged siding and doors be replaced within the next five years. The roofing appears to be in fair condition with signs of minor wear and will be beyond its useful life within the next 10 years. Overall, the exterior finish materials are in fair to poor condition.

### Mechanical Systems

The mechanical systems consist of a furnace serving the building space. The conditioned air is distributed to the spaces via concealed hard duct and diffusers. Overall, the mechanical systems appear to be in operable condition; however, it was identified that the residential kitchen equipment was not properly ventilated, and it is recommended to provide a form of kitchen exhaust.

### Electrical Systems

Electrical power is provided by a metered all-in-one combination service that appears to be original to the facility and past its expected useful life.

The interior and exterior lighting system also appears to be past its expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, gas piping, sanitary waste piping and vent piping. The domestic hot water is provided by gas-fired water heater. Overall, the plumbing systems appear to be in operable condition with the plumbing fixtures approaching the end of their expected useful life.

### Fire Protection

The building is not equipped with a fire alarm system.



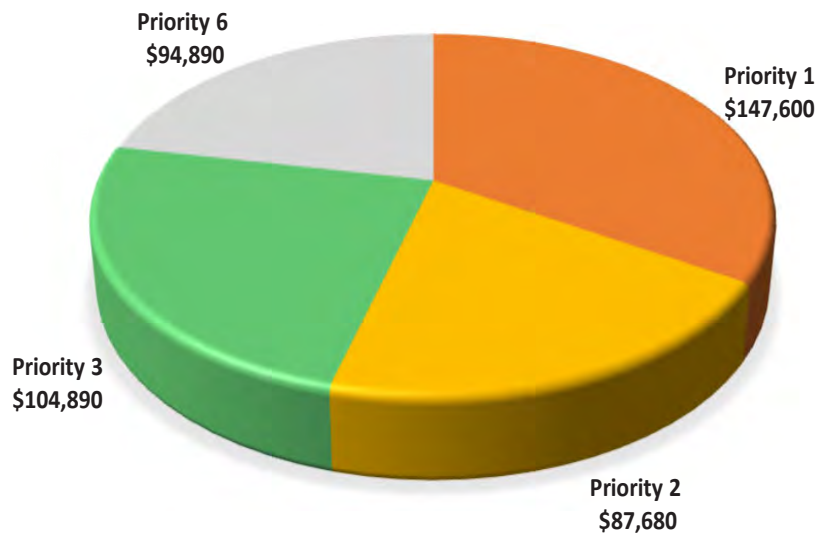
## Conclusion

For the Girl Scout Hut - Alicia Park, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Girl Scout Hut						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$147,600	\$87,680	\$104,890	\$0	\$0	\$94,890	\$435,060
33.93%	20.15%	24.11%	0.00%	0.00%	21.81%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Girl Scout Hut - Alicia Park

<b>Capital Renewal Cost:</b>	<b>\$374,360</b>	FCI:	<b>0.295</b>
Replacement Cost:	<b>\$1,268,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$817</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B1020	ROOF CONSTRUCTION	\$1,500	-	-	\$1,780	-	-	-
B2010	EXTERIOR WALLS	\$23,780	-	-	\$28,070	-	-	-
B2050	EXTERIOR DOORS AND GRILLES	\$34,150	\$24,140	\$13,350	-	-	-	-
B3010	ROOFING	\$71,340	-	-	-	-	-	\$94,890
C1010	INTERIOR PARTITIONS	\$630	\$690	-	-	-	-	-
C1030	INTERIOR DOORS	\$8,030	-	-	\$9,480	-	-	-
C2010	WALL FINISHES	\$3,740	-	-	\$4,420	-	-	-
C2030	FLOORING	\$24,580	\$2,050	\$20,160	\$5,740	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$47,930	-	\$54,170	-	-	-	-
D3020	HEATING SYSTEMS	\$15,780	-	-	\$18,630	-	-	-
D3050	FACILITY HVAC DISTRIBUTION SYSTEMS	\$310	\$340	-	-	-	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$7,620	\$8,230	-	-	-	-	-
D5040	LIGHTING	\$94,880	\$102,490	-	-	-	-	-
E1060	RESIDENTIAL EQUIPMENT	\$8,940	\$9,660	-	-	-	-	-
E2010	FIXED FURNISHINGS	\$23,980	-	-	\$28,300	-	-	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	\$4,300	-	-	\$5,080	-	-	-
G2080	LANDSCAPING	\$2,870	-	-	\$3,390	-	-	-

**City of Rohnert Park  
Facility Condition Assessment**

Girl Scout Hut - Alicia Park

<b>Capital Renewal Cost:</b>	<b>\$374,360</b>	FCI:	<b>0.295</b>
Replacement Cost:	<b>\$1,268,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$817</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
Uniformat Code	Building System Class	Current Costs	Priority 1 0-12 Months	Priority 2 1-2 Years	Priority 3 2-3 Years	Priority 4 3-4 Years	Priority 5 4-5 Years	Priority 6 6-10 Years
TOTALS		<b>\$374,360</b>	<b>\$147,600</b>	<b>\$87,680</b>	<b>\$104,890</b>	-	-	<b>\$94,890</b>
TOTAL (Priority 1-6 without escalation)		<b>\$374,360</b>	<b>\$435,060</b>					
			TOTAL (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

**Girl Scout Hut - Alicia Park**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1254	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.001	Entrance	Exterior entrance door is approaching the end of its useful life.	Replace entry doors.	2	EA	\$6,860	\$16,090	1
1414	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.001	Exterior	Exterior wood entrance door is approaching the end of its useful life.	Replace wood door.	1	EA	\$3,430	\$8,050	1
1259	C1010 - INTERIOR PARTITIONS	C1010.10.001	Main Room	Painted gypsum wallboard is in poor condition with several cracks.	Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.	100	SF	\$290	\$690	1
1421	C2030 - FLOORING	C2030.50.002	Storage	Sheet vinyl is approaching the end of its useful life.	Remove the existing sheet vinyl and replace.	50	SF	\$870	\$2,050	1
1255	D3050 - FACILITY HVAC DISTRIBUTION SYSTEMS	D3050.50.004		Diffusers is hanging from ceiling and not secure.	Secure diffuser.	1	EA	\$140	\$340	1
1253	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.001	Site	The 100A (120/240V, 1P) all-in-one combination service entrance device is past its expected useful life.	Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.	1	EA	\$3,510	\$8,230	1
1744	D5040 - LIGHTING	D5040.50.302	Site	The exterior light fixture is functional but past its expected useful life.	Replace the existing light fixture with an LED lighting fixture.	6	EA	\$5,820	\$13,650	1
1262	D5040 - LIGHTING	D5040.50.411	1	Interior lighting system is functional but past its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	1,552	SF	\$37,910	\$88,840	1
1258	E1060 - RESIDENTIAL EQUIPMENT	E1060.10.003	Kitchen	Residential type kitchen exhaust hood recommended.	Provide new residential type kitchen exhaust hood with ductwork and electrical.	1	EA	\$4,120	\$9,660	1
1412	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.007	Exterior	Exterior wood door is damaged or deteriorating.	Refurbish/repair wood door.	1	EA	\$2,150	\$5,280	2
1411	B2050 - EXTERIOR DOORS AND GRILLES	B2050.20.002	Exterior	Door is damaged or deteriorated.	Repair door and repaint.	2	EA	\$3,290	\$8,070	2
1416	C2030 - FLOORING	C2030.50.001	Main Room	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	800	SF	\$8,220	\$20,160	2
1260	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.002		Gas fired water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,650	\$13,860	2

**City of Rohnert Park  
Facility Condition Assessment**

**Girl Scout Hut - Alicia Park**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1256	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.60.047	Restrooms	Restroom piping and plumbing fixtures are at or approaching the end of its expected useful service life.	Provide equipment replacement and installation.	2	EA	\$16,440	\$40,310	2
1431	B1020 - ROOF CONSTRUCTION	B1020.10.003	Exterior	Wood columns are in need of refinishing.	Refinish wood columns.	5	EA	\$690	\$1,780	3
1413	B2010 - EXTERIOR WALLS	B2010.10.003	Exterior	Wood board siding is approaching the end of its useful life.	Replace or repair the existing wood siding. Place a new siding over building paper and plywood sheathing.	1,000	SF	\$10,960	\$28,070	3
1428	C1030 - INTERIOR DOORS	C1030.10.008	Main Room	Interior wood door is in visual need of refurbishment.	Refurbish and restain the wood door.	9	EA	\$3,700	\$9,480	3
1420	C2010 - WALL FINISHES	C2010.70.001	Main Room	Painted gypsum wallboard is showing signs of wear.	Patch and paint the gypsum wallboard.	100	SF	\$860	\$2,210	3
1427	C2010 - WALL FINISHES	C2010.70.001	Main Room	Painted gypsum wallboard is showing signs of wear.	Patch and paint the gypsum wallboard.	100	SF	\$860	\$2,210	3
1422	C2030 - FLOORING	C2030.20.001	Restroom	Ceramic tile floor is approaching the end of its useful life.	Remove the existing ceramic tile flooring and replace.	50	SF	\$1,360	\$3,500	3
1425	C2030 - FLOORING	C2030.50.002	Restroom	Sheet vinyl is approaching the end of its useful life.	Remove the existing sheet vinyl and replace.	50	SF	\$870	\$2,240	3
1261	D3020 - HEATING SYSTEMS	D3020.10.007		Furnace is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$7,270	\$18,630	3
1417	E2010 - FIXED FURNISHINGS	E2010.30.009	Main Room	Plastic laminate casework is at or will be approaching the end of its expected useful life.	Provide new plastic laminate casework (upper, lower, and countertop)	12	LF	\$11,050	\$28,300	3
1430	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.004	Entry	Concrete pavement is damaged.	Replace concrete paving (base to remain).	150	SF	\$1,980	\$5,080	3
1432	G2080 - LANDSCAPING	G2080.50.001	Exterior	Above-ground planter walls show evidence of damage.	Replace wooden planter.	40	SF	\$1,320	\$3,390	3
1410	B3010 - ROOFING	B3010.10.001		Asphalt composition roof is in fair to poor condition with evidence of ponding, blisters & leaks.	Remove and replace asphalt composition shingle roofing.	1,600	SF	\$32,880	\$94,890	6

**City of Rohnert Park  
Facility Condition Assessment**

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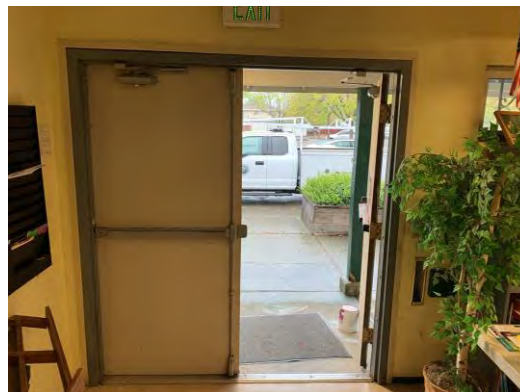
**Girl Scout Hut - Alicia Park**

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Record ID 1253  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 1992 / 30 / 0  
Item No. D5020.10.001  
Floor/Room: Site  
**Priority: 1**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$8,230  
Deficiency Description: *The 100A (120/240V, 1P) all-in-one combination service entrance device is past its expected useful life.*  
Description of Work: *Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.*  
Comments:



Record ID 1254  
System B2050 - EXTERIOR DOORS AND GRILLES  
Year Installed / Industry Life / Remaining Useful Life - / 75 / -  
Item No. B2050.10.001  
Floor/Room: 1 / Entrance  
**Priority: 1**  
Quantity/Unit of Measure: 2/EA  
Total Deficiency Cost: \$16,090  
Deficiency Description: *Exterior entrance door is approaching the end of its useful life.*  
Description of Work: *Replace entry doors.*  
Comments: *Front door is at end of life and unable to secure.*



Record ID 1255  
System D3050 - FACILITY HVAC DISTRIBUTION SYSTEMS  
Year Installed / Industry Life / Remaining Useful Life - / 30 / -  
Item No. D3050.50.004  
Floor/Room:  
**Priority: 1**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$340  
Deficiency Description: *Diffusers is hanging from ceiling and not secure.*  
Description of Work: *Secure diffuser.*  
Comments: *Diffuser hanging*



## City of Rohnert Park Facility Condition Assessment

### Girl Scout Hut - Alicia Park

Record ID: 1256  
 System: D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: D2010.60.047

Floor/Room: 1 / Restrooms

Priority: 2

Quantity/Unit of Measure: 2/EA

Total Deficiency Cost: \$40,310

Deficiency Description: *Restroom piping and plumbing fixtures are at or approaching the end of its expected useful service life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1258  
 System: E1060 - RESIDENTIAL EQUIPMENT

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: E1060.10.003

Floor/Room: 1 / Kitchen

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$9,660

Deficiency Description: *Residential type kitchen exhaust hood recommended.*

Description of Work: *Provide new residential type kitchen exhaust hood with ductwork and electrical.*

Comments:



Record ID: 1259  
 System: C1010 - INTERIOR PARTITIONS

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: C1010.10.001

Floor/Room: 1 / Main Room

Priority: 1

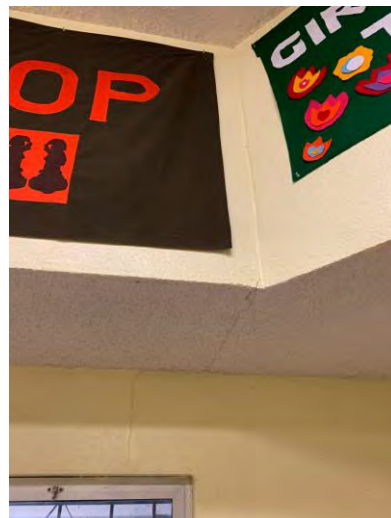
Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$690

Deficiency Description: *Painted gypsum wallboard is in poor condition with several cracks.*

Description of Work: *Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.*

Comments: *Significant cracking was observed along transition beam. Further investigation by a structural engineer is recommended.*





**City of Rohnert Park  
Facility Condition Assessment**

**Girl Scout Hut - Alicia Park**

Record ID: 1260  
 System: D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 2007 / 15 / 0

Item No.: D2010.20.002

Floor/Room:

Priority: 2

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$13,860

Deficiency Description: *Gas fired water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1261  
 System: D3020 - HEATING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: - / 15 / -

Item No.: D3020.10.007

Floor/Room:

Priority: 3

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,630

Deficiency Description: *Furnace is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1262  
 System: D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life: 1992 / 20 / -10

Item No.: D5040.50.411

Floor/Room: 1

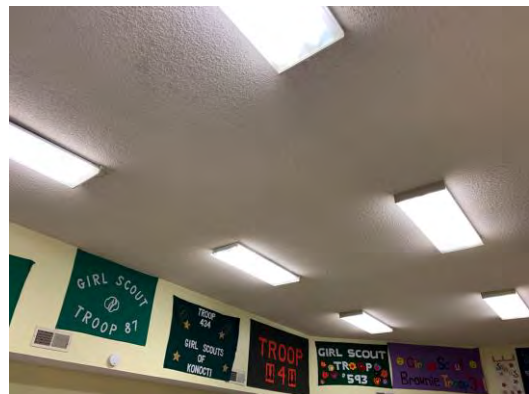
Priority: 1

Quantity/Unit of Measure: 1,552/SF  
 Total Deficiency Cost: \$88,840

Deficiency Description: *Interior lighting system is functional but past its expected useful life.*

Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Girl Scout Hut - Alicia Park

Record ID: 1410  
System: B3010 - ROOFING

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: B3010.10.001  
Floor/Room: -  
Priority: 7  
Quantity/Unit of Measure: 1,600/SF  
Total Deficiency Cost: \$94,890  
Deficiency Description: *Asphalt composition roof is in fair to poor condition with evidence of ponding, blisters & leaks.*

Description of Work: *Remove and replace asphalt composition shingle roofing.*

Comments:



Record ID: 1411  
System: B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: B2050.20.002  
Floor/Room: 1 / Exterior  
Priority: 2  
Quantity/Unit of Measure: 2/EA  
Total Deficiency Cost: \$8,070  
Deficiency Description: *Door is damaged or deteriorated.*

Description of Work: *Repair door and repaint.*

Comments:



Record ID: 1412  
System: B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: B2050.10.007  
Floor/Room: 1 / Exterior  
Priority: 2  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$5,280  
Deficiency Description: *Exterior wood door is damaged or deteriorating.*

Description of Work: *Refurbish/repair wood door.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Girl Scout Hut - Alicia Park**

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Record ID: 1413  
System: B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: B2010.10.003  
Floor/Room: 1 / Exterior  
**Priority:** 3  
Quantity/Unit of Measure: 1,000/SF  
Total Deficiency Cost: \$28,070  
Deficiency Description: *Wood board siding is approaching the end of its useful life.*

Description of Work: *Replace or repair the existing wood siding. Place a new siding over building paper and plywood sheathing.*

Comments:



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Record ID: 1414  
System: B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life: - / 75 / -

Item No.: B2050.10.001  
Floor/Room: 1 / Exterior  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$8,050  
Deficiency Description: *Exterior wood entrance door is approaching the end of its useful life.*

Description of Work: *Replace wood door.*

Comments:



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Record ID: 1416  
System: C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life: - / 60 / -

Item No.: C2030.50.001  
Floor/Room: 1 / Main Room  
**Priority:** 2  
Quantity/Unit of Measure: 800/SF  
Total Deficiency Cost: \$20,160  
Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Girl Scout Hut - Alicia Park

Record ID: 1417  
System: E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: E2010.30.009

Floor/Room: 1 / Main Room

Priority: 3

Quantity/Unit of Measure: 12/LF

Total Deficiency Cost: \$28,300

Deficiency Description: *Plastic laminate casework is at or will be approaching the end of its expected useful life.*

Description of Work: *Provide new plastic laminate casework (upper, lower, and countertop)*

Comments:



Record ID: 1420  
System: C2010 - WALL FINISHES

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: C2010.70.001

Floor/Room: 1 / Main Room

Priority: 3

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$2,210

Deficiency Description: *Painted gypsum wallboard is showing signs of wear.*

Description of Work: *Patch and paint the gypsum wallboard.*

Comments:



Record ID: 1421  
System: C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life: - / 60 / -

Item No.: C2030.50.002

Floor/Room: 1 / Storage

Priority: 1

Quantity/Unit of Measure: 50/SF

Total Deficiency Cost: \$2,050

Deficiency Description: *Sheet vinyl is approaching the end of its useful life.*

Description of Work: *Remove the existing sheet vinyl and replace.*

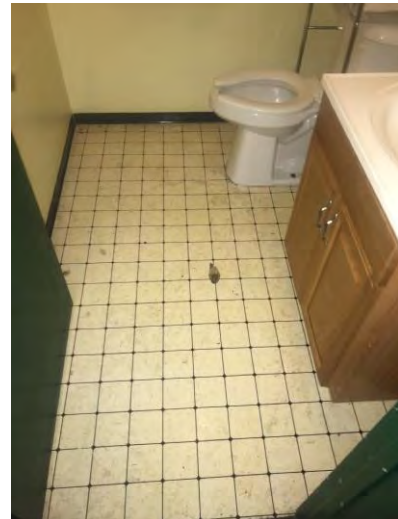
Comments:



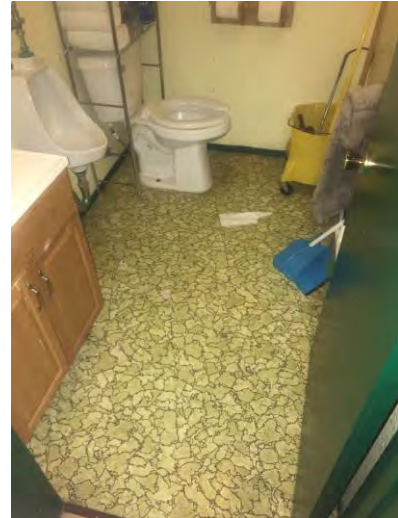
**City of Rohnert Park  
Facility Condition Assessment**

**Girl Scout Hut - Alicia Park**

Record ID: 1422  
 System: C2030 - FLOORING  
 Year Installed / Industry Life / Remaining Useful Life: - / 60 / -  
 Item No.: C2030.20.001  
 Floor/Room: 1 / Restroom  
**Priority:** 3  
 Quantity/Unit of Measure: 50/SF  
 Total Deficiency Cost: \$3,500  
 Deficiency Description: *Ceramic tile floor is approaching the end of its useful life.*  
 Description of Work: *Remove the existing ceramic tile flooring and replace.*  
 Comments:



Record ID: 1425  
 System: C2030 - FLOORING  
 Year Installed / Industry Life / Remaining Useful Life: - / 60 / -  
 Item No.: C2030.50.002  
 Floor/Room: 1 / Restroom  
**Priority:** 3  
 Quantity/Unit of Measure: 50/SF  
 Total Deficiency Cost: \$2,240  
 Deficiency Description: *Sheet vinyl is approaching the end of its useful life.*  
 Description of Work: *Remove the existing sheet vinyl and replace.*  
 Comments:



Record ID: 1427  
 System: C2010 - WALL FINISHES  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: C2010.70.001  
 Floor/Room: 1 / Main Room  
**Priority:** 3  
 Quantity/Unit of Measure: 100/SF  
 Total Deficiency Cost: \$2,210  
 Deficiency Description: *Painted gypsum wallboard is showing signs of wear.*  
 Description of Work: *Patch and paint the gypsum wallboard.*  
 Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Girl Scout Hut - Alicia Park**

Record ID: 1428  
 System: C1030 - INTERIOR DOORS  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: C1030.10.008  
 Floor/Room: 1 / Main Room  
**Priority:** 3  
 Quantity/Unit of Measure: 9/EA  
 Total Deficiency Cost: \$9,480  
 Deficiency Description: *Interior wood door is in visual need of refurbishment.*



Description of Work: *Refurbish and restain the wood door.*

Comments:

Record ID: 1430  
 System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: G2030.10.004  
 Floor/Room: Site / Entry  
**Priority:** 3  
 Quantity/Unit of Measure: 150/SF  
 Total Deficiency Cost: \$5,080  
 Deficiency Description: *Concrete pavement is damaged.*



Description of Work: *Replace concrete paving (base to remain).*

Comments:

Record ID: 1431  
 System: B1020 - ROOF CONSTRUCTION  
 Year Installed / Industry Life / Remaining Useful Life: - / 50 / -  
 Item No.: B1020.10.003  
 Floor/Room: Site / Exterior  
**Priority:** 3  
 Quantity/Unit of Measure: 5/EA  
 Total Deficiency Cost: \$1,780  
 Deficiency Description: *Wood columns are in need of refinishing.*



Description of Work: *Refinish wood columns.*

Comments:

# City of Rohnert Park Facility Condition Assessment

## Girl Scout Hut - Alicia Park

Record ID: 1432  
System: G2080 - LANDSCAPING  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: G2080.50.001  
Floor/Room: Site / Exterior  
**Priority:** 3  
Quantity/Unit of Measure: 40/SF  
Total Deficiency Cost: \$3,390  
Deficiency Description: *Above-ground planter walls show evidence of damage.*

Description of Work: *Replace wooden planter.*

Comments:



Record ID: 1744  
System: D5040 - LIGHTING  
Year Installed / Industry Life / Remaining Useful Life: 1992 / 20 / -10  
Item No.: D5040.50.302  
Floor/Room: 1 / Site  
**Priority:** 1  
Quantity/Unit of Measure: 6/EA  
Total Deficiency Cost: \$13,650  
Deficiency Description: *The exterior light fixture is functional but past its expected useful life.*

Description of Work: *Replace the existing light fixture with an LED lighting fixture.*

Comments:



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# Gold Ridge Admin Building

## Detailed Report

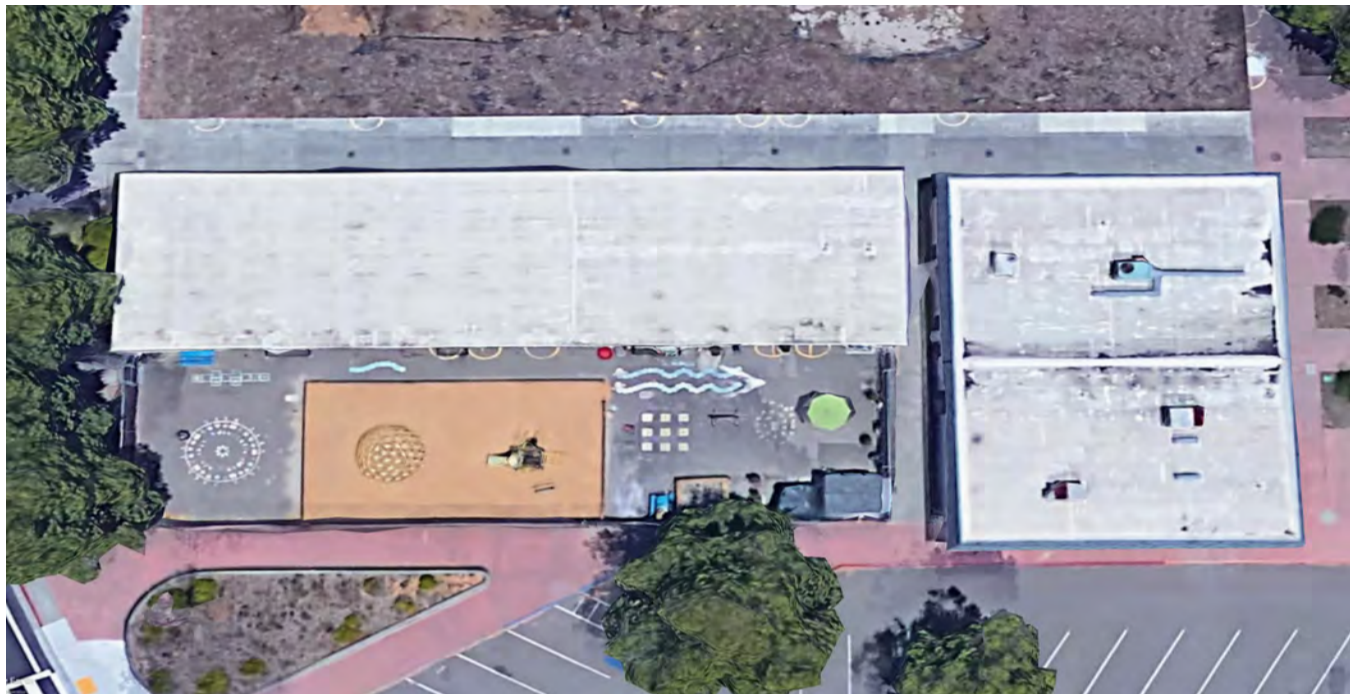
**Address: 1455 Golf Course Drive, Rohnert Park, CA 94928**

### Statistics

Year Built:	1970s
Building Additions:	N/A
Building Area:	4,320 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$841,940</b>
FCI:	0.212
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$3,963,000
Replacement Cost/SF:	\$917



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## Assessment Descriptions

### Architectural Elements

The 4,320 SF Gold Ridge Admin Building is a wood-frame structure with exterior finishes consisting of wood siding, asphalt composition shingle roofing, and single-ply TPO roofing located adjacent to the Gold Ridge Recreation Center. It was reported by staff that the building was previously scheduled for demolition; however, when it was discovered that this building contained the fire alarm panel for the adjacent Gold Ridge Recreation Center, the demolition was deferred. The interior finish materials are generally in poor condition with the floor, wall, and ceiling surfaces showing signs of damage and vandalism throughout the building. The laminate countertops and casework are also recommended for replacement throughout the building. The interior finish materials consist of vinyl composition tile flooring, epoxy flooring, carpet flooring, painted gypsum board wall, and lay-in acoustical ceiling tiles.

Overall, the interior and exterior finishes of the building are in critical condition and are recommended for significant improvements.

### Mechanical Systems

The mechanical systems consist of packaged air conditioning units and rooftop ventilators. The conditioned air is distributed to the spaces via concealed hard duct and diffusers. Overall, the mechanical systems appear to be in poor condition as the building has been reported to be abandoned and unoccupied.

### Electrical Systems

Electrical power is provided by several panelboards that appear to be past their expected useful life. Interior and exterior lighting systems also appear to be past their expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, sanitary waste piping and vent piping. The domestic hot water is provided by electric water heater. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

A fire alarm system was observed on site and appears to be tied to the adjacent Gold Ridge facility.

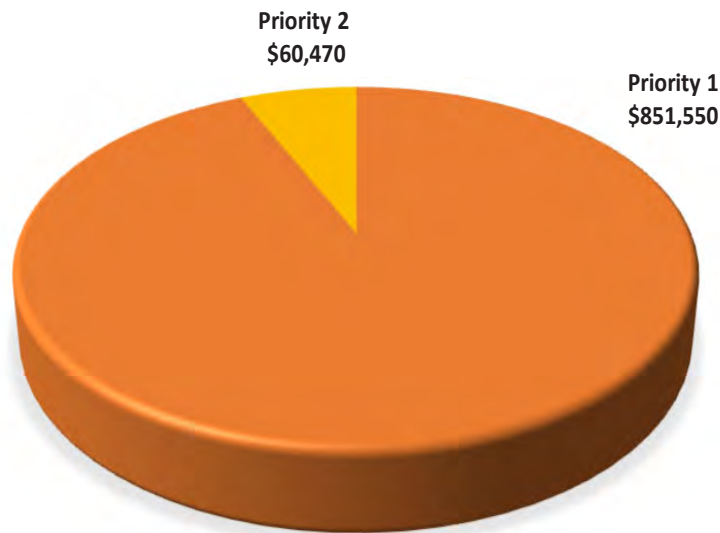
## Conclusion

For the Gold Ridge Admin Building, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Gold Ridge Admin Building						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$851,550	\$60,470	\$0	\$0	\$0	\$0	\$912,020
93.37%	6.63%	0.00%	0.00%	0.00%	0.00%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Gold Ridge Admin Building

<b>Capital Renewal Cost:</b>	<b>\$841,940</b>	FCI:	<b>0.212</b>
Replacement Cost:	<b>\$3,963,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$917</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
C1010	INTERIOR PARTITIONS	\$24,980	\$26,980	-	-	-	-	-
C2030	FLOORING	\$95,110	\$102,720	-	-	-	-	-
C2050	CEILING FINISHES	\$55,590	\$60,040	-	-	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$20,930	\$22,610	-	-	-	-	-
D3030	COOLING SYSTEMS	\$178,440	\$192,720	-	-	-	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$42,430	\$45,840	-	-	-	-	-
D5040	LIGHTING	\$254,120	\$274,460	-	-	-	-	-
D7050	DETECTION AND ALARM	\$96,000	\$103,680	-	-	-	-	-
E2010	FIXED FURNISHINGS	\$53,510	-	\$60,470	-	-	-	-
F1050	SPECIAL FACILITY COMPONENTS	\$20,830	\$22,500	-	-	-	-	-
<b>TOTALS</b>		<b>\$841,940</b>	<b>\$851,550</b>	<b>\$60,470</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$841,940</b>	<b>\$912,020</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

**Gold Ridge Admin Building**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engine Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1605	C1010 - INTERIOR PARTITIONS	C1010.10.001	Throughout	Painted gypsum wallboard is in poor condition with several cracks.	Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.	4,000	SF	\$11,510	\$26,980	1
1611	C2030 - FLOORING	C2030.75.002	Throughout	Carpet flooring is worn.	Remove and replace carpet flooring.	4,000	SF	\$43,840	\$102,720	1
1606	C2050 - CEILING FINISHES	C2050.80.001	Throughout	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	4,000	SF	\$25,620	\$60,040	1
1349	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.020		Electric water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$1,420	\$3,340	1
1610	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.60.047	Restroom	Restroom piping and plumbing fixtures are at or approaching the end of its expected useful service life.	Provide equipment replacement and installation.	1	EA	\$8,220	\$19,270	1
1345	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$48,180	1
1342	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$48,180	1
1344	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$48,180	1
1343	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$48,180	1
1350	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008		The 225A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
1607	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	1	The 225A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
1347	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4003		The 200A load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$3,710	\$8,700	1
1745	D5040 - LIGHTING	D5040.50.302		The exterior light fixture is past its expected useful life.	Replace the existing light fixture with an LED lighting fixture.	12	EA	\$11,630	\$27,260	1

**City of Rohnert Park  
Facility Condition Assessment**

**Gold Ridge Admin Building**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1799	D5040 - LIGHTING	D5040.50.411		Interior lighting system is past its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	4,320	SF	\$105,500	\$247,200	1
1348	D7050 - DETECTION AND ALARM	D7050.10.022		The building existing fire alarm system is past its industry expected useful life.	Provide a fully addressable fire alarm control panel with associated initiating and signaling devices.	4,320	SF	\$44,250	\$103,680	1
1613	F1050 - SPECIAL FACILITY COMPONENTS	F1050.80.011	Restroom	Restrooms are in poor condition and not accessible.	Renovate restroom with accessible features.	56	SF	\$9,600	\$22,500	1
1604	E2010 - FIXED FURNISHINGS	E2010.30.008	Break Room	Plastic laminate base cabinet (with countertop) is in poor condition.	Remove and replace with new plastic laminate base cabinet and countertop.	15	LF	\$8,220	\$20,160	2
1603	E2010 - FIXED FURNISHINGS	E2010.30.008	Open Office	Plastic laminate base cabinet (with countertop) is in poor condition.	Remove and replace with new plastic laminate base cabinet and countertop.	30	LF	\$16,440	\$40,310	2

**City of Rohnert Park  
Facility Condition Assessment**

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**Gold Ridge Admin Building**

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Record ID 1342  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. D3030.10.018

Floor/Room:

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$48,180  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Mechanical unit, roof access limited*



Record ID 1343  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. D3030.10.018

Floor/Room:

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$48,180  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Mechanical unit, roof access limited*



Record ID 1344  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. D3030.10.018

Floor/Room:

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$48,180  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Mechanical unit, roof access limited*





## City of Rohnert Park Facility Condition Assessment

### Gold Ridge Admin Building

Record ID: 1345  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: - / 15 / -

Item No.: D3030.10.018

Floor/Room:

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$48,180

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Mechanical unit, roof access limited*



Record ID: 1347  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1975 / 30 / -17

Item No.: D5020.30.4003

Floor/Room:

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$8,700

Deficiency Description: *The 200A load center is past its expected useful life.*

Description of Work: *Replace the existing load center with a new load center.*

Comments:



Record ID: 1348  
 System: D7050 - DETECTION AND ALARM

Year Installed / Industry Life / Remaining Useful Life: 1975 / 15 / -32

Item No.: D7050.10.022

Floor/Room:

**Priority:** 1

Quantity/Unit of Measure: 4,320/SF  
 Total Deficiency Cost: \$103,680

Deficiency Description: *The building existing fire alarm system is past its industry expected useful life.*

Description of Work: *Provide a fully addressable fire alarm control panel with associated initiating and signaling devices.*

Comments: *No longer monitored because no data/phone. Annunciation for all buildings.*



# City of Rohnert Park Facility Condition Assessment

## Gold Ridge Admin Building

Record ID 1349  
System D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. D2010.20.020

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$3,340

Deficiency Description: *Electric water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 1350  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. D5020.30.1008

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$18,570

Deficiency Description: *The 225A (120/208, 3P) panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID 1603  
System E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. E2010.30.008

Floor/Room: 1 / Open Office

Priority: 2

Quantity/Unit of Measure: 30/LF

Total Deficiency Cost: \$40,310

Deficiency Description: *Plastic laminate base cabinet (with countertop) is in poor condition.*

Description of Work: *Remove and replace with new plastic laminate base cabinet and countertop.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Gold Ridge Admin Building**

Record ID 1604  
System E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. E2010.30.008

Floor/Room: 1 / Break Room

Priority: 2

Quantity/Unit of Measure: 15/LF

Total Deficiency Cost: \$20,160

Deficiency Description: *Plastic laminate base cabinet (with countertop) is in poor condition.*

Description of Work: *Remove and replace with new plastic laminate base cabinet and countertop.*

Comments:



Record ID 1605  
System C1010 - INTERIOR PARTITIONS

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. C1010.10.001

Floor/Room: 1 / Throughout

Priority: 1

Quantity/Unit of Measure: 4,000/SF

Total Deficiency Cost: \$26,980

Deficiency Description: *Painted gypsum wallboard is in poor condition with several cracks.*

Description of Work: *Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.*

Comments: *Interior walls have been vandalized.*



Record ID 1606  
System C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. C2050.80.001

Floor/Room: 1 / Throughout

Priority: 1

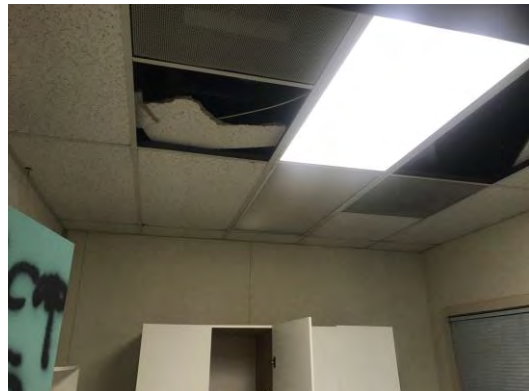
Quantity/Unit of Measure: 4,000/SF

Total Deficiency Cost: \$60,040

Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Gold Ridge Admin Building**

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Record ID 1607  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 1975 / 30 / -17  
Item No. D5020.30.1008  
Floor/Room: 1  
**Priority: 1**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$18,570  
Deficiency Description: *The 225A (120/208, 3P) panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

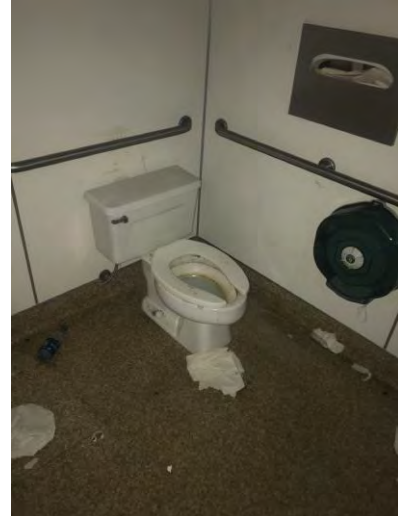
Comments:



Record ID 1610  
System D2010 - DOMESTIC WATER DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life - / 30 / -  
Item No. D2010.60.047  
Floor/Room: 1 / Restroom  
**Priority: 1**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$19,270  
Deficiency Description: *Restroom piping and plumbing fixtures are at or approaching the end of its expected useful service life.*

Description of Work: *Provide equipment replacement and installation.*

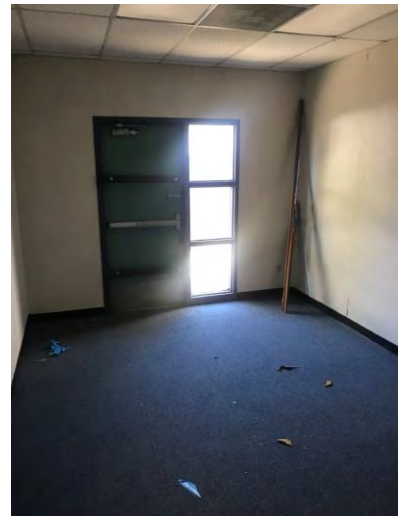
Comments:



Record ID 1611  
System C2030 - FLOORING  
Year Installed / Industry Life / Remaining Useful Life - / 20 / -  
Item No. C2030.75.002  
Floor/Room: 1 / Throughout  
**Priority: 1**  
Quantity/Unit of Measure: 4,000/SF  
Total Deficiency Cost: \$102,720  
Deficiency Description: *Carpet flooring is worn.*

Description of Work: *Remove and replace carpet flooring.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Gold Ridge Admin Building**

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Record ID 1613  
System F1050 - SPECIAL FACILITY COMPONENTS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. F1050.80.011

Floor/Room: 1 / Restroom

Priority: 1

Quantity/Unit of Measure: 56/SF

Total Deficiency Cost: \$22,500

Deficiency Description: *Restrooms are in poor condition and not accessible.*

Description of Work: *Renovate restroom with accessible features.*

Comments:



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Record ID 1745  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D5040.50.302

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 12/EA

Total Deficiency Cost: \$27,260

Deficiency Description: *The exterior light fixture is past its expected useful life.*

Description of Work: *Replace the existing light fixture with an LED lighting fixture.*

Comments:



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Record ID 1799  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D5040.50.411

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 4,320/SF

Total Deficiency Cost: \$247,200

Deficiency Description: *Interior lighting system is past its expected useful life.*

Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments:

PHOTO  
NOT  
APPLICABLE

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# Gold Ridge Recreation Center

## Detailed Report

**Address: 1455 Golf Course Drive, Rohnert Park, CA 94928**

### Statistics

Year Built:	1993
Building Additions:	N/A
Building Area:	14,000 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$2,040,480</b>
FCI:	0.172
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$11,839,000
Replacement Cost/SF:	\$846



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## Assessment Descriptions

### Architectural Elements

Constructed in 1993, the Gold Ridge Recreation Center is located adjacent to the Gold Ridge Admin Building and includes interior spaces consisting of a gymnasium, kitchen, storage rooms, and stage with roll-up door access.

The interior finish materials consist of sheet vinyl, vinyl composition tile flooring, painted gypsum board wall and ceiling, and acoustical wall paneling. The vinyl composition tile flooring surfaces are generally showing signs of wear and are recommended for replacement. Overall, the interior finish materials are in fair condition.

The exterior finish materials consist of stucco exterior walls, glazing, and standing seam metal roofing, which was installed within the last couple of years. Overall, the exterior finish materials are in fair to good condition.

The site surfaces primarily consist of concrete-paved walkways and AC paving in the parking lot and outdoor basketball courts. The concrete walkways are generally in fair condition with some areas showing evidence of cracking. The AC paving surfaces in the parking lot and outdoor basketball courts are showing signs of minor weathering and are recommended to be entirely resealed. Overall, the site surfaces appear to be in poor condition.

### Mechanical Systems

The mechanical systems consist of packaged air conditioning units, furnace units, and a kitchen exhaust system. The conditioned air is distributed to the spaces via concealed hard duct and diffusers. Overall, the mechanical systems appear to be in operable condition.

### Electrical Systems

Electrical power is routed to main panel 400A, 120/208V, 3-phase panel "MU". This subfeeds a second 225A, panel "MUA". Panel "MUA" is original to the building at end the end of its expected life. Panel "MU" was installed recently in 2020 and appears to be in very good condition.

Interior and exterior lighting systems appear to be past their expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, gas piping, sanitary waste piping and vent piping. The domestic hot water is provided by both gas-fired and electric water heaters. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

The building is equipped with a fire sprinkler system throughout. Portable fire extinguishers were observed at key points in the building.



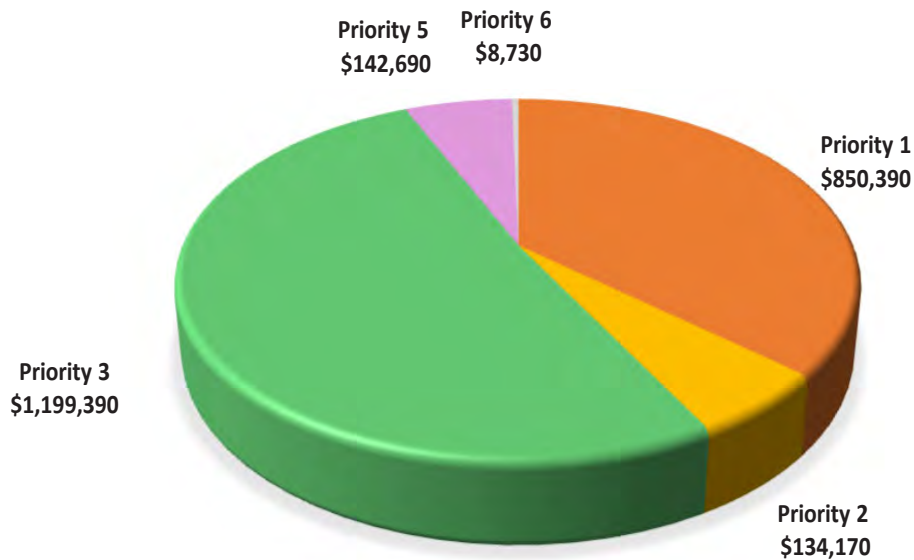
## Conclusion

For the Gold Ridge Recreation Center, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Gold Ridge Recreation Center						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$850,390	\$134,170	\$1,199,390	\$0	\$142,690	\$8,730	\$2,335,370
36.41%	5.75%	51.36%	0.00%	6.11%	0.37%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Gold Ridge Recreation Center

**Capital Renewal Cost: \$2,040,480**

FCI: **0.172**

Replacement Cost: **\$11,839,000**

Condition Score: **C**

Replacement Cost/SF: **\$846**

Condition Rating: **POOR**

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2020	EXTERIOR WINDOWS	\$5,950	\$6,430	-	-	-	-	-
B2050	EXTERIOR DOORS AND GRILLES	\$7,140	-	-	\$8,430	-	-	-
C1030	INTERIOR DOORS	\$11,630	-	-	\$13,730	-	-	-
C2010	WALL FINISHES	\$7,450	-	\$8,420	-	-	-	-
C2030	FLOORING	\$157,940	-	\$44,960	\$7,930	-	\$142,690	-
D2010	DOMESTIC WATER DISTRIBUTION	\$24,520	-	-	\$28,940	-	-	-
D3020	HEATING SYSTEMS	\$50,420	-	-	\$59,500	-	-	-
D3030	COOLING SYSTEMS	\$89,220	-	-	\$105,280	-	-	-
D3060	VENTILATION	\$6,560	-	-	-	-	-	\$8,730
D4030	FIRE PROTECTION SPECIALTIES	\$1,500	\$1,620	-	-	-	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$17,190	\$18,570	-	-	-	-	-
D5040	LIGHTING	\$762,740	\$823,770	-	-	-	-	-
E2010	FIXED FURNISHINGS	\$81,020	-	\$53,750	\$39,490	-	-	-
G2020	PARKING LOTS	\$231,830	-	-	\$273,560	-	-	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	\$118,840	-	\$27,040	\$112,020	-	-	-
G2050	ATHLETIC, RECREATIONAL, AND PLAYFIELD AREAS	\$463,660	-	-	\$547,120	-	-	-
G2060	SITE DEVELOPMENT	\$2,870	-	-	\$3,390	-	-	-

**City of Rohnert Park  
Facility Condition Assessment**

Gold Ridge Recreation Center

<b>Capital Renewal Cost:</b>	<b>\$2,040,480</b>	FCI:	<b>0.172</b>
Replacement Cost:	<b>\$11,839,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$846</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
Uniformat Code	Building System Class	Current Costs	Priority 1 0-12 Months	Priority 2 1-2 Years	Priority 3 2-3 Years	Priority 4 3-4 Years	Priority 5 4-5 Years	Priority 6 6-10 Years
TOTALS		<b>\$2,040,480</b>	<b>\$850,390</b>	<b>\$134,170</b>	<b>\$1,199,390</b>	-	<b>\$142,690</b>	<b>\$8,730</b>
TOTAL (Priority 1-6 without escalation)		<b>\$2,040,480</b>	<b>\$2,335,370</b>					
			TOTAL (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

**Gold Ridge Recreation Center**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1566	B2020 - EXTERIOR WINDOWS	B2020.20.005	Exterior	Glazing is damaged.	Re-glaze single glazing window.	40	SF	\$2,740	\$6,430	1
1590	D4030 - FIRE PROTECTION SPECIALTIES	D4030.30.001	1	Fire extinguisher cabinet is damaged.	Replace fire extinguisher cabinet.	1	EA	\$690	\$1,620	1
1589	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	1	The 225A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
1746	D5040 - LIGHTING	D5040.50.302	Exterior	The exterior light fixture is past its expected useful life.	Replace the existing light fixture with an LED lighting fixture.	10	EA	\$9,690	\$22,720	1
1747	D5040 - LIGHTING	D5040.50.411		Interior lighting system is past its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	14,000	SF	\$341,890	\$801,050	1
1574	C2010 - WALL FINISHES	C2010.70.001	Kitchen	Painted gypsum wallboard is showing signs of wear.	Patch and paint the gypsum wallboard.	400	SF	\$3,430	\$8,420	2
1582	C2030 - FLOORING	C2030.50.001	Stage	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	400	SF	\$4,120	\$10,110	2
1581	C2030 - FLOORING	C2030.50.001	Storage	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	200	SF	\$2,060	\$5,060	2
1571	C2030 - FLOORING	C2030.50.002	Kitchen	Sheet vinyl is approaching the end of its useful life.	Remove the existing sheet vinyl and replace.	600	SF	\$10,400	\$25,510	2
1579	C2030 - FLOORING	C2030.50.002	Janitor's Closet	Sheet vinyl is approaching the end of its useful life.	Remove the existing sheet vinyl and replace.	100	SF	\$1,740	\$4,280	2
1573	E2010 - FIXED FURNISHINGS	E2010.30.008	Kitchen	Plastic laminate base cabinet (with countertop) is in poor condition.	Remove and replace with new plastic laminate base cabinet and countertop.	40	LF	\$21,920	\$53,750	2
1598	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.002	AC Paving	AC paving has major damage and/or structure failure.	Replace AC pavement section.	800	SF	\$9,540	\$23,400	2
1592	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Entryway	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	100	SF	\$1,480	\$3,640	2
1565	B2050 - EXTERIOR DOORS AND GRILLES	B2050.20.002	Entry	Metal door is damaged or deteriorated.	Repair door and repaint.	2	EA	\$3,290	\$8,430	3
1572	C1030 - INTERIOR DOORS	C1030.10.009	Kitchen	Interior hollow metal door is in visual need of refurbishment.	Refurbish/repair interior hollow metal door.	1	EA	\$4,660	\$11,930	3
1577	C1030 - INTERIOR DOORS	C1030.90.003	Men's Restroom	Metal door and frame are in fair to poor condition.	Repair and refinish the metal door and frame.	1	EA	\$350	\$900	3

**City of Rohnert Park  
Facility Condition Assessment**

**Gold Ridge Recreation Center**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

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General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engine Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1575	C1030 - INTERIOR DOORS	C1030.90.003	Women's Restroom	Metal door and frame are in fair to poor condition.	Repair and refinish the metal door and frame.	1	EA	\$350	\$900	3
1568	C2030 - FLOORING	C2030.50.001	Corridor	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	200	SF	\$2,060	\$5,280	3
1588	C2030 - FLOORING	C2030.50.001	Storage	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	100	SF	\$1,030	\$2,650	3
1337	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.002		Gas fired water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,650	\$14,470	3
1334	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.023		Electric water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,650	\$14,470	3
1333	D3020 - HEATING SYSTEMS	D3020.10.008		Furnace is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$11,620	\$29,750	3
1335	D3020 - HEATING SYSTEMS	D3020.10.008		Furnace is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$11,620	\$29,750	3
1340	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$52,640	3
1341	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$52,640	3
1569	E2010 - FIXED FURNISHINGS	E2010.30.004	Basketball Court	The existing casework is at or is approaching the end of its useful life.	Replace original wood cabinets.	25	LF	\$15,420	\$39,490	3
1600	G2020 - PARKING LOTS	G2020.10.001	Parking Lot	AC paving has faded or has minor weathering.	Reseal parking lot pavement.	20,000	SF	\$106,860	\$273,560	3
1596	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.004	Pavement	Concrete pavement has major damage / structural failure.	Replace concrete paving (base to remain).	2,000	SF	\$26,310	\$67,360	3
1599	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.004	Parking Lot Sidewalk	Concrete pavement has major damage / structural failure.	Replace concrete paving (base to remain).	200	SF	\$2,640	\$6,770	3
1593	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.006	Pavement	Areas of concrete pavement are showing signs of damage and movement.	Replace pedestrian concrete paving.	1,000	SF	\$14,800	\$37,890	3
1595	G2050 - ATHLETIC, RECREATIONAL, AND PLAYFIELD AREAS	G2050.10.001	Outdoor Courts	Asphalt courts: AC paving has faded or has minor weathering.	Reseal AC paving.	40,000	SF	\$213,720	\$547,120	3

**City of Rohnert Park  
Facility Condition Assessment**

**Gold Ridge Recreation Center**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1594	G2060 - SITE DEVELOPMENT	G2060.25.026	Exterior	Bench is at or approaching the end of its useful life.	Replace bench.	1	EA	\$1,320	\$3,390	3
1570	C2030 - FLOORING	C2030.50.001	Basketball Court	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	5,000	SF	\$51,380	\$142,690	5
1586	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1009		The 400A (42 ckts, 120/208, 3P) panelboard useful life is beyond the priority timeline of FCA(Informational).	None.	1	EA	-	-	7
1336	D3060 - VENTILATION	D3060.30.005		Exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$8,730	6

**City of Rohnert Park  
Facility Condition Assessment**

**Gold Ridge Recreation Center**

Record ID 1333  
 System D3020 - HEATING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. D3020.10.008

Floor/Room:

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$29,750  
 Deficiency Description: *Furnace is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 1334  
 System D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. D2010.20.023

Floor/Room:

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$14,470  
 Deficiency Description: *Electric water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 1335  
 System D3020 - HEATING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. D3020.10.008

Floor/Room:

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$29,750  
 Deficiency Description: *Furnace is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:





**City of Rohnert Park  
Facility Condition Assessment**

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**Gold Ridge Recreation Center**

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Record ID: 1336  
System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D3060.30.005

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$8,730

Deficiency Description: *Exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Exhaust serves kitchen hood*



Record ID: 1337  
System: D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: - / 15 / -

Item No.: D2010.20.002

Floor/Room:

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$14,470

Deficiency Description: *Gas fired water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1340  
System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: - / 15 / -

Item No.: D3030.10.018

Floor/Room:

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$52,640

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Gold Ridge Recreation Center**

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Record ID: 1341  
System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: - / 15 / -

Item No.: D3030.10.018

Floor/Room: -

Priority: **3**

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$52,640  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID: 1565  
System: B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: B2050.20.002

Floor/Room: 1 / Entry

Priority: **3**

Quantity/Unit of Measure: 2/EA  
Total Deficiency Cost: \$8,430  
Deficiency Description: *Metal door is damaged or deteriorated.*

Description of Work: *Repair door and repaint.*

Comments:



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Record ID: 1566  
System: B2020 - EXTERIOR WINDOWS

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: B2020.20.005

Floor/Room: 1 / Exterior

Priority: **1**

Quantity/Unit of Measure: 40/SF  
Total Deficiency Cost: \$6,430  
Deficiency Description: *Glazing is damaged.*

Description of Work: *Re-glaze single glazing window.*

Comments: *5 panes damaged.*



**City of Rohnert Park  
Facility Condition Assessment**

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**Gold Ridge Recreation Center**

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Record ID 1568  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.50.001

Floor/Room: 1 / Corridor

**Priority:** 3

Quantity/Unit of Measure: 200/SF

Total Deficiency Cost: \$5,280

Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



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Record ID 1569  
System E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. E2010.30.004

Floor/Room: 1 / Basketball Court

**Priority:** 3

Quantity/Unit of Measure: 25/LF

Total Deficiency Cost: \$39,490

Deficiency Description: *The existing casework is at or is approaching the end of its useful life.*

Description of Work: *Replace original wood cabinets.*

Comments:



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Record ID 1570  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.50.001

Floor/Room: 1 / Basketball Court

**Priority:** 5

Quantity/Unit of Measure: 5,000/SF

Total Deficiency Cost: \$142,690

Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Gold Ridge Recreation Center**

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Record ID 1571  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -  
Item No. C2030.50.002  
Floor/Room: 1 / Kitchen  
**Priority: 2**  
Quantity/Unit of Measure: 600/SF  
Total Deficiency Cost: \$25,510  
Deficiency Description: *Sheet vinyl is approaching the end of its useful life.*

Description of Work: *Remove the existing sheet vinyl and replace.*

Comments:



Record ID 1572  
System C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life - / - / -  
Item No. C1030.10.009  
Floor/Room: 1 / Kitchen  
**Priority: 3**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$11,930  
Deficiency Description: *Interior hollow metal door is in visual need of refurbishment.*

Description of Work: *Refurbish/repair interior hollow metal door.*

Comments:



Record ID 1573  
System E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life - / - / -  
Item No. E2010.30.008  
Floor/Room: 1 / Kitchen  
**Priority: 2**  
Quantity/Unit of Measure: 40/LF  
Total Deficiency Cost: \$53,750  
Deficiency Description: *Plastic laminate base cabinet (with countertop) is in poor condition.*

Description of Work: *Remove and replace with new plastic laminate base cabinet and countertop.*

Comments:



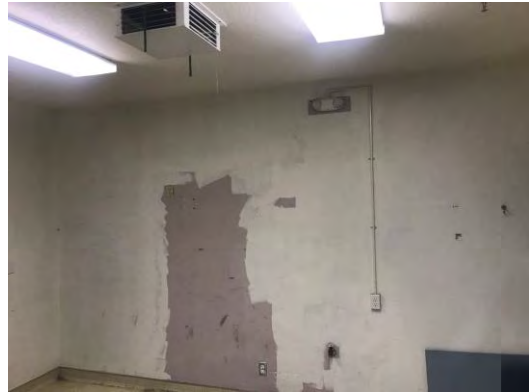
**City of Rohnert Park  
Facility Condition Assessment**

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**Gold Ridge Recreation Center**

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Record ID: 1574  
System: C2010 - WALL FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: C2010.70.001  
Floor/Room: 1 / Kitchen  
**Priority:** 2  
Quantity/Unit of Measure: 400/SF  
Total Deficiency Cost: \$8,420  
Deficiency Description: *Painted gypsum wallboard is showing signs of wear.*



Description of Work: *Patch and paint the gypsum wallboard.*

Comments:

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Record ID: 1575  
System: C1030 - INTERIOR DOORS  
  
Year Installed / Industry Life / Remaining Useful Life: - / 60 / -  
Item No.: C1030.90.003  
Floor/Room: 1 / Women's Restroom  
**Priority:** 3  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$900  
Deficiency Description: *Metal door and frame are in fair to poor condition.*



Description of Work: *Repair and refinish the metal door and frame.*

Comments:

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Record ID: 1577  
System: C1030 - INTERIOR DOORS  
  
Year Installed / Industry Life / Remaining Useful Life: - / 60 / -  
Item No.: C1030.90.003  
Floor/Room: 1 / Men's Restroom  
**Priority:** 3  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$900  
Deficiency Description: *Metal door and frame are in fair to poor condition.*



Description of Work: *Repair and refinish the metal door and frame.*

Comments:

**City of Rohnert Park  
Facility Condition Assessment**

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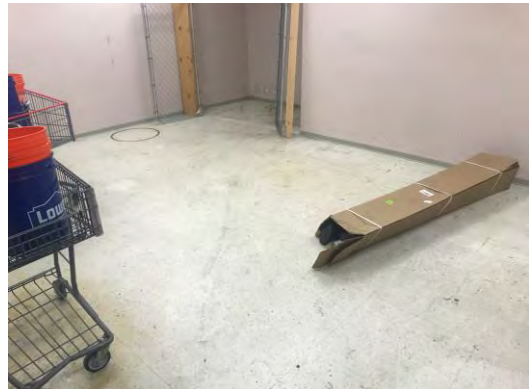
**Gold Ridge Recreation Center**

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Record ID 1579  
System C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life - / 60 / -  
Item No. C2030.50.002  
Floor/Room: 1 / Janitor's Closet  
**Priority: 2**  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$4,280  
Deficiency Description: *Sheet vinyl is approaching the end of its useful life.*  
  
Description of Work: *Remove the existing sheet vinyl and replace.*  
  
Comments:



Record ID 1581  
System C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life - / 60 / -  
Item No. C2030.50.001  
Floor/Room: 1 / Storage  
**Priority: 2**  
Quantity/Unit of Measure: 200/SF  
Total Deficiency Cost: \$5,060  
Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*  
  
Description of Work: *Remove the existing vinyl composition tile and replace.*  
  
Comments:



Record ID 1582  
System C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life - / 60 / -  
Item No. C2030.50.001  
Floor/Room: 1 / Stage  
**Priority: 2**  
Quantity/Unit of Measure: 400/SF  
Total Deficiency Cost: \$10,110  
Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*  
  
Description of Work: *Remove the existing vinyl composition tile and replace.*  
  
Comments:



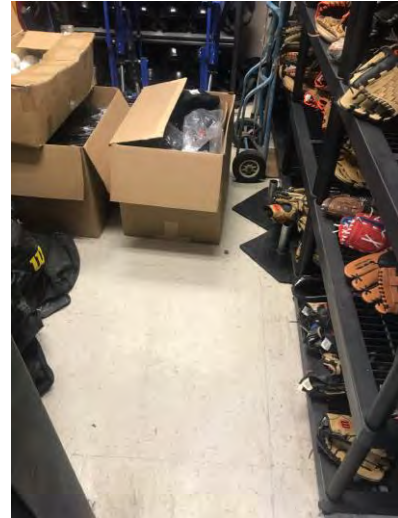
**City of Rohnert Park  
Facility Condition Assessment**

**Gold Ridge Recreation Center**

Record ID: 1586  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 2020 / 30 / 28  
 Item No.: D5020.30.1009  
 Floor/Room: 6  
**Priority:** 6  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: N/A - See Executive Summary  
 Deficiency Description: *The 400A (42 ckts, 120/208, 3P) panelboard useful life is beyond the priority timeline of FCA(Informational).*  
 Description of Work: *None.*  
 Comments:



Record ID: 1588  
 System: C2030 - FLOORING  
 Year Installed / Industry Life / Remaining Useful Life: - / 60 / -  
 Item No.: C2030.50.001  
 Floor/Room: 1 / Storage  
**Priority:** 3  
 Quantity/Unit of Measure: 100/SF  
 Total Deficiency Cost: \$2,650  
 Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*  
 Description of Work: *Remove the existing vinyl composition tile and replace.*  
 Comments:



Record ID: 1589  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1992 / 30 / 0  
 Item No.: D5020.30.1008  
 Floor/Room: 1  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,570  
 Deficiency Description: *The 225A (120/208, 3P) panelboard is past its expected useful life.*  
 Description of Work: *Replace the existing panelboard with a new panelboard.*  
 Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Gold Ridge Recreation Center**

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Record ID 1590  
System D4030 - FIRE PROTECTION SPECIALTIES

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D4030.30.001

Floor/Room: 1

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$1,620

Deficiency Description: *Fire extinguisher cabinet is damaged.*

Description of Work: *Replace fire extinguisher cabinet.*

Comments:



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Record ID 1592  
System G2030 - PEDESTRIAN PLAZAS AND WALKWAYS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. G2030.10.005

Floor/Room: Site / Entryway

Priority: 2

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$3,640

Deficiency Description: *Concrete pavement has major damage / structural failure.*

Description of Work: *Replace concrete and base to match existing.*

Comments:



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Record ID 1593  
System G2030 - PEDESTRIAN PLAZAS AND WALKWAYS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. G2030.10.006

Floor/Room: Site / Pavement

Priority: 3

Quantity/Unit of Measure: 1,000/SF

Total Deficiency Cost: \$37,890

Deficiency Description: *Areas of concrete pavement are showing signs of damage and movement.*

Description of Work: *Replace pedestrian concrete paving.*

Comments:





## City of Rohnert Park Facility Condition Assessment

### Gold Ridge Recreation Center

Record ID: 1594  
 System: G2060 - SITE DEVELOPMENT

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: G2060.25.026  
 Floor/Room: Site / Exterior

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$3,390  
 Deficiency Description: *Bench is at or approaching the end of its useful life.*



Description of Work: *Replace bench.*

Comments:

Record ID: 1595  
 System: G2050 - ATHLETIC, RECREATIONAL, AND PLAYFIELD AREAS

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: G2050.10.001  
 Floor/Room: Site / Outdoor Courts

**Priority:** 3

Quantity/Unit of Measure: 40,000/SF  
 Total Deficiency Cost: \$547,120  
 Deficiency Description: *Asphalt courts: AC paving has faded or has minor weathering.*



Description of Work: *Reseal AC paving.*

Comments:

Record ID: 1596  
 System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: G2030.10.004  
 Floor/Room: Site / Pavement

**Priority:** 3

Quantity/Unit of Measure: 2,000/SF  
 Total Deficiency Cost: \$67,360  
 Deficiency Description: *Concrete pavement has major damage / structural failure.*



Description of Work: *Replace concrete paving (base to remain).*

Comments:

**City of Rohnert Park  
Facility Condition Assessment**

**Gold Ridge Recreation Center**

Record ID: 1598  
 System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: G2030.10.002  
 Floor/Room: Site / AC Paving  
**Priority:** 2  
 Quantity/Unit of Measure: 800/SF  
 Total Deficiency Cost: \$23,400  
 Deficiency Description: *AC paving has major damage and/or structure failure.*

Description of Work: *Replace AC pavement section.*

Comments:



Record ID: 1599  
 System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: G2030.10.004  
 Floor/Room: Site / Parking Lot Sidewalk  
**Priority:** 3  
 Quantity/Unit of Measure: 200/SF  
 Total Deficiency Cost: \$6,770  
 Deficiency Description: *Concrete pavement has major damage / structural failure.*

Description of Work: *Replace concrete paving (base to remain).*

Comments:



Record ID: 1600  
 System: G2020 - PARKING LOTS  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: G2020.10.001  
 Floor/Room: Site / Parking Lot  
**Priority:** 3  
 Quantity/Unit of Measure: 20,000/SF  
 Total Deficiency Cost: \$273,560  
 Deficiency Description: *AC paving has faded or has minor weathering.*

Description of Work: *Reseal parking lot pavement.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Gold Ridge Recreation Center**

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Record ID 1746  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life 1993 / 20 / -9

Item No. D5040.50.302

Floor/Room: 1 / Exterior

Priority: 1

Quantity/Unit of Measure: 10/EA

Total Deficiency Cost: \$22,720

Deficiency Description: *The exterior light fixture is past its expected useful life.*

Description of Work: *Replace the existing light fixture with an LED lighting fixture.*

Comments:



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Record ID 1747  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life 1993 / 20 / -9

Item No. D5040.50.411

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 14,000/SF

Total Deficiency Cost: \$801,050

Deficiency Description: *Interior lighting system is past its expected useful life.*

Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments:



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# Golf Course Club House

## Detailed Report

**Address: 100 Golf Course Drive, Rohnert Park, CA 94928**

### Statistics

Year Built:	1989
Building Additions:	1997
CIP Projects	Banquet Hall Mechanical Well Roof Replacement Project - Project No. 2020-32
Building Area:	7400 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$883,550</b>
FCI:	0.105
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$8,393,000
Replacement Cost/SF:	\$1,132



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## Assessment Descriptions

### Architectural Elements

Built in 1989, with additions in 1997, the Golf Course Club House is a 7,400 SF building located on Golf Course Drive, near the Golf Course Pro Shop, Snack Bar, and Cart Barn building. The Club House serves the approximate 140-acre, 18-hole Foxtail Golf Course and include dressing rooms with attached restrooms, kitchen, bar, offices, and a dance area. The interior finish materials consist of painted gypsum board, ceramic tile, carpet flooring, and lay-in acoustical ceiling tile. Interior wall, floor, and ceiling finishes within the dance area, changing/restrooms, and offices are in good condition with some signs of wear and use throughout. The kitchen ceiling, wall, and floor finishes need to be updated.

The exterior finish materials consist of stucco walls, aluminum doors, wood windows, modified-bituminous roofing with an elastomeric coating, and concrete tile roofing. It is recommended that areas of the exterior stucco are cleaned and repaired. Overall, the exterior finish materials appear to be in fair to good condition.

The immediate site landscaping and hardscape is in good condition, with some minor cracking noted in the pedestrian concrete pavement. At the time of the assessment, the site parking pavement was in the process of being replaced.

### Mechanical Systems

The mechanical systems consist of packaged rooftop units that serve the general hall and office spaces and evaporative coolers which serve the kitchen space. The refrigeration system serving the kitchen spaces is also located on the roof. Rooftop exhaust fans serve the restroom areas, storage rooms, and kitchen spaces. An Ansul fume hood serves the kitchen gas equipment. The conditioned air is distributed to the spaces via diffusers through a hard duct above the ceiling.

Overall, the mechanical systems appear to be in operational condition with the exhaust fans appearing to be approaching the end of their expected industry standard useful life.

### Electrical Systems

Electrical power is supplied from the 800-amp main switchboard located in the Pro Shop, Snack Bar, and Cart Barn building. Electrical power is distributed via multiple panelboards throughout the building. The electrical distribution equipment appears to be original to the facility and past its expected useful life.

Interior and exterior lighting systems also appear to be past their expected useful life.

### Plumbing Elements

The plumbing systems consist of cold and hot domestic water piping, sanitary waste piping, vent piping, and gas piping. The domestic hot water is provided by a central water heater located in the outside closet of the kitchen. The plumbing fixtures appear to be in operable condition and consist of flush valve floor-mounted water closets, counter-mounted lavatory sinks, a kitchen sink with disposal, dishwasher, and drinking fountain.

Overall, the plumbing equipment and fixtures appear to be in operational condition with no issues observed or reported.

### Fire Protection

The building's fire protection systems include a fire alarm system with a fire sprinkler system that is distributed throughout the building. Portable fire extinguishers were observed throughout the building. The fire extinguishers throughout the building appear to be regularly inspected by the State Fire Marshal and swapped out accordingly.

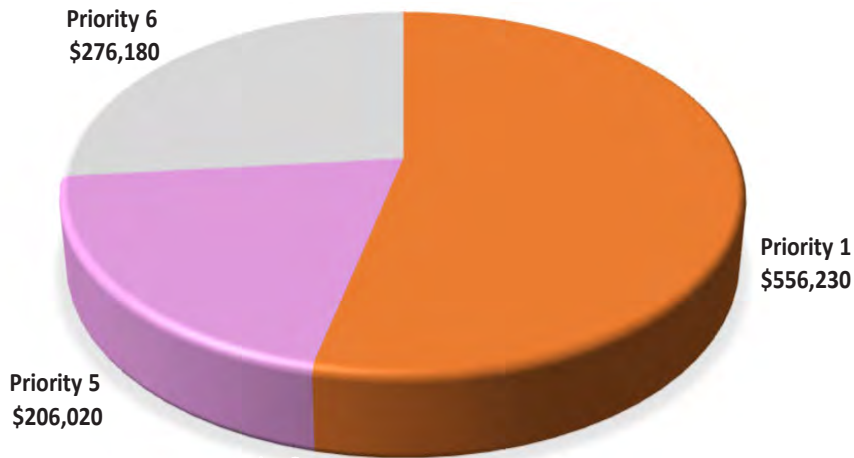
## Conclusion

For the Golf Course Club House, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Golf Course Club House						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$556,230	\$0	\$0	\$0	\$206,020	\$276,180	\$1,038,430
53.56%	0.00%	0.00%	0.00%	19.84%	26.60%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Golf Course Club House

<b>Capital Renewal Cost:</b>	<b>\$883,550</b>	FCI:	<b>0.105</b>
Replacement Cost:	<b>\$8,393,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,132</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2050	EXTERIOR DOORS AND GRILLES	\$1,180	-	-	-	-	\$1,520	-
B3020	ROOF APPURTENANCES	\$1,810	\$1,960	-	-	-	-	-
C2010	WALL FINISHES	\$182,960	\$25,060	-	-	-	\$204,500	-
C2050	CEILING FINISHES	\$18,360	\$19,850	-	-	-	-	-
D2020	SANITARY DRAINAGE	\$14,890	-	-	-	-	-	\$19,810
D3060	VENTILATION	\$28,310	-	-	-	-	-	\$37,670
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$51,570	\$55,710	-	-	-	-	-
D5040	LIGHTING	\$420,040	\$453,650	-	-	-	-	-
D7050	DETECTION AND ALARM	\$164,430	-	-	-	-	-	\$218,700
<b>TOTALS</b>		<b>\$883,550</b>	<b>\$556,230</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>\$206,020</b>	<b>\$276,180</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$883,550</b>	<b>\$1,038,430</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

**Golf Course Club House**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
874	B3020 - ROOF APPURTENANCES	B3020.70.001	N/A	Rain leaders/gutters are damaged and leak.	Repair, replace rain leaders/gutters.	40	LF	\$830	\$1,960	1
884	C2010 - WALL FINISHES	C2010.20.003	Kitchen	Fiberglass reinforced paneling is at or approaching the end of its useful life.	Install and replace the fiberglass reinforced paneling.	1,300	SF	\$10,690	\$25,060	1
897	C2050 - CEILING FINISHES	C2050.80.001	Men's Restroom	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	8	SF	\$60	\$160	1
895	C2050 - CEILING FINISHES	C2050.80.001	Bridal Suite	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	8	SF	\$60	\$160	1
885	C2050 - CEILING FINISHES	C2050.80.001	Kitchen	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	1,300	SF	\$8,330	\$19,530	1
888	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	Panel B	The 225A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
887	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	Kitchen	The 225A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
556	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	Offices	The 225A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
916	D5040 - LIGHTING	D5040.50.302	N/A	The exterior wall mounted fixture is past its expected useful life.	Replace the existing wall mounted lighting fixture with an LED lighting fixture.	13	EA	\$12,600	\$29,530	1
883	D5040 - LIGHTING	D5040.50.411	All	Interior lighting system is at or is approaching end of its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	7,412	SF	\$181,010	\$424,120	1
873	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.018	Water Heater Room	Metal entrance door is damaged or deteriorating.	Refurbish/repair metal entrance door.	1	EA	\$270	\$760	5
872	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.018	Kitchen	Metal entrance door is damaged or deteriorating.	Refurbish/repair metal entrance door.	1	EA	\$270	\$760	5
1683	C2010 - WALL FINISHES	C2010.70.001	Dining Room/Offices	Painted gypsum wallboard is showing signs of wear.	Patch and paint the gypsum wallboard.	8,600	SF	\$73,640	\$204,500	5

**City of Rohnert Park  
Facility Condition Assessment**

**Golf Course Club House**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
559	D2020 - SANITARY DRAINAGE	D2020.30.018	1st Floor	Grease interceptor is at or approaching end of its expected useful service life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6
527	D3060 - VENTILATION	D3060.30.004	Roof	Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$2,060	\$5,950	6
534	D3060 - VENTILATION	D3060.30.004	Roof	Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$2,060	\$5,950	6
533	D3060 - VENTILATION	D3060.30.004	Roof	Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$2,060	\$5,950	6
532	D3060 - VENTILATION	D3060.30.006	Roof	Large roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,430	\$9,910	6
531	D3060 - VENTILATION	D3060.30.006	Roof	Large roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,430	\$9,910	6
557	D7050 - DETECTION AND ALARM	D7050.10.022	1st Floor	The existing fire alarm system is at the end of its industry rated useful life.	Provide a fully addressable fire alarm control panel with associated initiating and signaling devices.	7,400	SF	\$75,790	\$218,700	6

**City of Rohnert Park  
Facility Condition Assessment**

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**Golf Course Club House**

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Record ID: 527  
System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D3060.30.004

Floor/Room: Roof

Priority: 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$5,950

Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Replacement recommended in 10 years based on industry standard useful life.*



Record ID: 531  
System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D3060.30.006

Floor/Room: Roof

Priority: 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$9,910

Deficiency Description: *Large roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Replacement recommended in 10 years based on industry standard useful life.*



Record ID: 532  
System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D3060.30.006

Floor/Room: Roof

Priority: 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$9,910

Deficiency Description: *Large roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Replacement recommended in 10 years based on industry standard useful life.*



**City of Rohnert Park  
Facility Condition Assessment**

**Golf Course Club House**

Record ID: 533  
 System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D3060.30.004  
 Floor/Room: Roof

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$5,950  
 Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Replacement recommended in 10 years based on industry standard useful life.*



Record ID: 534  
 System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D3060.30.004  
 Floor/Room: Roof

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$5,950  
 Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Replacement recommended in 10 years based on industry standard useful life.*



Record ID: 556  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1989 / 30 / -3

Item No.: D5020.30.1008  
 Floor/Room: 1st Floor / Offices

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,570  
 Deficiency Description: *The 225A (120/208, 3P) panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Golf Course Club House**

Record ID: 557  
 System: D7050 - DETECTION AND ALARM

Year Installed / Industry Life / Remaining Useful Life: 1997 / 15 / -10

Item No.: D7050.10.022

Floor/Room: 1st Floor

Priority: 7

Quantity/Unit of Measure: 7,400/SF

Total Deficiency Cost: \$218,700

Deficiency Description: *The existing fire alarm system is at the end of its industry rated useful life.*



Description of Work: *Provide a fully addressable fire alarm control panel with associated initiating and signaling devices.*

Comments:

Record ID: 559  
 System: D2020 - SANITARY DRAINAGE

Year Installed / Industry Life / Remaining Useful Life: - / 15 / -

Item No.: D2020.30.018

Floor/Room: 1st Floor

Priority: 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$19,810

Deficiency Description: *Grease interceptor is at or approaching end of its expected useful service life.*



Description of Work: *Provide equipment replacement and installation.*

Comments: *Replacement recommended in 10 years based on industry standard useful life.*

Record ID: 872  
 System: B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: B2050.10.018

Floor/Room: 1st Floor / Kitchen

Priority: 5

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$760

Deficiency Description: *Metal entrance door is damaged or deteriorating.*



Description of Work: *Refurbish/repair metal entrance door.*

Comments:

**City of Rohnert Park  
Facility Condition Assessment**

**Golf Course Club House**

Record ID: 873  
System: B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: B2050.10.018

Floor/Room: 1st Floor / Water Heater Room

Priority: 5

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$760

Deficiency Description: *Metal entrance door is damaged or deteriorating.*

Description of Work: *Refurbish/repair metal entrance door.*

Comments:



Record ID: 874  
System: B3020 - ROOF APPURTENANCES

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: B3020.70.001

Floor/Room: Exterior / N/A

Priority: 1

Quantity/Unit of Measure: 40/LF

Total Deficiency Cost: \$1,960

Deficiency Description: *Rain leaders/gutters are damaged and leak.*

Description of Work: *Repair, replace rain leaders/gutters.*

Comments:



Record ID: 883  
System: D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life: 1989 / 20 / -13

Item No.: D5040.50.411

Floor/Room: 1st Floor / All

Priority: 1

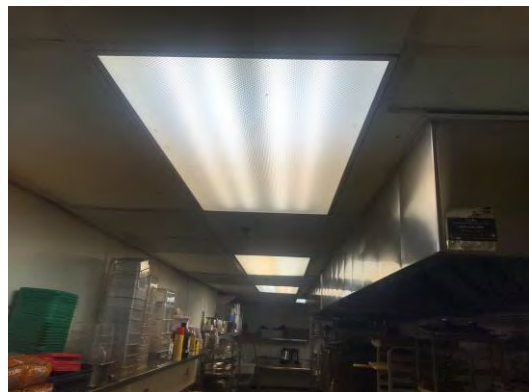
Quantity/Unit of Measure: 7,412/SF

Total Deficiency Cost: \$424,120

Deficiency Description: *Interior lighting system is at or is approaching end of its expected useful life.*

Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Golf Course Club House**

Record ID: 884  
 System: C2010 - WALL FINISHES

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: C2010.20.003  
 Floor/Room: 1st Floor / Kitchen

**Priority:** 1

Quantity/Unit of Measure: 1,300/SF  
 Total Deficiency Cost: \$25,060

Deficiency Description: *Fiberglass reinforced paneling is at or approaching the end of its useful life.*

Description of Work: *Install and replace the fiberglass reinforced paneling.*

Comments:



Record ID: 885  
 System: C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life: - / 50 / -

Item No.: C2050.80.001  
 Floor/Room: 1st Floor / Kitchen

**Priority:** 1

Quantity/Unit of Measure: 1,300/SF  
 Total Deficiency Cost: \$19,530

Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



Record ID: 887  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1989 / 30 / -3

Item No.: D5020.30.1008  
 Floor/Room: 1st Floor / Kitchen

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,570

Deficiency Description: *The 225A (120/208, 3P) panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:





**City of Rohnert Park  
Facility Condition Assessment**

**Golf Course Club House**

Record ID: 888  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1989 / 30 / -3  
 Item No.: D5020.30.1008  
 Floor/Room: 1st Floor / Panel B  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,570  
 Deficiency Description: *The 225A (120/208, 3P) panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID: 895  
 System: C2050 - CEILING FINISHES  
 Year Installed / Industry Life / Remaining Useful Life: - / 50 / -  
 Item No.: C2050.80.001  
 Floor/Room: 1st Floor / Bridal Suite  
**Priority:** 1  
 Quantity/Unit of Measure: 8/SF  
 Total Deficiency Cost: \$160  
 Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments: *Investigate source of water stain.*



Record ID: 897  
 System: C2050 - CEILING FINISHES  
 Year Installed / Industry Life / Remaining Useful Life: - / 50 / -  
 Item No.: C2050.80.001  
 Floor/Room: 1st Floor / Men's Restroom  
**Priority:** 1  
 Quantity/Unit of Measure: 8/SF  
 Total Deficiency Cost: \$160  
 Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Golf Course Club House

Record ID 916  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life 1989 / 20 / -13

Item No. D5040.50.302

Floor/Room: Exterior / N/A

Priority: 1

Quantity/Unit of Measure: 13/EA

Total Deficiency Cost: \$29,530

Deficiency Description: *The exterior wall mounted fixture is past its expected useful life.*

Description of Work: *Replace the existing wall mounted lighting fixture with an LED lighting fixture.*

Comments:



Record ID 1683  
System C2010 - WALL FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. C2010.70.001

Floor/Room: 1st Floor / Dining Room/Offices

Priority: 5

Quantity/Unit of Measure: 8,600/SF

Total Deficiency Cost: \$204,500

Deficiency Description: *Painted gypsum wallboard is showing signs of wear.*

Description of Work: *Patch and paint the gypsum wallboard.*

Comments:



# Golf Course Pro Shop, Snack Bar and Cart Barn Detailed Report

**Address: 100 Golf Course Drive, Rohnert Park, CA 94928**

## Statistics

Year Built:	1989
Building Area:	10,500 SF

## FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$924,970</b>
FCI:	0.119
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$7,767,000
Replacement Cost/SF:	\$737



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## Assessment Descriptions

### Architectural Elements

Built in 1989, the 10,500 SF Golf Course Pro Shop, Snack Bar, and Cart Barn building is located near the Golf Course Pro Shop and serves the approximate 140-acre, 18-hole Foxtail Golf Course. The building includes a shop, snack bar, restrooms, office, storage closet, and a large cart storage area. The interior finish materials consist of painted gypsum board, ceramic tile, carpet flooring, and lay-in acoustical ceiling tile. Interior wall, floor, and ceiling finishes within the shop, snack bar, and restroom are in fair to good condition, with signs of wear and use throughout.

The exterior finish materials consist of stucco walls, modified-bituminous roofing, and concrete tile roofing. The modified-bituminous roofing surfaces are showing signs of wear and ponding throughout. It is recommended the modified-bituminous roof be replaced within the next few years. Overall, the exterior finish materials appear to be in fair to good condition.

The immediate site landscaping and hardscape are in good condition, with some minor cracking noted in the pedestrian concrete pavement. At the time of the assessment, the site parking pavement was in the process of being replaced.

### Mechanical Systems

The mechanical systems consist of split system units located on the roof with fan coils located above the hard-lid ceiling which serve the snack bar and pro shop spaces. A refrigeration system serving the kitchen space is also located on the roof. The mechanical systems serving the Cart Barn consist of gas unit heaters located in the rafter spaces. Rooftop exhaust fans serve the restroom areas and kitchen spaces. The conditioned air is distributed to the spaces via diffusers through a hard duct above the ceiling.

Overall, the mechanical systems appear to be in operational condition with the mechanical systems approaching the end of their expected industry standard useful life and should be replaced.

### Electrical Systems

Power is routed underground to a 480/77V, 3-phase, panel 'AH' in the pool equipment room. This supplies a 37.5KVA step down transformer that feeds panel "AL". Panel 'AL' subfeeds remote panels "B" and "C". The electrical equipment is original to the 1980's installation and past its expected life.

The interior lighting and exterior lighting system appears to be past its expected useful life.

### Plumbing Elements

The plumbing systems consist of cold and hot domestic water piping, sanitary waste piping, vent piping, and gas piping. The domestic hot water is provided by a central gas-fired water heater located inside the cart barn section of the building. The plumbing fixtures appear to be in operable condition and consist of flush valve floor-mounted water closets, counter-mounted lavatory sinks, a kitchen sink with disposal, dishwasher, and drinking fountain.

Overall, the plumbing equipment and fixtures appear to be in operational condition with the central water heater requiring replacement as it is approaching the end of its expected industry standard useful life and should be replaced.

### Fire Protection

The building is equipped with a fire sprinkler system that is distributed throughout the building. Portable fire extinguishers were observed throughout the building. The fire extinguishers throughout the building appear to be regularly inspected by the State Fire Marshal and swapped out accordingly.

The building does not appear to be equipped with a fire alarm system.

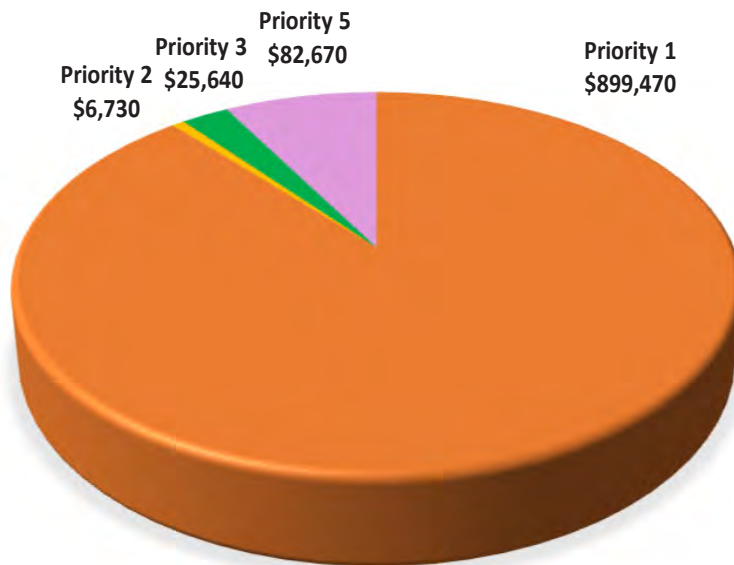
## Conclusion

For the Golf Course Pro Shop, Snack Bar and Cart Barn, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Golf Course Pro Shop, Snack Bar and Cart Barn						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$899,470	\$6,730	\$25,640	\$0	\$82,670	\$0	\$1,014,510
88.66%	0.66%	2.53%	0.00%	8.15%	0.00%	100%

CAPITAL RENEWAL COSTS BY PRIORITY CHART



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**City of Rohnert Park  
Facility Condition Assessment**

Golf Course Pro Shop, Snack Bar and Cart Barn

<b>Capital Renewal Cost:</b>	<b>\$924,970</b>	FCI:	<b>0.119</b>
Replacement Cost:	<b>\$7,767,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$737</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2050	EXTERIOR DOORS AND GRILLES	\$1,180	\$1,280	-	-	-	-	-
B3010	ROOFING	\$41,030	\$44,320	-	-	-	-	-
B3060	HORIZONTAL OPENINGS	\$14,890	\$16,090	-	-	-	-	-
C1090	INTERIOR SPECIALTIES	\$14,280	\$15,430	-	-	-	-	-
C2030	FLOORING	\$35,700	-	-	\$2,830	-	\$42,640	-
C2050	CEILING FINISHES	\$2,240	\$2,420	-	-	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$36,040	\$26,100	-	-	-	\$15,220	-
D3020	HEATING SYSTEMS	\$11,030	\$11,920	-	-	-	-	-
D3030	COOLING SYSTEMS	\$76,050	\$61,260	-	\$22,810	-	-	-
D3060	VENTILATION	\$25,310	-	\$6,730	-	-	\$24,810	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$110,160	\$119,020	-	-	-	-	-
D5040	LIGHTING	\$557,060	\$601,630	-	-	-	-	-
<b>TOTALS</b>		<b>\$924,970</b>	<b>\$899,470</b>	<b>\$6,730</b>	<b>\$25,640</b>	<b>-</b>	<b>\$82,670</b>	<b>-</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$924,970</b>	<b>\$1,014,510</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

**Golf Course Pro Shop, Snack Bar and Cart Barn**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engine Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
858	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.018	N/A	Metal entrance door is damaged or deteriorating.	Refurbish/repair metal entrance door.	1	EA	\$270	\$640	1
868	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.018	N/A	Metal entrance door is damaged or deteriorating.	Refurbish/repair metal entrance door.	1	EA	\$270	\$640	1
1682	B3010 - ROOFING	B3010.50.004	N/A	Single-ply (modified bitumen) roofing is at or approaching the end of its useful life.	Replace single-ply (modified bitumen) roofing.	1,200	SF	\$18,910	\$44,320	1
902	B3060 - HORIZONTAL OPENINGS	B3060.50.004	N/A	Roof access ladder is damaged or missing.	Provide roof access ladder.	1	EA	\$6,860	\$16,090	1
867	C1090 - INTERIOR SPECIALTIES	C1090.25.001	Men's Restroom	Toilet partitions have excessive amounts of rust.	Replace the toilet partitions	4	EA	\$6,580	\$15,430	1
865	C2050 - CEILING FINISHES	C2050.80.001	Men's Restroom	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	160	SF	\$1,030	\$2,420	1
541	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.002	Cart Barn	Gas fired water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,650	\$13,250	1
862	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.60.031	Men's Restroom	Wall mounted hand sink and faucet are at or approaching the end of its expected useful service life.	Provide equipment replacement and installation.	2	EA	\$5,480	\$12,850	1
544	D3020 - HEATING SYSTEMS	D3020.70.003	Cart Barn	Gas fired unit heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,080	\$11,920	1
554	D3030 - COOLING SYSTEMS	D3030.70.044	Roof	Split system with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$13,070	\$30,630	1
552	D3030 - COOLING SYSTEMS	D3030.70.044	Roof	Split system with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$13,070	\$30,630	1
536	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.304	Cart Barn	The 800A metered main switchboard (3P, 120/208 ) is past its expected useful life.	Replace the existing metered main switchboard with a new metered main switchboard.	1	EA	\$9,100	\$21,340	1
543	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1002	Cart Barn	The 225A (42 ckts, 120/240V, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,800	\$18,290	1



**City of Rohnert Park  
Facility Condition Assessment**

**Golf Course Pro Shop, Snack Bar and Cart Barn**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
537	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1007	Cart Barn	The 100A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$4,890	\$11,460	1
538	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	Cart Barn	The 225A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
540	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	Cart Barn	The 225A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
539	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	Cart Barn	The 225A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
542	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4002	Cart Barn	The load center past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,600	\$6,110	1
555	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4002	Snack Bar	The load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,600	\$6,110	1
857	D5040 - LIGHTING	D5040.50.302	Exterior	The exterior light is damaged or approaching the end of its useful life and should be replaced.	Replace the existing or damaged exterior wallpack with a new wallpack.	18	EA	\$17,450	\$40,890	1
915	D5040 - LIGHTING	D5040.50.411	All Rooms	Interior lighting system is at or is approaching end of its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	9,800	SF	\$239,320	\$560,740	1
546	D3060 - VENTILATION	D3060.30.007	Roof	Ventilator is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$2,740	\$6,730	2
909	C2030 - FLOORING	C2030.75.002	Office	Rolled carpeting is approaching the end of its useful life.	Remove existing rolled carpeting and replace it with new 40 oz. nylon carpet.	100	SF	\$1,100	\$2,830	3
551	D3030 - COOLING SYSTEMS	D3030.70.026	Roof	Evaporator unit for cold box system is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$8,910	\$22,810	3
914	C2030 - FLOORING	C2030.75.002	Pro Shop	Rolled carpeting is approaching the end of its useful life.	Remove existing rolled carpeting and replace it with new 40 oz. nylon carpet.	1,400	SF	\$15,350	\$42,640	5
1676	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.60.031	Women's Restroom	Wall mounted hand sink and faucet are at or approaching the end of its expected useful service life.	Provide equipment replacement and installation.	2	EA	\$5,480	\$15,220	5

**City of Rohnert Park  
Facility Condition Assessment**

**Golf Course Pro Shop, Snack Bar and Cart Barn**

**DEFICIENCY TABLE**

*(1) Deficiency Cost = Qty x Unit Cost*

*(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)*

*General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds*

*City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location*

*Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.*

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
547	D3060 - VENTILATION	D3060.30.004	Roof	Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$2,060	\$5,730	5
548	D3060 - VENTILATION	D3060.30.004	Roof	Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$2,060	\$5,730	5
549	D3060 - VENTILATION	D3060.30.004	Roof	Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$2,060	\$5,730	5
550	D3060 - VENTILATION	D3060.30.007	Roof	Ventilator is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$2,740	\$7,620	5

**City of Rohnert Park  
Facility Condition Assessment**

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**Golf Course Pro Shop, Snack Bar and Cart Barn**

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Record ID 536  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 1989 / 20 / -13  
Item No. D5020.10.304  
Floor/Room: 1st Floor / Cart Barn  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$21,340  
Deficiency Description: *The 800A metered main switchboard (3P, 120/208 ) is past its expected useful life.*  
  
Description of Work: *Replace the existing metered main switchboard with a new metered main switchboard.*  
  
Comments:



Record ID 537  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 1989 / 30 / -3  
Item No. D5020.30.1007  
Floor/Room: 1st Floor / Cart Barn  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$11,460  
Deficiency Description: *The 100A (120/208, 3P) panelboard is past its expected useful life.*  
  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
  
Comments:



Record ID 538  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 1989 / 30 / -3  
Item No. D5020.30.1008  
Floor/Room: 1st Floor / Cart Barn  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$18,570  
Deficiency Description: *The 225A (120/208, 3P) panelboard is past its expected useful life.*  
  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
  
Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Golf Course Pro Shop, Snack Bar and Cart Barn**

Record ID 539  
 System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life 1989 / 30 / -3  
 Item No. D5020.30.1008  
 Floor/Room: 1st Floor / Cart Barn  
**Priority: 1**  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,570  
 Deficiency Description: *The 225A (120/208, 3P) panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID 540  
 System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life 1989 / 30 / -3  
 Item No. D5020.30.1008  
 Floor/Room: 1st Floor / Cart Barn  
**Priority: 1**  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,570  
 Deficiency Description: *The 225A (120/208, 3P) panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID 541  
 System D2010 - DOMESTIC WATER DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life 2011 / 15 / 4  
 Item No. D2010.20.002  
 Floor/Room: Cart Barn  
**Priority: 1**  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$13,250  
 Deficiency Description: *Gas fired water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *30 gallon water heater*



# City of Rohnert Park Facility Condition Assessment

## Golf Course Pro Shop, Snack Bar and Cart Barn

Record ID: 542  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1989 / 30 / -3  
Item No.: D5020.30.4002  
Floor/Room: 1st Floor / Cart Barn  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$6,110  
Deficiency Description: *The load center past its expected useful life.*  
Description of Work: *Replace the existing load center with a new load center.*  
Comments:



Record ID: 543  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1989 / 30 / -3  
Item No.: D5020.30.1002  
Floor/Room: 1st / Cart Barn  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$18,290  
Deficiency Description: *The 225A (42 ckts, 120/240V, 3P) panelboard is past its expected useful life.*  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
Comments:



Record ID: 544  
System: D3020 - HEATING SYSTEMS  
Year Installed / Industry Life / Remaining Useful Life: 1989 / 30 / -3  
Item No.: D3020.70.003  
Floor/Room: Cart Barn  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$11,920  
Deficiency Description: *Gas fired unit heater is approaching the end of its expected useful life.*  
Description of Work: *Provide equipment replacement and installation.*  
Comments: *Inoperable during inspection.*



**City of Rohnert Park  
Facility Condition Assessment**

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**Golf Course Pro Shop, Snack Bar and Cart Barn**

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Record ID: 546  
System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: 1989 / 30 / -3

Item No.: D3060.30.007

Floor/Room: Roof

**Priority:** 2

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$6,730

Deficiency Description: *Ventilator is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 547  
System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D3060.30.004

Floor/Room: Roof

**Priority:** 5

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$5,730

Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Rattling observed on site indicating an unbalanced motor. Repair recommended in mean time. Unit appears newer than 1989 construction, but should be replaced in coming years.*



Record ID: 548  
System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D3060.30.004

Floor/Room: Roof

**Priority:** 5

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$5,730

Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Unit appears newer than 1989 construction, but should be replaced in coming years.*



**City of Rohnert Park  
Facility Condition Assessment**

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**Golf Course Pro Shop, Snack Bar and Cart Barn**

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Record ID: 549  
System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D3060.30.004

Floor/Room: Roof

Priority: 5

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$5,730

Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Unit appears newer than 1989 construction, but should be replaced in coming years.*



Record ID: 550  
System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: 1989 / 30 / -3

Item No.: D3060.30.007

Floor/Room: Roof

Priority: 5

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$7,620

Deficiency Description: *Ventilator is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 551  
System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 1989 / 15 / -18

Item No.: D3030.70.026

Floor/Room: Roof

Priority: 3

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$22,810

Deficiency Description: *Evaporator unit for cold box system is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Golf Course Pro Shop, Snack Bar and Cart Barn**

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Record ID 552  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life 1989 / 15 / -18

Item No. D3030.70.044

Floor/Room: Roof

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$30,630

Deficiency Description: *Split system with fan coil and outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 554  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life 2004 / 15 / -3

Item No. D3030.70.044

Floor/Room: Roof

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$30,630

Deficiency Description: *Split system with fan coil and outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 555  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life 1989 / 30 / -3

Item No. D5020.30.4002

Floor/Room: 1st Floor / Snack Bar

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$6,110

Deficiency Description: *The load center is approaching the end of its expected useful life.*

Description of Work: *Replace the existing load center with a new load center.*

Comments:





**City of Rohnert Park  
Facility Condition Assessment**

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**Golf Course Pro Shop, Snack Bar and Cart Barn**

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Record ID 857  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D5040.50.302

Floor/Room: Site / Exterior

Priority: 1

Quantity/Unit of Measure: 18/EA

Total Deficiency Cost: \$40,890

Deficiency Description: *The exterior light is damaged or approaching the end of its useful life and should be replaced.*

Description of Work: *Replace the existing or damaged exterior wallpack with a new wallpack.*

Comments:



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Record ID 858  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. B2050.10.018

Floor/Room: 1st Floor / N/A

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$640

Deficiency Description: *Metal entrance door is damaged or deteriorating.*

Description of Work: *Refurbish/repair metal entrance door.*

Comments:



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Record ID 862  
System D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. D2010.60.031

Floor/Room: 1st Floor / Men's Restroom

Priority: 1

Quantity/Unit of Measure: 2/EA

Total Deficiency Cost: \$12,850

Deficiency Description: *Wall mounted hand sink and faucet are at or approaching the end of its expected useful service life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Golf Course Pro Shop, Snack Bar and Cart Barn**

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Record ID 865  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: **1 / Men's Restroom**  
**Priority: 1**  
Quantity/Unit of Measure: 160/SF  
Total Deficiency Cost: \$2,420  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

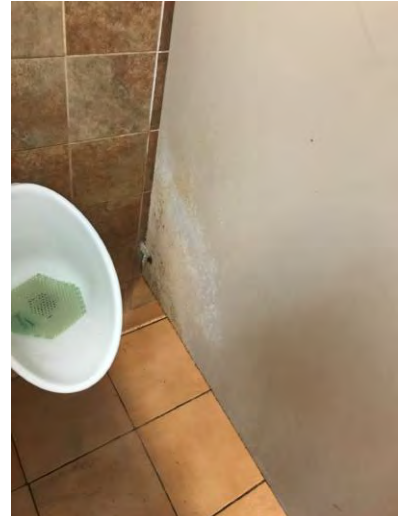


Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:

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Record ID 867  
System C1090 - INTERIOR SPECIALTIES  
  
Year Installed / Industry Life / Remaining Useful Life - / 30 / -  
Item No. C1090.25.001  
Floor/Room: **1st Floor / Men's Restroom**  
**Priority: 1**  
Quantity/Unit of Measure: 4/EA  
Total Deficiency Cost: \$15,430  
Deficiency Description: *Toilet partitions have excessive amounts of rust.*



Description of Work: *Replace the toilet partitions*

Comments:

---

Record ID 868  
System B2050 - EXTERIOR DOORS AND GRILLES  
  
Year Installed / Industry Life / Remaining Useful Life - / 30 / -  
Item No. B2050.10.018  
Floor/Room: 1st Floor / N/A  
**Priority: 1**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$640  
Deficiency Description: *Metal entrance door is damaged or deteriorating.*



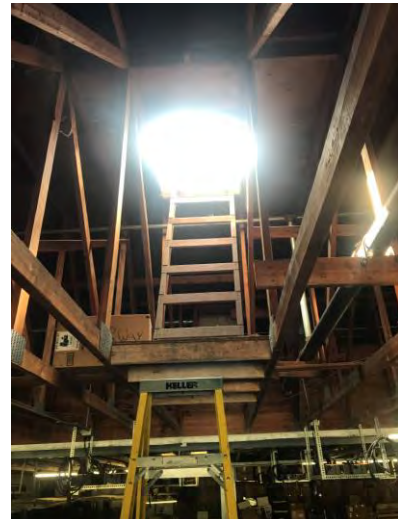
Description of Work: *Refurbish/repair metal entrance door.*

Comments:

**City of Rohnert Park  
Facility Condition Assessment**

**Golf Course Pro Shop, Snack Bar and Cart Barn**

Record ID: 902  
 System: B3060 - HORIZONTAL OPENINGS  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: B3060.50.004  
 Floor/Room: 1st Floor / N/A  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$16,090  
 Deficiency Description: *Roof access ladder is damaged or missing.*



Description of Work: *Provide roof access ladder.*

Comments:

Record ID: 909  
 System: C2030 - FLOORING  
 Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
 Item No.: C2030.75.002  
 Floor/Room: 1st Floor / Office  
**Priority:** 3  
 Quantity/Unit of Measure: 100/SF  
 Total Deficiency Cost: \$2,830  
 Deficiency Description: *Rolled carpeting is approaching the end of its useful life.*



Description of Work: *Remove existing rolled carpeting and replace it with new 40 oz. nylon carpet.*

Comments:

Record ID: 914  
 System: C2030 - FLOORING  
 Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
 Item No.: C2030.75.002  
 Floor/Room: 1st Floor / Pro Shop  
**Priority:** 5  
 Quantity/Unit of Measure: 1,400/SF  
 Total Deficiency Cost: \$42,640  
 Deficiency Description: *Rolled carpeting is approaching the end of its useful life.*



Description of Work: *Remove existing rolled carpeting and replace it with new 40 oz. nylon carpet.*

Comments:

**City of Rohnert Park  
Facility Condition Assessment**

**Golf Course Pro Shop, Snack Bar and Cart Barn**

Record ID 915  
 System D5040 - LIGHTING  
  
 Year Installed / Industry Life / Remaining Useful Life 1989 / 20 / -13  
 Item No. D5040.50.411  
 Floor/Room: 1st Floor / All Rooms  
**Priority: 1**  
 Quantity/Unit of Measure: 9,800/SF  
 Total Deficiency Cost: \$560,740  
 Deficiency Description: *Interior lighting system is at or is approaching end of its expected useful life.*



Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments:

Record ID 1676  
 System D2010 - DOMESTIC WATER DISTRIBUTION  
  
 Year Installed / Industry Life / Remaining Useful Life - / 30 / -  
 Item No. D2010.60.031  
 Floor/Room: 1st Floor / Women's Restroom  
**Priority: 5**  
 Quantity/Unit of Measure: 2/EA  
 Total Deficiency Cost: \$15,220  
 Deficiency Description: *Wall mounted hand sink and faucet are at or approaching the end of its expected useful service life.*



Description of Work: *Provide equipment replacement and installation.*

Comments:

Record ID 1682  
 System B3010 - ROOFING  
  
 Year Installed / Industry Life / Remaining Useful Life - / 10 / -  
 Item No. B3010.50.004  
 Floor/Room: Roof / N/A  
**Priority: 1**  
 Quantity/Unit of Measure: 1,200/SF  
 Total Deficiency Cost: \$44,320  
 Deficiency Description: *Single-ply (modified bitumen) roofing is at or approaching the end of its useful life.*



Description of Work: *Replace single-ply (modified bitumen) roofing.*

Comments:

# Honeybee Pool

## Detailed Report

**Address: 1170 Golf Course Drive, Rohnert Park, CA 94928**

### Statistics

Year Built:	1983
Building Additions:	N/A
Building Area:	2,300 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$59,780</b>
FCI:	0.027
Condition Score:	A
Condition Rating:	Good
Replacement Cost:	\$2,209,000
Replacement Cost/SF:	\$960



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## Assessment Descriptions

### Architectural Elements

Built in 1983, the Honeybee Pool building is a 2,300 SF, single-story, wood-frame building consisting of concessions, office, storage, and restrooms.

The interior finish materials consist of painted concrete slab, plastic laminate casework, and painted gypsum board wall and ceiling. Overall, the interior finish materials appear to be in fair condition.

The exterior finish materials consist of plywood siding and single-ply roofing. The exterior siding is beginning to show signs of wear and is recommended for replacement within the next five years. Overall, the exterior finish materials appear to be in fair condition.

The site surfaces primarily consist of concrete-paved walkways around the pool and AC paving in the parking lot. The concrete pavement around the pool shows signs of cracking in several areas and is recommended for replacement. The AC paving appears to be in fair condition. Overall, the site surfaces appear to be in fair condition..

### Mechanical Systems

The mechanical systems consist of a ventilation fan in the pool room. Otherwise, the spaces are naturally ventilated. Overall, the mechanical systems appear to be in operable condition, but maintenance reports that there is poor air circulation within the occupied public building spaces.

### Electrical Systems

Electrical service is distributed via multiple panelboards that appear to be original to the facility and past their expected useful life.

The interior and exterior lighting system also appears to be past its expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, gas piping, sanitary waste piping and vent piping. The domestic hot water is provided by gas-fired water heater. The pool system equipment on site consists of a CO2 mixing station, PH control section, pool boiler, and pool filtration.

Although the plumbing systems appear to be in operable condition, there are key concerns with the year-round operation at Honeybee Pool. There are significant concerns with the flow issues on all return water primarily due to the pool leaks all over the system. Maintenance staff reported they use a significant amount of make-up water to keep the system operational year-round. Significant work and closure of the pool will be required to remedy the pool leaks.

### Fire Protection

No fire alarm system was observed.

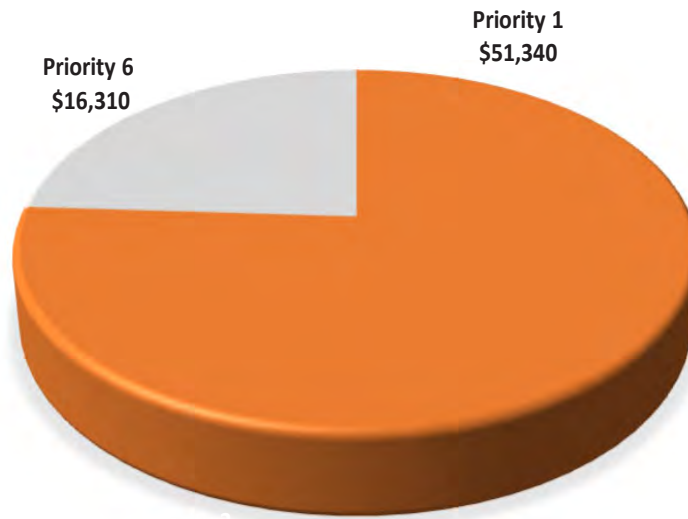
## Conclusion

For the Honeybee Pool, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Honeybee Pool						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$51,340	\$0	\$0	\$0	\$0	\$16,310	\$67,650
75.89%	0.00%	0.00%	0.00%	0.00%	24.11%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Honeybee Pool

<b>Capital Renewal Cost:</b>	<b>\$59,780</b>	FCI:	<b>0.027</b>
Replacement Cost:	<b>\$2,209,000</b>	Condition Score:	<b>A</b>
Replacement Cost/SF:	<b>\$960</b>	Condition Rating:	<b>GOOD</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
D2010	DOMESTIC WATER DISTRIBUTION	\$12,260	-	-	-	-	-	\$16,310
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$46,020	\$49,720	-	-	-	-	-
Z1090	LIFE CYCLE ACTIVITIES	\$1,500	\$1,620	-	-	-	-	-
<b>TOTALS</b>		<b>\$59,780</b>	<b>\$51,340</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>\$16,310</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$59,780</b>	<b>\$67,650</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

Honeybee Pool

DEFICIENCY TABLE

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1356	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1001	Equip	The 100A (120/240V, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$3,510	\$8,230	1
1358	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1002	Equip	The 225A (120/240V, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,800	\$18,290	1
1351	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1002	Closet	The 225A (120/240V, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,800	\$18,290	1
1363	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001	Corridor	The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
1355	Z1090 - LIFE CYCLE ACTIVITIES	Z1090.10.002		Pool pump control system needs further investigation as there reported issues on the leaks and return water.	Further investigation required to prescribe a solution.	1	EA	\$690	\$1,620	1
1618	-		Men's Restroom			1,000				2
1614	-		Exterior			4,000				5
1352	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.002		Gas fired water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,650	\$16,310	6

**City of Rohnert Park  
Facility Condition Assessment**

**Honeybee Pool**

Record ID: 1351  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1986 / 30 / -6  
 Item No.: D5020.30.1002  
 Floor/Room: 1 / Closet  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,290  
 Deficiency Description: *The 225A (120/240V, 3P) panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID: 1352  
 System: D2010 - DOMESTIC WATER DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 2018 / 15 / 11  
 Item No.: D2010.20.002  
 Floor/Room:  
**Priority:** 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$16,310  
 Deficiency Description: *Gas fired water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1355  
 System: Z1090 - LIFE CYCLE ACTIVITIES  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: Z1090.10.002  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$1,620  
 Deficiency Description: *Pool pump control system needs further investigation as there reported issues on the leaks and return water.*

Description of Work: *Further investigation required to prescribe a solution.*

Comments: *Pool flow issues noted on all return water in system mainly due to leaks.*



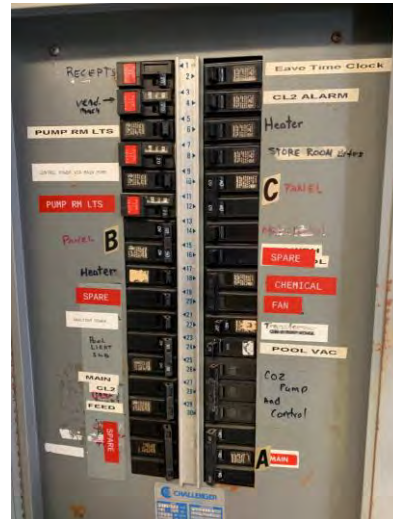
**City of Rohnert Park  
Facility Condition Assessment**

**Honeybee Pool**

Record ID: 1356  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1986 / 30 / -6  
 Item No.: D5020.30.1001  
 Floor/Room: 1 / Equip  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$8,230  
 Deficiency Description: *The 100A (120/240V, 3P) panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID: 1358  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1986 / 30 / -6  
 Item No.: D5020.30.1002  
 Floor/Room: 1st / Equip  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,290  
 Deficiency Description: *The 225A (120/240V, 3P) panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID: 1363  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1986 / 30 / -6  
 Item No.: D5020.30.4001  
 Floor/Room: 1st / Corridor  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$4,910  
 Deficiency Description: *The load center is past its expected useful life.*

Description of Work: *Replace the existing load center with a new load center.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Honeybee Pool**

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Record ID 1614  
System -  
Year Installed / Industry Life / Remaining Useful Life - / - / -  
Item No.  
Floor/Room: 1 / Exterior  
**Priority:** 5  
Quantity/Unit of Measure: 4,000/  
Total Deficiency Cost:  
Deficiency Description:

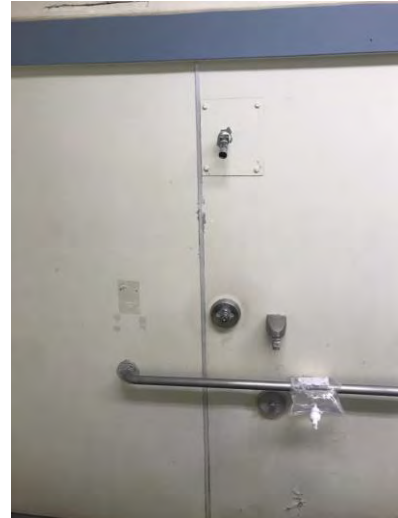


Description of Work:

Comments: *Dry rot repairs/ fresh paint budgeted CIP Project 2019-31*

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Record ID 1618  
System -  
Year Installed / Industry Life / Remaining Useful Life - / - / -  
Item No.  
Floor/Room: 1 / Men's Restroom  
**Priority:** 2  
Quantity/Unit of Measure: 1,000/  
Total Deficiency Cost:  
Deficiency Description:



Description of Work:

Comments: *Budgeted, CIP Project No. 2019-31*

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# Ladybug Recreation Building

## Detailed Report

**Address: 8517 Liman Way, Rohnert Park, CA 94928**

### Statistics

Year Built:	1972
Building Additions:	N/A
Building Area:	1,871 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$373,720</b>
FCI:	0.175
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$2,132,000
Replacement Cost/SF:	\$1,139



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## Assessment Descriptions

### Architectural Elements

Built in 1972, the Ladybug Recreation Building is a 1,871 SF, single-story, concrete masonry unit (CMU) building located adjacent to the Ladybug Park and consisting of a multipurpose room, kitchen, and restrooms. The interior finish materials consist of vinyl composition tile flooring, painted concrete masonry block, glue-on acoustical ceiling tile, and painted gypsum board wall and ceiling. The vinyl composition tile flooring and plastic laminate casework are showing signs of wear and are recommended for replacement. Overall, the interior finish materials appear to be in fair to poor condition.

The exterior finish materials consist of concrete masonry units and single-ply roofing. The exterior CMU wall finishes are beginning to show signs of wear and should be repainted. Overall, the exterior finish materials appear to be in fair condition.

The site surfaces primarily consist of concrete-paved walkways and AC paving in the parking lot. The concrete walkways are generally in fair condition with no major deficiencies. The AC paving is showing signs of fatigue cracking throughout the entire parking lot and is recommended for replacement. Overall, the site surfaces appear to be in fair to poor condition.

### Mechanical Systems

The mechanical systems consist of recently installed furnace units. The conditioned air is distributed to the spaces via concealed hard duct and diffusers. Overall, the mechanical systems appear to be in operable condition.

### Electrical Systems

Electrical service is supplied underground to a wall-mounted 100A, 120/240V, combination meter. This supplies a single loadcenter located in the janitor's room.

Interior lighting fixtures are fluorescent type and there are a few wall-mounted fixtures on the exterior doors. Lighting appears past their expected useful life but has been maintained to remain operational.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, sanitary waste piping and vent piping. The domestic hot water is provided by electric water heater. Overall, the plumbing systems appear to be in operable condition. Within the site there is adjacent associated pool equipment that has been reported to come offline and to be demolished.

### Fire Protection

The building is not equipped with a fire alarm system.



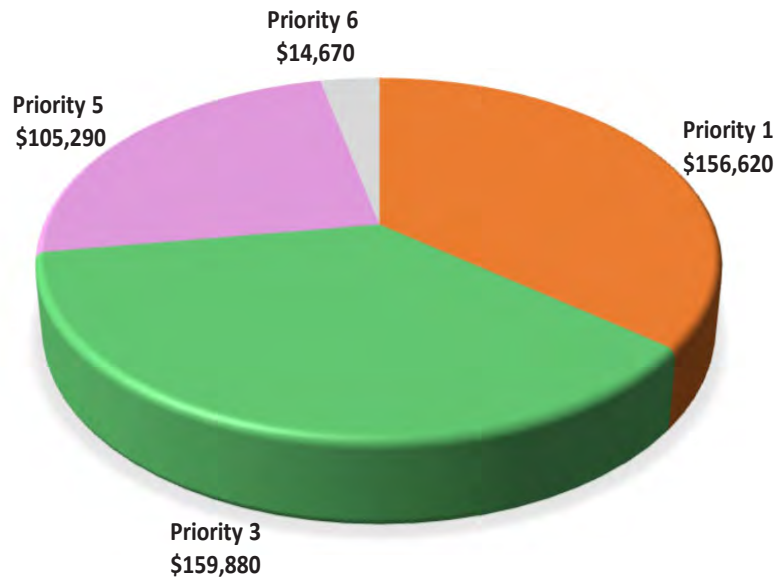
## Conclusion

For the Ladybug Recreation Building, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Ladybug Recreation Building						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$156,620	\$0	\$159,880	\$0	\$105,290	\$14,670	\$436,460
35.88%	0.00%	36.63%	0.00%	24.12%	3.36%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Ladybug Recreation Building

<b>Capital Renewal Cost:</b>	<b>\$373,720</b>	FCI:	<b>0.175</b>
Replacement Cost:	<b>\$2,132,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,139</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$8,940	-	-	\$10,550	-	-	-
B2050	EXTERIOR DOORS AND GRILLES	\$4,670	-	-	-	-	\$5,980	-
C2030	FLOORING	\$31,230	-	-	\$36,870	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$11,030	-	-	-	-	-	\$14,670
D5040	LIGHTING	\$115,990	\$125,280	-	-	-	-	-
E2010	FIXED FURNISHINGS	\$20,470	-	-	\$24,170	-	-	-
F1050	SPECIAL FACILITY COMPONENTS	\$20,830	\$22,500	-	-	-	-	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	\$125,750	-	-	\$56,850	-	\$99,310	-
G2050	ATHLETIC, RECREATIONAL, AND PLAYFIELD AREAS	\$3,280	-	-	\$3,880	-	-	-
G2060	SITE DEVELOPMENT	\$8,180	\$8,840	-	-	-	-	-
G2080	LANDSCAPING	\$3,710	-	-	\$4,380	-	-	-
G3010	WATER UTILITIES	\$19,640	-	-	\$23,180	-	-	-
<b>TOTALS</b>		<b>\$373,720</b>	<b>\$156,620</b>	<b>-</b>	<b>\$159,880</b>	<b>-</b>	<b>\$105,290</b>	<b>\$14,670</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$373,720</b>	<b>\$436,460</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

**Ladybug Recreation Building**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1753	D5040 - LIGHTING	D5040.50.302	Site	The exterior light fixture is functional but past its expected useful life.	Replace the existing light fixture with an LED lighting fixture.	8	EA	\$7,760	\$18,190	1
1284	D5040 - LIGHTING	D5040.50.411	All	Interior lighting system is functional but past its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	1,871	SF	\$45,700	\$107,090	1
1480	F1050 - SPECIAL FACILITY COMPONENTS	F1050.80.011	Restroom	Restroom is in poor condition and lacks accessible features.	Renovate restroom with accessible features.	56	SF	\$9,600	\$22,500	1
1486	G2060 - SITE DEVELOPMENT	G2060.20.001	Fencing	Chain link steel mesh is damaged or missing.	Replace chain link section.	500	SF	\$3,770	\$8,840	1
1475	B2010 - EXTERIOR WALLS	B2010.20.005	Exterior	CMU walls are showing signs of wear.	Clean and repaint CMU walls.	1,200	SF	\$4,120	\$10,550	3
1467	C2030 - FLOORING	C2030.50.001	Main Room	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	800	SF	\$8,220	\$21,060	3
1469	C2030 - FLOORING	C2030.50.001	1	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	600	SF	\$6,170	\$15,810	3
1471	E2010 - FIXED FURNISHINGS	E2010.30.007	Kitchen	Plastic laminate upper cabinet is in poor condition.	Repair or replace upper plastic laminate casework.	4	LF	\$1,210	\$3,110	3
1470	E2010 - FIXED FURNISHINGS	E2010.30.008	Kitchen	Plastic laminate base cabinet (with countertop) is in poor condition.	Remove and replace with new plastic laminate base cabinet and countertop.	15	LF	\$8,220	\$21,060	3
1478	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Concrete Pavement	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	1,500	SF	\$22,200	\$56,850	3
1484	G2050 - ATHLETIC, RECREATIONAL, AND PLAYFIELD AREAS	G2050.10.091	Fencing	Chain link fencing is approaching the end of its useful life.	Replace chain link fencing.	200	SF	\$1,510	\$3,880	3
1477	G2080 - LANDSCAPING	G2080.50.001	Planter	Above-ground planter walls show evidence of damage.	Replace wood slats and posts.	52	SF	\$1,710	\$4,380	3
1466	G3010 - WATER UTILITIES	G3010.10.006	Exterior	Drinking fountains show evidence of heavy damage and requires replacement.	Replace stand-alone drinking fountain (ornamental or specialty fountain).	1	EA	\$9,050	\$23,180	3
1468	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.013	Entry	Exterior exit door is at or approaching the end of its useful life.	Provide new 3' x 7' HM exterior exit door and frame with panic hardware and closer.	1	EA	\$2,150	\$5,980	5

**City of Rohnert Park  
Facility Condition Assessment**

**Ladybug Recreation Building**

**DEFICIENCY TABLE**

*(1) Deficiency Cost = Qty x Unit Cost*

*(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)*

*General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds*

*City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location*

*Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.*

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1476	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.002	AC Paving	AC paving has major damage and/or structure failure.	Replace AC pavement section.	3,000	SF	\$35,760	\$99,310	5
1286	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.021		Electric water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,080	\$14,670	6

**City of Rohnert Park  
Facility Condition Assessment**

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**Ladybug Recreation Building**

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Record ID 1284  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -  
Item No. D5040.50.411  
Floor/Room: 1st / All  
**Priority: 1**  
Quantity/Unit of Measure: 1,871/SF  
Total Deficiency Cost: \$107,090  
Deficiency Description: *Interior lighting system is functional but past its expected useful life.*

Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments:



Record ID 1286  
System D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life 2013 / 15 / 6  
Item No. D2010.20.021  
Floor/Room:  
**Priority: 7**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$14,670  
Deficiency Description: *Electric water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 1466  
System G3010 - WATER UTILITIES

Year Installed / Industry Life / Remaining Useful Life - / - / -  
Item No. G3010.10.006  
Floor/Room: Site / Exterior  
**Priority: 3**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$23,180  
Deficiency Description: *Drinking fountains show evidence of heavy damage and requires replacement.*

Description of Work: *Replace stand-alone drinking fountain (ornamental or specialty fountain).*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Ladybug Recreation Building**

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Record ID 1467  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.50.001

Floor/Room: 1 / Main Room

**Priority:** 3

Quantity/Unit of Measure: 800/SF

Total Deficiency Cost: \$21,060

Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



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Record ID 1468  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. B2050.10.013

Floor/Room: 1 / Entry

**Priority:** 5

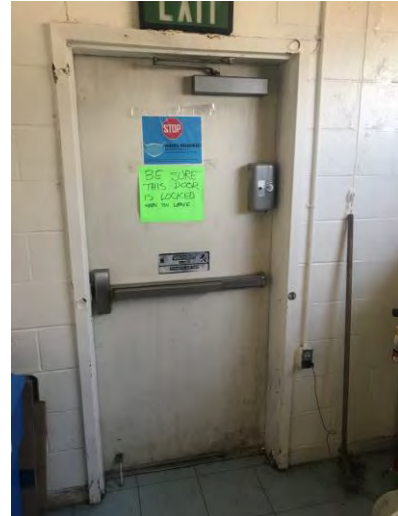
Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$5,980

Deficiency Description: *Exterior exit door is at or approaching the end of its useful life.*

Description of Work: *Provide new 3' x 7' HM exterior exit door and frame with panic hardware and closer.*

Comments:



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Record ID 1469  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.50.001

Floor/Room: 1

**Priority:** 3

Quantity/Unit of Measure: 600/SF

Total Deficiency Cost: \$15,810

Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Ladybug Recreation Building**

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Record ID 1470  
System E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. E2010.30.008

Floor/Room: 1 / Kitchen

Priority: 3

Quantity/Unit of Measure: 15/LF

Total Deficiency Cost: \$21,060

Deficiency Description: *Plastic laminate base cabinet (with countertop) is in poor condition.*

Description of Work: *Remove and replace with new plastic laminate base cabinet and countertop.*

Comments:



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Record ID 1471  
System E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. E2010.30.007

Floor/Room: 1 / Kitchen

Priority: 3

Quantity/Unit of Measure: 4/LF

Total Deficiency Cost: \$3,110

Deficiency Description: *Plastic laminate upper cabinet is in poor condition.*

Description of Work: *Repair or replace upper plastic laminate casework.*

Comments:



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Record ID 1475  
System B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. B2010.20.005

Floor/Room: 1 / Exterior

Priority: 3

Quantity/Unit of Measure: 1,200/SF

Total Deficiency Cost: \$10,550

Deficiency Description: *CMU walls are showing signs of wear.*

Description of Work: *Clean and repaint CMU walls.*

Comments:





**City of Rohnert Park  
Facility Condition Assessment**

**Ladybug Recreation Building**

Record ID: 1476  
 System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: G2030.10.002  
 Floor/Room: Site / AC Paving  
**Priority:** 5  
 Quantity/Unit of Measure: 3,000/SF  
 Total Deficiency Cost: \$99,310  
 Deficiency Description: *AC paving has major damage and/or structure failure.*



Description of Work: *Replace AC pavement section.*

Comments:

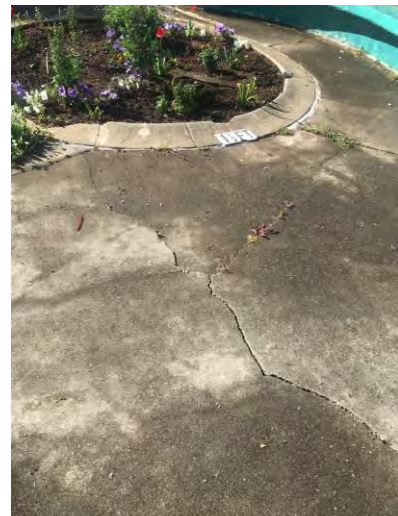
Record ID: 1477  
 System: G2080 - LANDSCAPING  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: G2080.50.001  
 Floor/Room: Site / Planter  
**Priority:** 3  
 Quantity/Unit of Measure: 52/SF  
 Total Deficiency Cost: \$4,380  
 Deficiency Description: *Above-ground planter walls show evidence of damage.*



Description of Work: *Replace wood slats and posts.*

Comments:

Record ID: 1478  
 System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: G2030.10.005  
 Floor/Room: Site / Concrete Pavement  
**Priority:** 3  
 Quantity/Unit of Measure: 1,500/SF  
 Total Deficiency Cost: \$56,850  
 Deficiency Description: *Concrete pavement has major damage / structural failure.*



Description of Work: *Replace concrete and base to match existing.*

Comments:

**City of Rohnert Park  
Facility Condition Assessment**

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**Ladybug Recreation Building**

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Record ID 1480  
System F1050 - SPECIAL FACILITY COMPONENTS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. F1050.80.011

Floor/Room: 1 / Restroom

Priority: 1

Quantity/Unit of Measure: 56/SF

Total Deficiency Cost: \$22,500

Deficiency Description: *Restroom is in poor condition and lacks accessible features.*

Description of Work: *Renovate restroom with accessible features.*

Comments:



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Record ID 1484  
System G2050 - ATHLETIC, RECREATIONAL, AND PLAYFIELD AREAS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. G2050.10.091

Floor/Room: Site / Fencing

Priority: 3

Quantity/Unit of Measure: 200/SF

Total Deficiency Cost: \$3,880

Deficiency Description: *Chain link fencing is approaching the end of its useful life.*

Description of Work: *Replace chain link fencing.*

Comments:



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Record ID 1486  
System G2060 - SITE DEVELOPMENT

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. G2060.20.001

Floor/Room: Site / Fencing

Priority: 1

Quantity/Unit of Measure: 500/SF

Total Deficiency Cost: \$8,840

Deficiency Description: *Chain link steel mesh is damaged or missing.*

Description of Work: *Replace chain link section.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Ladybug Recreation Building**

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Record ID: 1753  
System: D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: D5040.50.302

Floor/Room: 1 / Site

Priority: 1

Quantity/Unit of Measure: 8/EA

Total Deficiency Cost: \$18,190

Deficiency Description: *The exterior light fixture is functional but past its expected useful life.*

Description of Work: *Replace the existing light fixture with an LED lighting fixture.*

Comments:



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# Library

## Detailed Report

**Address: 6250 Lynne Condé Way, Rohnert Park, CA 94928**

### Statistics

Year Built:	2001
Building Additions:	N/A
Building Area:	19,916 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$3,135,410</b>
FCI:	0.136
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$23,122,000
Replacement Cost/SF:	\$1,161



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## Assessment Descriptions

### Architectural Elements

The 19,916 SF Library building is located on Lynne Conde Way and has interior spaces that consist of lobby, reading rooms, meeting rooms, conference rooms, and offices. The interior finish materials consist of ceramic tile, vinyl composition tile flooring, sheet vinyl, painted gypsum board wall and ceiling, and lay-in acoustical ceiling tiles. Overall, the interior finish materials are in fair to good condition with some of the flooring surfaces be replaced.

The exterior finish materials consist of built-up roofing, concrete tile roofing, and stucco exterior walls. The built-up roofing surface appears to be showing signs of wear and will require replacement within the next 10 years. The concrete tile roofing is in good condition.

The site surfaces primarily consist of concrete-paved walkways and AC paving in the parking lot. The concrete walkways are generally in fair condition with signs of minor cracking in some areas. Overall, the site surfaces appear to be in fair.

### Mechanical Systems

The mechanical systems consist of an air handling unit hydronic heating and VAV boxes, packaged air conditioning units, split system units, a boiler system heating hot water plant, and rooftop ventilators. The conditioned air is distributed to the spaces via concealed hard duct and diffusers.

Overall, the key issues identified by Sonoma County Library maintenance is the air handling unit outside air sensor has not worked as intended and consistently registers too high for proper usage. The VAV's and VAV valves were also reported to begin failing as they are at the end of their expected useful life. Maintenance staff has been replacing them as they have failed, but complete replacement is recommended to get ahead of unscheduled maintenance.

### Electrical Systems

The electrical service from PG&E runs underground from a pad-mounted transformer to a 1200A, 480/277V, 3-phase main switchboard within the main electrical room. The switchboard sub-feeds a 150KVA step-down transformer that supplies an 600A, 120/208V, 3-phase distribution switchboard 'LDP'. Switchboard 'LDP' sub-feeds several panelboards in the building. The equipment is original to the early 2000's installation and is located in dedicated, conditioned electrical room and looks to be in good condition.

Interior fixtures are florescent type. Exterior fixtures are metal halide high-intensity discharge (HID) fixtures on walls and ground mounted up lights. Fixtures appeared to be in good condition but past their expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, sanitary waste piping and vent piping. The domestic hot water is provided by electric water heater. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

The building contains an addressable fire alarm panel and fire alarm initiation and indicating devices throughout the building.

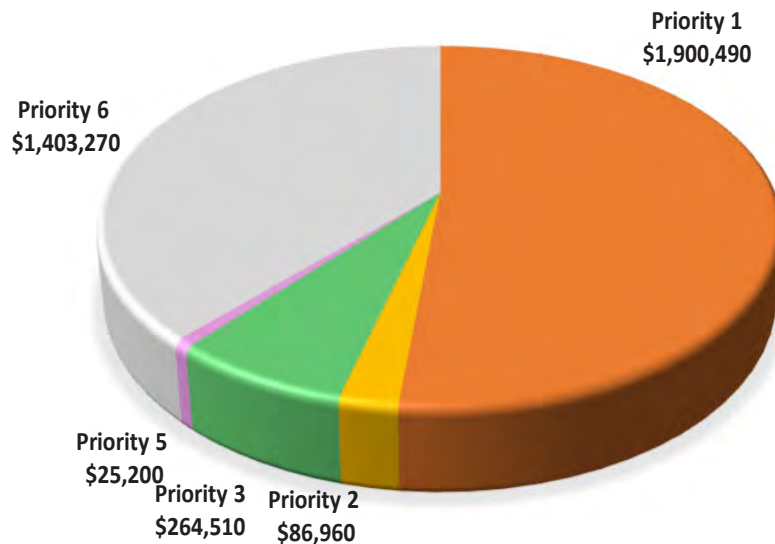
## Conclusion

For the Library, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Library						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$1,900,490	\$86,960	\$264,510	\$0	\$25,200	\$1,403,270	\$3,680,430
51.64%	2.36%	7.19%	0.00%	0.68%	38.13%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Library (Lease)

<b>Capital Renewal Cost:</b>	<b>\$3,135,410</b>	FCI:	<b>0.136</b>
Replacement Cost:	<b>\$23,122,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,161</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2050	EXTERIOR DOORS AND GRILLES	\$17,640	-	-	\$20,820	-	-	-
B3010	ROOFING	\$646,450	-	-	-	-	-	\$859,780
C1010	INTERIOR PARTITIONS	\$630	-	\$720	-	-	-	-
C2010	WALL FINISHES	\$9,320	-	-	\$11,010	-	-	-
C2030	FLOORING	\$197,140	-	-	\$232,680	-	-	-
C2050	CEILING FINISHES	\$4,220	\$3,030	\$1,610	-	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$22,060	-	-	-	-	-	\$29,340
D3020	HEATING SYSTEMS	\$77,280	-	-	-	-	-	\$102,790
D3030	COOLING SYSTEMS	\$260,500	\$184,590	\$84,000	-	-	-	\$20,300
D3050	FACILITY HVAC DISTRIBUTION SYSTEMS	\$66,890	-	-	-	-	-	\$88,970
D3060	VENTILATION	\$26,240	-	-	-	-	\$25,200	\$8,730
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$220,520	-	-	-	-	-	\$293,360
D5040	LIGHTING	\$1,140,270	\$1,231,510	-	-	-	-	-
D7050	DETECTION AND ALARM	\$442,480	\$477,880	-	-	-	-	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	\$3,220	\$3,480	-	-	-	-	-
G2060	SITE DEVELOPMENT	\$550	-	\$630	-	-	-	-
<b>TOTALS</b>		<b>\$3,135,410</b>	<b>\$1,900,490</b>	<b>\$86,960</b>	<b>\$264,510</b>	<b>-</b>	<b>\$25,200</b>	<b>\$1,403,270</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$3,135,410</b>	<b>\$3,680,430</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

**Library (Lease)**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1554	C2050 - CEILING FINISHES	C2050.80.001	Work Storage	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	200	SF	\$1,290	\$3,030	1
1688	D3030 - COOLING SYSTEMS	D3030.70.029		VAV terminal unit is approaching the end of its expected useful life. Valves are reported to be in a failing condition.	Provide equipment replacement and installation.	23	EA	\$78,780	\$184,590	1
1310	D5040 - LIGHTING	D5040.10.003	Elec	The existing lighting low voltage relays and controls are at or are approaching end of their expected useful life.	Replace the lighting control panel.	1	EA	\$480	\$1,140	1
1756	D5040 - LIGHTING	D5040.50.302		The exterior light fixture is operational but past its expected useful life.	Replace the existing light fixture with an LED lighting fixture.	40	EA	\$38,760	\$90,820	1
1754	D5040 - LIGHTING	D5040.50.411	All	Interior lighting system is operational but past its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	19,916	SF	\$486,360	\$1,139,550	1
1316	D7050 - DETECTION AND ALARM	D7050.10.022	1st	The existing fire alarm system is past its expected useful life.	Provide a fully addressable fire alarm control panel with associated initiating and signaling devices.	19,916	SF	\$203,960	\$477,880	1
1562	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Pavement	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	100	SF	\$1,480	\$3,480	1
1550	C1010 - INTERIOR PARTITIONS	C1010.10.001	Work Storage	Painted gypsum wallboard is in poor condition with several cracks.	Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.	100	SF	\$290	\$720	2
1558	C2050 - CEILING FINISHES	C2050.80.001	Staff Lounge 137	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	100	SF	\$650	\$1,610	2
1326	D3030 - COOLING SYSTEMS	D3030.10.019		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$34,260	\$84,000	2
1533	G2060 - SITE DEVELOPMENT	G2060.30.001	Sign	Sign is at or approaching the end of its useful life.	Replace sign.	1	EA	\$250	\$630	2
1535	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.009	Entrance	Exterior automatic door is damaged or deteriorating.	Refurbish/repair automatic door.	2	EA	\$8,130	\$20,820	3

**City of Rohnert Park  
Facility Condition Assessment**

**Library (Lease)**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1546	C2010 - WALL FINISHES	C2010.70.001	Book Room	Painted gypsum wallboard is showing signs of wear.	Patch and paint the gypsum wallboard.	300	SF	\$2,570	\$6,590	3
1543	C2010 - WALL FINISHES	C2010.70.001	Children Area	Painted gypsum wallboard is showing signs of wear.	Patch and paint the gypsum wallboard.	100	SF	\$860	\$2,210	3
1545	C2010 - WALL FINISHES	C2010.70.001	Library	Painted gypsum wallboard is showing signs of wear.	Patch and paint the gypsum wallboard.	100	SF	\$860	\$2,210	3
1548	C2030 - FLOORING	C2030.50.001	Work Storage	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	300	SF	\$3,090	\$7,920	3
1549	C2030 - FLOORING	C2030.50.001	Work Storage	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	1,000	SF	\$10,280	\$26,330	3
1555	C2030 - FLOORING	C2030.50.001	Storage 135	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	100	SF	\$1,030	\$2,650	3
1559	C2030 - FLOORING	C2030.50.002	Staff Lounge 137	Sheet vinyl is approaching the end of its useful life.	Remove the existing sheet vinyl and replace.	300	SF	\$5,200	\$13,330	3
1547	C2030 - FLOORING	C2030.75.001	Book Room	Carpet tile is showing signs of wear.	Replace carpet tile.	400	SF	\$4,390	\$11,250	3
1536	C2030 - FLOORING	C2030.75.001	Meeting Room	Carpet tile is showing signs of wear.	Replace carpet tile.	1,000	SF	\$10,960	\$28,070	3
1553	C2030 - FLOORING	C2030.75.001	Office 125	Carpet tile is showing signs of wear.	Replace carpet tile.	100	SF	\$1,100	\$2,830	3
1544	C2030 - FLOORING	C2030.75.001	Library	Carpet tile is showing signs of wear.	Replace carpet tile.	5,000	SF	\$54,800	\$140,300	3
1328	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$8,400	5
1327	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$8,400	5
1325	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$8,400	5
1560	B3010 - ROOFING	B3010.50.001	Roof	Built-up roofing is beyond its expected useful service life and needs replacement.	Remove and replace built-up roofing.	14,500	SF	\$297,980	\$859,780	6
1315	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.021		Electric water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,080	\$14,670	6

**City of Rohnert Park  
Facility Condition Assessment**

**Library (Lease)**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

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Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1329	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.021		Electric water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,080	\$14,670	6
1323	D3020 - HEATING SYSTEMS	D3020.10.002		Boiler is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$35,620	\$102,790	6
1332	D3030 - COOLING SYSTEMS	D3030.70.002		Split system with wall mounted AC and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$7,030	\$20,300	6
1322	D3050 - FACILITY HVAC DISTRIBUTION SYSTEMS	D3050.50.006		Air handler is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$30,830	\$88,970	6
1324	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$8,730	6
1306	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.219	Electrical	The 150kVA transformer (3P dry-type, 480-120/208V) is approaching the end of its expected useful life.	Replace the existing transformer with a new transformer.	1	EA	\$11,030	\$31,830	6
1307	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.313	Electrical	The 1200A metered main switchboard (3P, 277/480 ) is approaching the end of its expected useful life.	Replace the existing metered main switchboard with a new metered main switchboard.	1	EA	\$18,120	\$52,300	6
1312	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.0010	Electrical	The 600A switchboard is approaching the end of its expected useful life.	Replace the existing switchboard with a new switchboard.	1	EA	\$9,100	\$26,270	6
1318	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	Electrical	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$22,870	6
1319	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	Electrical	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$22,870	6
1311	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	Electrical	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$22,870	6

**City of Rohnert Park  
Facility Condition Assessment**

**Library (Lease)**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1320	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	Electrical	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$22,870	6
1309	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	Electrical	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$22,870	6
1308	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	Electrical	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$22,870	6
1321	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	Electrical	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$22,870	6
1314	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	Electric	The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$22,870	6

**City of Rohnert Park  
Facility Condition Assessment**

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**Library (Lease)**

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Record ID 1306  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 2001 / 30 / 9  
Item No. D5020.10.219  
Floor/Room: 1st / Electrical  
**Priority:** 7  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$31,830  
Deficiency Description: *The 150kVA transformer (3P dry-type, 480-120/208V) is approaching the end of its expected useful life.*  
Description of Work: *Replace the existing transformer with a new transformer.*  
Comments:



Record ID 1307  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 2001 / 20 / -1  
Item No. D5020.10.313  
Floor/Room: 1st / Electrical  
**Priority:** 7  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$52,300  
Deficiency Description: *The 1200A metered main switchboard (3P, 277/480 ) is approaching the end of its expected useful life.*  
Description of Work: *Replace the existing metered main switchboard with a new metered main switchboard.*  
Comments:



Record ID 1308  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 2001 / 30 / 9  
Item No. D5020.30.1008  
Floor/Room: 1st / Electrical  
**Priority:** 7  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$22,870  
Deficiency Description: *The 225A (42 ccts, 120/208, 3P) panelboard is approaching the end of its expected useful life.*  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Library (Lease)**

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Record ID 1309  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 2001 / 30 / 9  
Item No. D5020.30.1008  
Floor/Room: 1st / Electrical  
**Priority:** 7  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$22,870  
Deficiency Description: *The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.*  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
Comments:



Record ID 1310  
System D5040 - LIGHTING  
Year Installed / Industry Life / Remaining Useful Life 2001 / 20 / -1  
Item No. D5040.10.003  
Floor/Room: 1st / Elec  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$1,140  
Deficiency Description: *The existing lighting low voltage relays and controls are at or are approaching end of their expected useful life.*  
Description of Work: *Replace the lighting control panel.*  
Comments: *Lighting controller has been faulty per onsite electrical.*



Record ID 1311  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 2001 / 30 / 9  
Item No. D5020.30.1008  
Floor/Room: 1st / Electrical  
**Priority:** 7  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$22,870  
Deficiency Description: *The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.*  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Library (Lease)**

Record ID: 1312  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 2001 / 40 / 19  
 Item No.: D5020.30.0010  
 Floor/Room: 1st / Electrical  
 Priority: 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$26,270  
 Deficiency Description: *The 600A switchboard is approaching the end of its expected useful life.*

Description of Work: *Replace the existing switchboard with a new switchboard.*

Comments:



Record ID: 1314  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 2001 / 30 / 9  
 Item No.: D5020.30.1008  
 Floor/Room: 1st / Electric  
 Priority: 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$22,870  
 Deficiency Description: *The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID: 1315  
 System: D2010 - DOMESTIC WATER DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: - / 15 / -  
 Item No.: D2010.20.021  
 Floor/Room:  
 Priority: 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$14,670  
 Deficiency Description: *Electric water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:





## City of Rohnert Park Facility Condition Assessment

### Library (Lease)

Record ID: 1316  
 System: D7050 - DETECTION AND ALARM

Year Installed / Industry Life / Remaining Useful Life: 2001 / 15 / -6

Item No.: D7050.10.022

Floor/Room: 1st

Priority: 1

Quantity/Unit of Measure: 19,916/SF

Total Deficiency Cost: \$477,880

Deficiency Description: *The existing fire alarm system is past its expected useful life.*

Description of Work: *Provide a fully addressable fire alarm control panel with associated initiating and signaling devices.*

Comments:



Record ID: 1318  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 2001 / 30 / 9

Item No.: D5020.30.1008

Floor/Room: 1st / Electrical

Priority: 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$22,870

Deficiency Description: *The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID: 1319  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 2001 / 30 / 9

Item No.: D5020.30.1008

Floor/Room: 1st / Electrical

Priority: 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$22,870

Deficiency Description: *The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Library (Lease)**

Record ID: 1320  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 2001 / 30 / 9  
 Item No.: D5020.30.1008  
 Floor/Room: 1st / Electrical  
 Priority: 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$22,870  
 Deficiency Description: *The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.*  
 Description of Work: *Replace the existing panelboard with a new panelboard.*  
 Comments:



Record ID: 1321  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 2001 / 30 / 9  
 Item No.: D5020.30.1008  
 Floor/Room: 1st / Electrical  
 Priority: 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$22,870  
 Deficiency Description: *The 225A (42 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.*  
 Description of Work: *Replace the existing panelboard with a new panelboard.*  
 Comments: *Good condition.*



Record ID: 1322  
 System: D3050 - FACILITY HVAC DISTRIBUTION SYSTEMS  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: D3050.50.006  
 Floor/Room:  
 Priority: 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$88,970  
 Deficiency Description: *Air handler is approaching the end of its expected useful life.*  
 Description of Work: *Provide equipment replacement and installation.*  
 Comments: *R-22. OSA sensor not working and will need to be replaced to bring proper use of the system. Recommend to address replacement of sensor.*



**City of Rohnert Park  
Facility Condition Assessment**

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**Library (Lease)**

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Record ID 1323  
System D3020 - HEATING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. D3020.10.002

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$102,790

Deficiency Description: *Boiler is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Error upon inspection.*



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Record ID 1324  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 25 / -

Item No. D3060.30.005

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$8,730

Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID 1325  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 25 / -

Item No. D3060.30.005

Floor/Room:

**Priority:** 5

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$8,400

Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Library (Lease)**

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Record ID 1326  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life 2002 / 15 / -5

Item No. D3030.10.019

Floor/Room:

**Priority:** 2

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$84,000  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID 1327  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 25 / -

Item No. D3060.30.005

Floor/Room:

**Priority:** 5

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$8,400  
Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID 1328  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 25 / -

Item No. D3060.30.005

Floor/Room:

**Priority:** 5

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$8,400  
Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Library (Lease)**

Record ID 1329  
 System D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. D2010.20.021

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$14,670  
 Deficiency Description: *Electric water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 1332  
 System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life 2015 / 15 / 8

Item No. D3030.70.002

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$20,300  
 Deficiency Description: *Split system with wall mounted AC and outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 1533  
 System G2060 - SITE DEVELOPMENT

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. G2060.30.001

Floor/Room: Site / Sign

**Priority:** 2

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$630  
 Deficiency Description: *Sign is at or approaching the end of its useful life.*

Description of Work: *Replace sign.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Library (Lease)

Record ID 1535  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. B2050.10.009

Floor/Room: 1 / Entrance

Priority: 3

Quantity/Unit of Measure: 2/EA

Total Deficiency Cost: \$20,820

Deficiency Description: *Exterior automatic door is damaged or deteriorating.*

Description of Work: *Refurbish/repair automatic door.*

Comments:



Record ID 1536  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. C2030.75.001

Floor/Room: 1 / Meeting Room

Priority: 3

Quantity/Unit of Measure: 1,000/SF

Total Deficiency Cost: \$28,070

Deficiency Description: *Carpet tile is showing signs of wear.*

Description of Work: *Replace carpet tile.*

Comments:



Record ID 1543  
System C2010 - WALL FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. C2010.70.001

Floor/Room: 1 / Children Area

Priority: 3

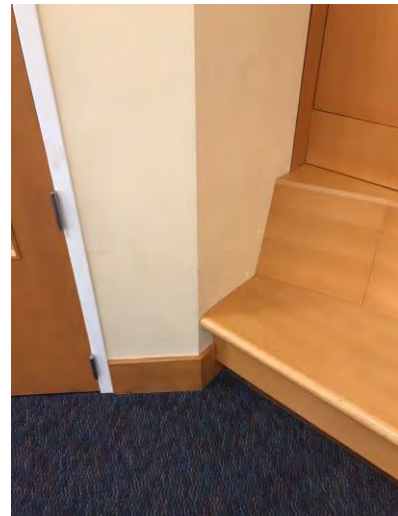
Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$2,210

Deficiency Description: *Painted gypsum wallboard is showing signs of wear.*

Description of Work: *Patch and paint the gypsum wallboard.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Library (Lease)**

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Record ID: 1544  
System: C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
Item No.: C2030.75.001  
Floor/Room: 1 / Library  
**Priority:** 3  
Quantity/Unit of Measure: 5,000/SF  
Total Deficiency Cost: \$140,300  
Deficiency Description: *Carpet tile is showing signs of wear.*



Description of Work: *Replace carpet tile.*

Comments:

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Record ID: 1545  
System: C2010 - WALL FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: C2010.70.001  
Floor/Room: 1 / Library  
**Priority:** 3  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$2,210  
Deficiency Description: *Painted gypsum wallboard is showing signs of wear.*



Description of Work: *Patch and paint the gypsum wallboard.*

Comments:

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Record ID: 1546  
System: C2010 - WALL FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: C2010.70.001  
Floor/Room: 1 / Book Room  
**Priority:** 3  
Quantity/Unit of Measure: 300/SF  
Total Deficiency Cost: \$6,590  
Deficiency Description: *Painted gypsum wallboard is showing signs of wear.*



Description of Work: *Patch and paint the gypsum wallboard.*

Comments:

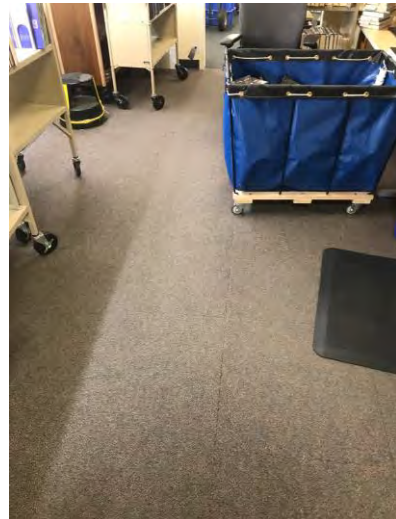
# City of Rohnert Park Facility Condition Assessment

## Library (Lease)

Record ID 1547  
System C2030 - FLOORING  
Year Installed / Industry Life / Remaining Useful Life - / 20 / -  
Item No. C2030.75.001  
Floor/Room: / Book Room  
**Priority:** 3  
Quantity/Unit of Measure: 400/SF  
Total Deficiency Cost: \$11,250  
Deficiency Description: *Carpet tile is showing signs of wear.*

Description of Work: *Replace carpet tile.*

Comments:



Record ID 1548  
System C2030 - FLOORING  
Year Installed / Industry Life / Remaining Useful Life - / 60 / -  
Item No. C2030.50.001  
Floor/Room: 1 / Work Storage  
**Priority:** 3  
Quantity/Unit of Measure: 300/SF  
Total Deficiency Cost: \$7,920  
Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



Record ID 1549  
System C2030 - FLOORING  
Year Installed / Industry Life / Remaining Useful Life - / 60 / -  
Item No. C2030.50.001  
Floor/Room: 1 / Work Storage  
**Priority:** 3  
Quantity/Unit of Measure: 1,000/SF  
Total Deficiency Cost: \$26,330  
Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:





**City of Rohnert Park  
Facility Condition Assessment**

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**Library (Lease)**

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Record ID 1550  
System C1010 - INTERIOR PARTITIONS

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. C1010.10.001

Floor/Room: 1 / Work Storage

**Priority:** 2

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$720

Deficiency Description: *Painted gypsum wallboard is in poor condition with several cracks.*

Description of Work: *Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.*

Comments:



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Record ID 1553  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. C2030.75.001

Floor/Room: 1 / Office 125

**Priority:** 3

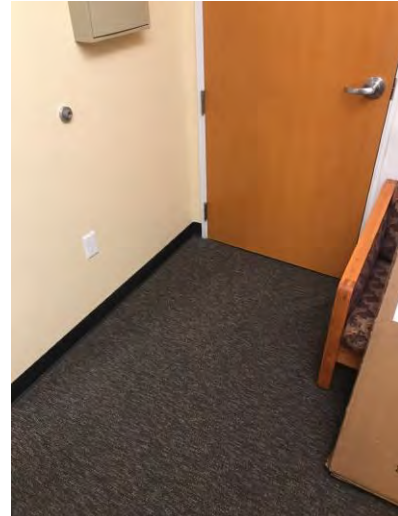
Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$2,830

Deficiency Description: *Carpet tile is showing signs of wear.*

Description of Work: *Replace carpet tile.*

Comments:



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Record ID 1554  
System C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. C2050.80.001

Floor/Room: 1 / Work Storage

**Priority:** 1

Quantity/Unit of Measure: 200/SF

Total Deficiency Cost: \$3,030

Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Library (Lease)**

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Record ID 1555  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

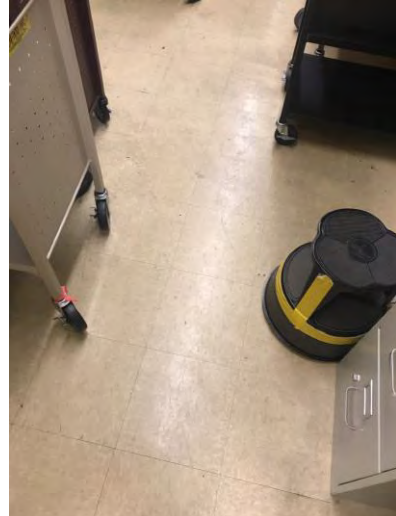
Item No. C2030.50.001  
Floor/Room: 1 / Storage 135

**Priority:** 3  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$2,650

Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



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Record ID 1558  
System C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. C2050.80.001  
Floor/Room: 1 / Staff Lounge 137

**Priority:** 2  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$1,610

Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



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Record ID 1559  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.50.002  
Floor/Room: 1 / Staff Lounge 137

**Priority:** 3  
Quantity/Unit of Measure: 300/SF  
Total Deficiency Cost: \$13,330

Deficiency Description: *Sheet vinyl is approaching the end of its useful life.*

Description of Work: *Remove the existing sheet vinyl and replace.*

Comments:



## City of Rohnert Park Facility Condition Assessment

### Library (Lease)

Record ID: 1560  
 System: B3010 - ROOFING

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: B3010.50.001  
 Floor/Room: Roof  
**Priority:** 7

Quantity/Unit of Measure: 14,500/SF  
 Total Deficiency Cost: \$859,780  
 Deficiency Description: *Built-up roofing is beyond its expected useful service life and needs replacement.*



Description of Work: *Remove and replace built-up roofing.*

Comments:

Record ID: 1562  
 System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: G2030.10.005  
 Floor/Room: Site / Pavement  
**Priority:** 1

Quantity/Unit of Measure: 100/SF  
 Total Deficiency Cost: \$3,480  
 Deficiency Description: *Concrete pavement has major damage / structural failure.*



Description of Work: *Replace concrete and base to match existing.*

Comments:

Record ID: 1688  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: D3030.70.029  
 Floor/Room:  
**Priority:** 1

Quantity/Unit of Measure: 23/EA  
 Total Deficiency Cost: \$184,590  
 Deficiency Description: *VAV terminal unit is approaching the end of its expected useful life. Valves are reported to be in a failing condition.*

PHOTO  
NOT  
APPLICABLE

Description of Work: *Provide equipment replacement and installation.*

Comments: *No photo provided as information on the VAV units were provided by the maintenance engineer.*

**City of Rohnert Park  
Facility Condition Assessment**

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**Library (Lease)**

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Record ID: 1754  
System: D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life: 2001 / 20 / -1

Item No.: D5040.50.411

Floor/Room: 1st / All

Priority: 1

Quantity/Unit of Measure: 19,916/SF

Total Deficiency Cost: \$1,139,550

Deficiency Description: *Interior lighting system is operational but past its expected useful life.*

Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments: *Interior lighting in good condition.*



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Record ID: 1756  
System: D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life: 2001 / 20 / -1

Item No.: D5040.50.302

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 40/EA

Total Deficiency Cost: \$90,820

Deficiency Description: *The exterior light fixture is operational but past its expected useful life.*

Description of Work: *Replace the existing light fixture with an LED lighting fixture.*

Comments: *Exterior lighting in good condition.*



# Magnolia Pool Building and Restroom Detailed Report

**Address: 1401 Middlebrook Way, Rohnert Park, CA 94928**

## Statistics

Year Built:	2001
Building Additions:	N/A
Building Area:	2,551 SF

## FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$336,850</b>
FCI:	0.106
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$3,181,000
Replacement Cost/SF:	\$1,247



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## Assessment Descriptions

### Architectural Elements

The exterior concrete masonry unit (CMU) walls show signs of efflorescence likely due to moisture intrusion. It is recommended the exterior CMU surfaces are cleaned. Further investigation is recommended to determine the source of efflorescence.

The site surfaces primarily consist of concrete-paved walkways around the pool and AC paving in the parking lot. The concrete walkways and parking lot surfaces are generally in fair condition with no major deficiencies. Overall, the site surfaces appear to be in fair to good condition.

### Mechanical Systems

The mechanical systems consist of ventilation fans serving the pool boiler room. Overall, the mechanical systems appear to be in operable condition.

### Electrical Systems

Electrical power from PG&E is run underground to a 200A, 120/240V, 1-phase combination meter socket. This supplies two interior load centers. The equipment is original to the building and still within its expected useful life.

Interior lighting is fluorescent type. Fixtures in pool equipment room appeared to be in poor condition. Exterior fixtures are metal halide high-intensity discharge (HID) walpaks. Lighting has just past its expected useful life and pool chemicals seems to have caused some degradation.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, gas piping, sanitary waste piping and vent piping. The domestic hot water is provided by gas-fired water heater. The pool system equipment on site consists of an acid/chlorine station, PH control section, pool pumps on VFD control, pool boiler, and pool filtration. The pool system was converted to acid station temporarily to repair the CO2 station; however, this temporary solution became permanent as they are not getting any visitors due to staffing issues. It is recommended that the pool be converted back to its original CO2 station as the acid storage and equipment were not designed for the chemicals and are rapidly eroding the building from the inside out.

### Fire Protection

The building is equipped with a small fire alarm panel to monitor the fire sprinkler system.

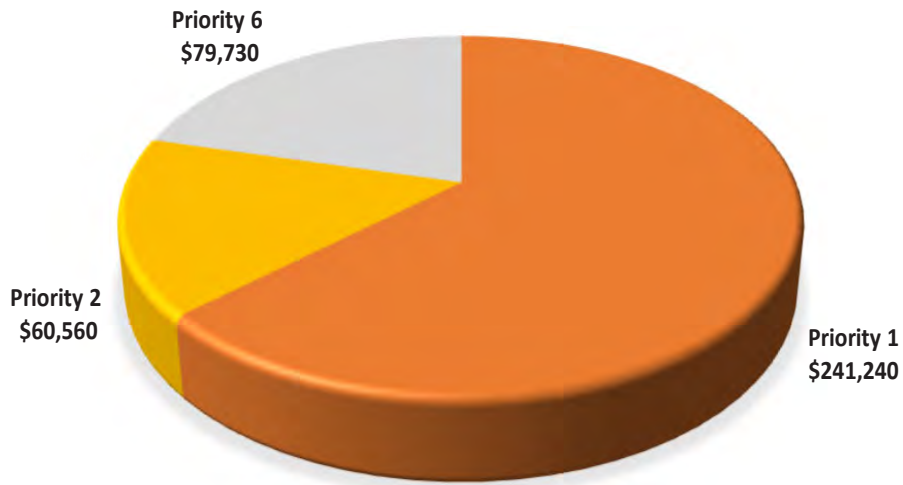
## Conclusion

For the Magnolia Pool Building and Restroom, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Magnolia Pool Building and Restroom						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$241,240	\$60,560	\$0	\$0	\$0	\$79,730	\$381,530
63.23%	15.87%	0.00%	0.00%	0.00%	20.90%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Magnolia Pool Building and Restroom

<b>Capital Renewal Cost:</b>	<b>\$336,850</b>	FCI:	<b>0.106</b>
Replacement Cost:	<b>\$3,181,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,247</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	<b>\$11,900</b>	-	\$13,460	-	-	-	-
B2050	EXTERIOR DOORS AND GRILLES	<b>\$41,670</b>	-	\$47,100	-	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	<b>\$22,980</b>	-	-	-	-	-	\$30,570
D3060	VENTILATION	<b>\$14,660</b>	\$15,840	-	-	-	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	<b>\$36,950</b>	-	-	-	-	-	\$49,160
D5040	LIGHTING	<b>\$152,000</b>	\$164,170	-	-	-	-	-
D7050	DETECTION AND ALARM	<b>\$56,690</b>	\$61,230	-	-	-	-	-
<b>TOTALS</b>		<b>\$336,850</b>	<b>\$241,240</b>	<b>\$60,560</b>	-	-	-	<b>\$79,730</b>
TOTAL (Priority 1-6 without escalation)		<b>\$336,850</b>	<b>\$381,530</b>					
			TOTAL (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

**Magnolia Pool Building and Restroom**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1368	D3060 - VENTILATION	D3060.30.002		Exhaust fan is damaged due to condition of room.	Provide appropriate replacement resistant to conditions within the space.	1	EA	\$960	\$2,260	1
1366	D3060 - VENTILATION	D3060.30.002		Ceiling exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$960	\$2,260	1
1373	D3060 - VENTILATION	D3060.30.030		Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$11,320	1
1757	D5040 - LIGHTING	D5040.50.302		The exterior light fixture is past its expected useful life.	Replace the existing light fixture with an LED lighting fixture.	8	EA	\$7,760	\$18,190	1
1758	D5040 - LIGHTING	D5040.50.411		Interior lighting system is past its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	2,551	SF	\$62,300	\$145,980	1
1371	D7050 - DETECTION AND ALARM	D7050.10.022	1st	The existing fire alarm system is at the end of its industry rated useful life.	Provide a new fully addressable fire alarm control panel with associated initiating and signaling devices.	2,551	SF	\$26,130	\$61,230	1
1626	B2010 - EXTERIOR WALLS	B2010.20.005	Office	CMU walls are showing signs of water penetration.	Clean CMU walls.	800	SF	\$2,740	\$6,730	2
1625	B2010 - EXTERIOR WALLS	B2010.20.005	Exterior	CMU walls are showing signs of water penetration.	Clean CMU walls.	800	SF	\$2,740	\$6,730	2
1624	B2050 - EXTERIOR DOORS AND GRILLES	B2050.20.001	Restroom	The exterior door is approaching the end of its useful life.	Replace the door.	1	EA	\$4,800	\$11,780	2
1623	B2050 - EXTERIOR DOORS AND GRILLES	B2050.20.001	Mechanical	The exterior door is approaching the end of its useful life.	Replace the door.	2	EA	\$9,600	\$23,540	2
1622	B2050 - EXTERIOR DOORS AND GRILLES	B2050.20.001	1	The exterior door is approaching the end of its useful life.	Replace the door.	1	EA	\$4,800	\$11,780	2
1369	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.003		Gas fired water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$10,590	\$30,570	6
1380	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.002	Site	The 200A (120/240V, 1P) all-in-one combination service entrance device is approaching the end of its expected useful life.	Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.	1	EA	\$11,820	\$34,120	6

**City of Rohnert Park  
Facility Condition Assessment**

Magnolia Pool Building and Restroom

DEFICIENCY TABLE

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1378	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4002	1st	The 200A (24 ckts, indoor, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,600	\$7,520	6
1377	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4002	1st	The 200A (24 ckts, indoor, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,600	\$7,520	6

**City of Rohnert Park  
Facility Condition Assessment**

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**Magnolia Pool Building and Restroom**

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Record ID 1366  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D3060.30.002

Floor/Room:

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$2,260  
Deficiency Description: *Ceiling exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Corroded due to addition of acid into room not designed for acid.*



---

Record ID 1368  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D3060.30.002

Floor/Room:

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$2,260  
Deficiency Description: *Exhaust fan is damaged due to condition of room.*

Description of Work: *Provide appropriate replacement resistant to conditions within the space.*

Comments:



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Record ID 1369  
System D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life 2015 / 15 / 8

Item No. D2010.20.003

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$30,570  
Deficiency Description: *Gas fired water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Magnolia Pool Building and Restroom**

Record ID: 1371  
 System: D7050 - DETECTION AND ALARM

Year Installed / Industry Life / Remaining Useful Life: 2001 / 15 / -6

Item No.: D7050.10.022

Floor/Room: 1st

Priority: 1

Quantity/Unit of Measure: 2,551/SF

Total Deficiency Cost: \$61,230

Deficiency Description: *The existing fire alarm system is at the end of its industry rated useful life.*

Description of Work: *Provide a new fully addressable fire alarm control panel with associated initiating and signaling devices.*

Comments:



Record ID: 1373  
 System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: D3060.30.030

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$11,320

Deficiency Description: *Sidewall propeller fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Ventilation issues evident. Need to add active ventilation. Box fan is inadequate for operation and is deteriorating due to significant moisture.*



Record ID: 1377  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 2001 / 30 / 9

Item No.: D5020.30.4002

Floor/Room: 1st

Priority: 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$7,520

Deficiency Description: *The 200A (24 ckts, indoor, 1P) load center is approaching the end of its expected useful life.*

Description of Work: *Replace the existing load center with a new load center.*

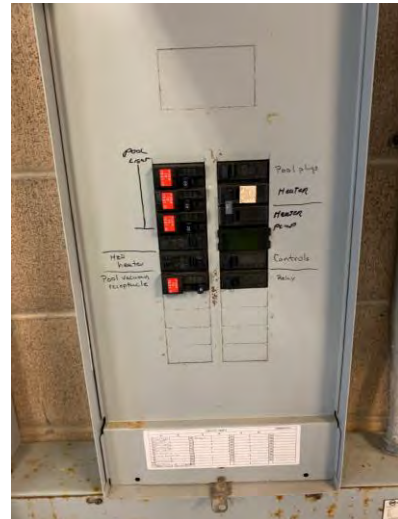
Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Magnolia Pool Building and Restroom**

Record ID: 1378  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 2001 / 30 / 9  
 Item No.: D5020.30.4002  
 Floor/Room: 1st  
**Priority:** 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$7,520  
 Deficiency Description: *The 200A (24 ckts, indoor, 1P) load center is approaching the end of its expected useful life.*  
 Description of Work: *Replace the existing load center with a new load center.*  
 Comments:



Record ID: 1380  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 2001 / 30 / 9  
 Item No.: D5020.10.002  
 Floor/Room: 1st / Site  
**Priority:** 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$34,120  
 Deficiency Description: *The 200A (120/240V, 1P) all-in-one combination service entrance device is approaching the end of its expected useful life.*  
 Description of Work: *Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.*  
 Comments:



Record ID: 1622  
 System: B2050 - EXTERIOR DOORS AND GRILLES  
 Year Installed / Industry Life / Remaining Useful Life: - / 15 / -  
 Item No.: B2050.20.001  
 Floor/Room: 1  
**Priority:** 2  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$11,780  
 Deficiency Description: *The exterior door is approaching the end of its useful life.*  
 Description of Work: *Replace the door.*  
 Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Magnolia Pool Building and Restroom**

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Record ID 1623  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. B2050.20.001

Floor/Room: 1 / Mechanical

Priority: 2

Quantity/Unit of Measure: 2/EA

Total Deficiency Cost: \$23,540

Deficiency Description: *The exterior door is approaching the end of its useful life.*

Description of Work: *Replace the door.*

Comments:



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Record ID 1624  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. B2050.20.001

Floor/Room: 1 / Restroom

Priority: 2

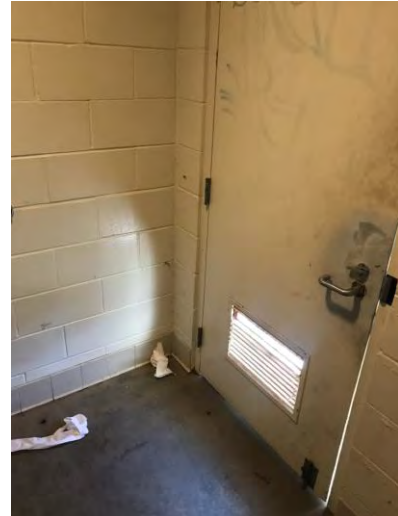
Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$11,780

Deficiency Description: *The exterior door is approaching the end of its useful life.*

Description of Work: *Replace the door.*

Comments:



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Record ID 1625  
System B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. B2010.20.005

Floor/Room: 1 / Exterior

Priority: 2

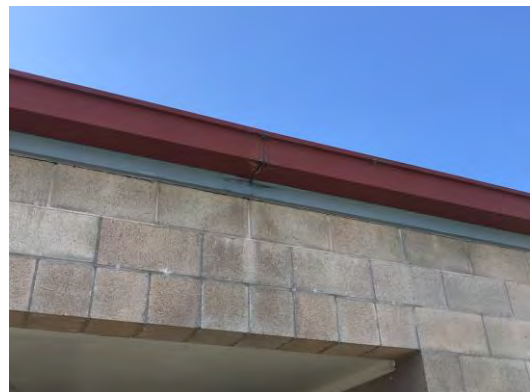
Quantity/Unit of Measure: 800/SF

Total Deficiency Cost: \$6,730

Deficiency Description: *CMU walls are showing signs of water penetration.*

Description of Work: *Clean CMU walls.*

Comments: *CMU walls show signs of water penetration and efflorescence.*



**City of Rohnert Park  
Facility Condition Assessment**

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**Magnolia Pool Building and Restroom**

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Record ID: 1626  
System: B2010 - EXTERIOR WALLS  
  
Year Installed / Industry Life / Remaining Useful Life: - / 50 / -  
Item No.: B2010.20.005  
Floor/Room: / Office  
**Priority:** 2  
Quantity/Unit of Measure: 800/SF  
Total Deficiency Cost: \$6,730  
Deficiency Description: *CMU walls are showing signs of water penetration.*



Description of Work: *Clean CMU walls.*  
  
Comments: *CMU walls show signs of water penetration and efflorescence.*

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Record ID: 1757  
System: D5040 - LIGHTING  
  
Year Installed / Industry Life / Remaining Useful Life: 2001 / 20 / -1  
Item No.: D5040.50.302  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 8/EA  
Total Deficiency Cost: \$18,190  
Deficiency Description: *The exterior light fixture is past its expected useful life.*



Description of Work: *Replace the existing light fixture with an LED lighting fixture.*  
  
Comments: *Exterior lighting on during day.*

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Record ID: 1758  
System: D5040 - LIGHTING  
  
Year Installed / Industry Life / Remaining Useful Life: 2001 / 20 / -1  
Item No.: D5040.50.411  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 2,551/SF  
Total Deficiency Cost: \$145,980  
Deficiency Description: *Interior lighting system is past its expected useful life.*



Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*  
  
Comments:

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# Park Restroom - Alicia Park Detailed Report

**Address: 300 Arlen Drive, Rohnert Park, CA 94928**

## Statistics

Year Built:	2017
Building Additions:	N/A
Building Area:	286 SF

## FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$21,120</b>
FCI:	0.054
Condition Score:	B
Condition Rating:	Fair
Replacement Cost:	\$388,000
Replacement Cost/SF:	\$1,354



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## Assessment Descriptions

### Architectural Elements

Built in 2017, the Park Restroom – Alicia Park building is a 286 SF, concrete masonry unit (CMU) structure located adjacent to the Alicia Park Ball Field (Snack Shack). The interior space consists of a restroom and mechanical room. Interior finish materials consist of painted concrete masonry units and epoxy flooring, which was showing signs of wear. The exterior finish materials consist of painted concrete masonry unit walls and standing seam metal roofing. Overall, the interior and exterior finish materials are generally in good condition with exception to the exterior CMU wall paint and interior epoxy flooring.

### Mechanical Systems

No mechanical systems have been identified at the building.

### Electrical Systems

Electrical power is provided by a single load center that is within its expected useful life.

Interior and exterior lighting is also within its expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, sanitary waste piping and vent piping. The domestic hot water is provided by instant electric water heater. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

No fire sprinkler systems have been identified on site.

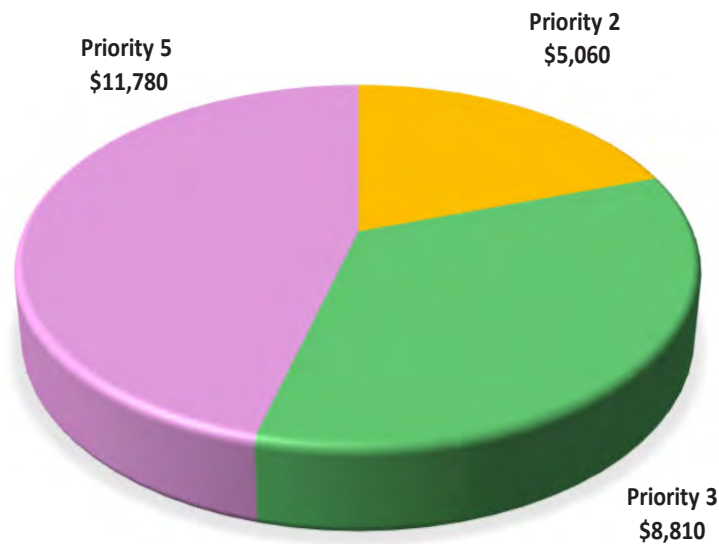
## Conclusion

For the Park Restroom - Alicia Park, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Park Restroom - Alicia Park						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$0	\$5,060	\$8,810	\$0	\$11,780	\$0	\$25,650
0.00%	19.73%	34.35%	0.00%	45.93%	0.00%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Park Restroom - Alicia Park

<b>Capital Renewal Cost:</b>	<b>\$21,120</b>	FCI:	<b>0.054</b>
Replacement Cost:	<b>\$388,000</b>	Condition Score:	<b>B</b>
Replacement Cost/SF:	<b>\$1,354</b>	Condition Rating:	<b>FAIR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$5,950	-	-	\$7,030	-	-	-
C1030	INTERIOR DOORS	\$1,500	-	-	\$1,780	-	-	-
C2030	FLOORING	\$4,470	-	\$5,060	-	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$9,200	-	-	-	-	\$11,780	-
<b>TOTALS</b>		<b>\$21,120</b>	<b>-</b>	<b>\$5,060</b>	<b>\$8,810</b>	<b>-</b>	<b>\$11,780</b>	<b>-</b>
TOTAL (Priority 1-6 without escalation)		<b>\$21,120</b>	<b>\$25,650</b>					
			TOTAL (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

**Park Restroom - Alicia Park**

**DEFICIENCY TABLE**

*(1) Deficiency Cost = Qty x Unit Cost*

*(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)*

*General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds*

*City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location*

*Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.*

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
187	C2030 - FLOORING	C2030.10.002	Restroom	Epoxy is approaching the end of its useful life.	Remove the existing epoxy and replace.	100	SF	\$2,060	\$5,060	2
192	B2010 - EXTERIOR WALLS	B2010.20.005	Exterior	CMU walls are showing signs of wear.	Clean and repaint CMU walls.	800	SF	\$2,740	\$7,030	3
190	C1030 - INTERIOR DOORS	C1030.90.003	Exterior	Metal door and frame are in fair to poor condition.	Repair and refinish the metal door and frame.	2	EA	\$690	\$1,780	3
426	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.004		Electric water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,240	\$11,780	5

**City of Rohnert Park  
Facility Condition Assessment**

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**Park Restroom - Alicia Park**

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Record ID 187  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 40 / -  
Item No. C2030.10.002  
Floor/Room: 1 / Restroom  
**Priority: 2**  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$5,060  
Deficiency Description: *Epoxy is approaching the end of its useful life.*

Description of Work: *Remove the existing epoxy and replace.*

Comments:



Record ID 190  
System C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life - / 60 / -  
Item No. C1030.90.003  
Floor/Room: 1 / Exterior  
**Priority: 3**  
Quantity/Unit of Measure: 2/EA  
Total Deficiency Cost: \$1,780  
Deficiency Description: *Metal door and frame are in fair to poor condition.*

Description of Work: *Repair and refinish the metal door and frame.*

Comments:



Record ID 192  
System B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. B2010.20.005  
Floor/Room: 1 / Exterior  
**Priority: 3**  
Quantity/Unit of Measure: 800/SF  
Total Deficiency Cost: \$7,030  
Deficiency Description: *CMU walls are showing signs of wear.*

Description of Work: *Clean and repaint CMU walls.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Park Restroom - Alicia Park**

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Record ID 426  
System D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. D2010.20.004

Floor/Room:

**Priority:** 5

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$11,780

Deficiency Description: *Electric water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:





# Park Restroom - Alicia Park Ball Field Detailed Report

**Address: 300 Arlen Drive, Rohnert Park, CA 94928**

## Statistics

Year Built:	1974
Building Additions:	N/A
Building Area:	272 SF

## FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$55,730</b>
FCI:	0.151
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$369,000
Replacement Cost/SF:	\$1,354



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## Assessment Descriptions

### Architectural Elements

Built in 1976, the Park Restroom – Alicia Park Ball Field (Snack Shack) is a 272 SF pre-engineered building with interior spaces consisting of a restroom and a snack bar. Interior finish materials consist of epoxy flooring, painted gypsum board walls and ceiling, fiberglass reinforced paneling, and vinyl wall coverings. The epoxy flooring and fiberglass reinforced paneling are showing signs of wear and are recommended for replacement within the next five years. The epoxy flooring and vinyl wall coverings are showing signs of wear and are recommended for replacement within the next five years.

The exterior finish materials consist of plywood siding, wood door, and asphalt composition shingle roofing, which are in fair condition.

### Mechanical Systems

No mechanical systems have been identified at the building.

### Electrical Systems

Electrical power is distributed by a metered all-in-one combination service entrance. The electrical equipment appears to be past its expected useful life.

Interior and exterior lighting appears to be past their expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, sanitary waste piping and vent piping. The domestic hot water is provided by electric water heater. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

The building is not equipped with a fire sprinkler system; however, portable fire extinguishers were observed at key points in the building.

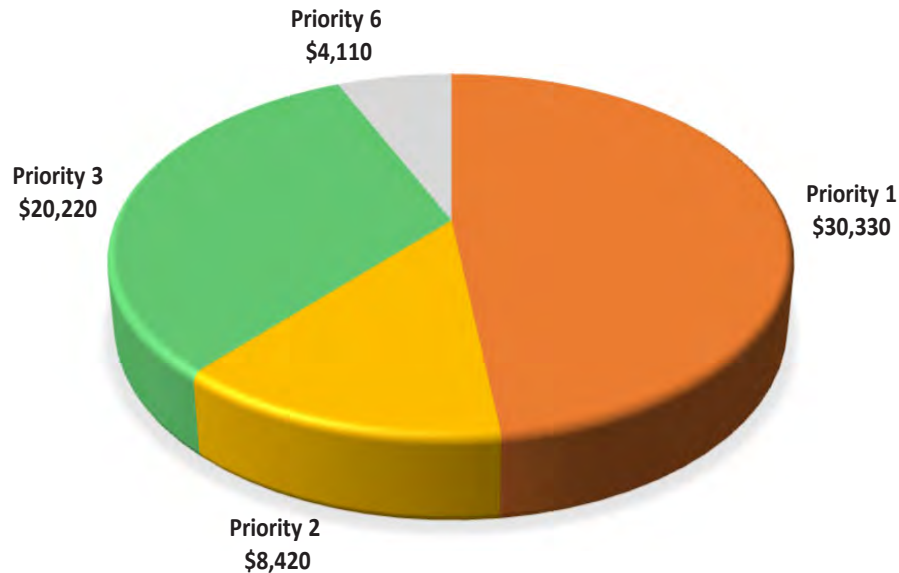
## Conclusion

For the Park Restroom - Alicia Park Ball Field, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Park Restroom - Alicia Park Ball Field						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$30,330	\$8,420	\$20,220	\$0	\$0	\$4,110	\$63,080
48.08%	13.35%	32.05%	0.00%	0.00%	6.52%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Park Restroom - Alicia Park Ball Field (Snack Shack)

<b>Capital Renewal Cost:</b>	<b>\$55,730</b>	FCI:	<b>0.151</b>
Replacement Cost:	<b>\$369,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,354</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Unifomat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$11,890	-	-	\$14,040	-	-	-
B2050	EXTERIOR DOORS AND GRILLES	\$7,450	-	\$8,420	-	-	-	-
C1030	INTERIOR DOORS	\$760	-	-	\$900	-	-	-
C2010	WALL FINISHES	\$1,810	\$1,960	-	-	-	-	-
C2030	FLOORING	\$4,470	-	-	\$5,280	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$3,090	-	-	-	-	-	\$4,110
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$7,620	\$8,230	-	-	-	-	-
D5040	LIGHTING	\$18,640	\$20,140	-	-	-	-	-
<b>TOTALS</b>		<b>\$55,730</b>	<b>\$30,330</b>	<b>\$8,420</b>	<b>\$20,220</b>	<b>-</b>	<b>-</b>	<b>\$4,110</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$55,730</b>	<b>\$63,080</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

**Park Restroom - Alicia Park Ball Field (Snack Shack)**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1732	C2010 - WALL FINISHES	C2010.20.003	Restroom	Fiberglass reinforced paneling is at or approaching the end of its useful life.	Install and replace the fiberglass reinforced paneling.	100	SF	\$830	\$1,960	1
197	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.001	Exterior	The all-in-one combination service entrance device is past its expected useful life.	Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.	1	EA	\$3,510	\$8,230	1
194	D5040 - LIGHTING	D5040.50.302		The exterior light fixture is past its expected useful life.	Replace the existing light fixture with an LED lighting fixture.	2	EA	\$1,940	\$4,550	1
1759	D5040 - LIGHTING	D5040.50.411	Interior	Interior lighting system is past its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	272	SF	\$6,650	\$15,590	1
200	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.001	Exterior	Exterior entrance door is approaching the end of its useful life.	Replace exterior door.	1	EA	\$3,430	\$8,420	2
196	B2010 - EXTERIOR WALLS	B2010.10.001	Exterior	Plywood siding is approaching the end of its useful life.	Remove and replace the existing plywood siding with new plywood siding. Prime and paint.	800	SF	\$5,480	\$14,040	3
195	C1030 - INTERIOR DOORS	C1030.90.003	Exterior	Metal door and frame are in fair to poor condition.	Repair and refinish the metal door and frames.	1	EA	\$350	\$900	3
1659	C2030 - FLOORING	C2030.10.002	Restroom	Epoxy is approaching the end of its useful life.	Remove the existing epoxy and replace.	100	SF	\$2,060	\$5,280	3
1653	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.020		Electric water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$1,420	\$4,110	6

**City of Rohnert Park  
Facility Condition Assessment**

**Park Restroom - Alicia Park Ball Field (Snack Shack)**

Record ID 194  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life 1992 / 20 / -10

Item No. D5040.50.302

Floor/Room:

**Priority:** 1

Quantity/Unit of Measure: 2/EA

Total Deficiency Cost: \$4,550

Deficiency Description: *The exterior light fixture is past its expected useful life.*

Description of Work: *Replace the existing light fixture with an LED lighting fixture.*

Comments:



Record ID 195  
System C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C1030.90.003

Floor/Room: 1 / Exterior

**Priority:** 3

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$900

Deficiency Description: *Metal door and frame are in fair to poor condition.*

Description of Work: *Repair and refinish the metal door and frames.*

Comments:



Record ID 196  
System B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. B2010.10.001

Floor/Room: 1 / Exterior

**Priority:** 3

Quantity/Unit of Measure: 800/SF

Total Deficiency Cost: \$14,040

Deficiency Description: *Plywood siding is approaching the end of its useful life.*

Description of Work: *Remove and replace the existing plywood siding with new plywood siding. Prime and paint.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Park Restroom - Alicia Park Ball Field (Snack Shack)**

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Record ID 197  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 1992 / 30 / 0  
Item No. D5020.10.001  
Floor/Room: 1 / Exterior  
**Priority: 1**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$8,230  
Deficiency Description: *The all-in-one combination service entrance device is past its expected useful life.*  
Description of Work: *Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.*  
Comments:



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Record ID 200  
System B2050 - EXTERIOR DOORS AND GRILLES  
Year Installed / Industry Life / Remaining Useful Life - / 75 / -  
Item No. B2050.10.001  
Floor/Room: 1 / Exterior  
**Priority: 2**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$8,420  
Deficiency Description: *Exterior entrance door is approaching the end of its useful life.*  
Description of Work: *Replace exterior door.*  
Comments:



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Record ID 1653  
System D2010 - DOMESTIC WATER DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 2017 / 15 / 10  
Item No. D2010.20.020  
Floor/Room:  
**Priority: 7**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$4,110  
Deficiency Description: *Electric water heater is approaching the end of its expected useful life.*  
Description of Work: *Provide equipment replacement and installation.*  
Comments: *Sulfur smell when used*





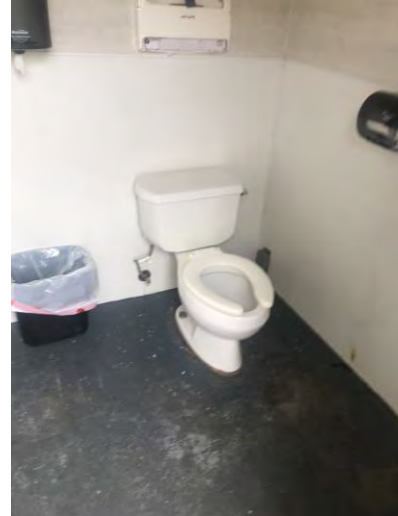
**City of Rohnert Park  
Facility Condition Assessment**

**Park Restroom - Alicia Park Ball Field (Snack Shack)**

Record ID: 1659  
 System: C2030 - FLOORING  
 Year Installed / Industry Life / Remaining Useful Life: - / 40 / -  
 Item No.: C2030.10.002  
 Floor/Room: 1 / Restroom  
**Priority: 3**  
 Quantity/Unit of Measure: 100/SF  
 Total Deficiency Cost: \$5,280  
 Deficiency Description: *Epoxy is approaching the end of its useful life.*

Description of Work: *Remove the existing epoxy and replace.*

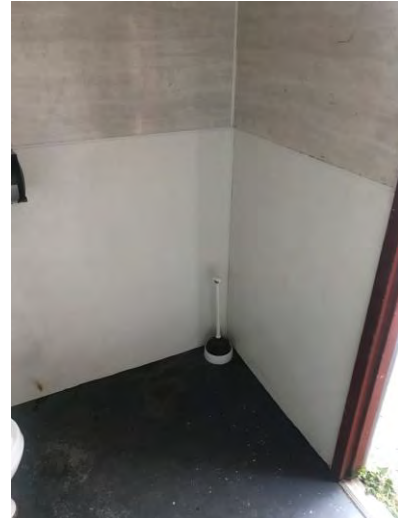
Comments:



Record ID: 1732  
 System: C2010 - WALL FINISHES  
 Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
 Item No.: C2010.20.003  
 Floor/Room: 1 / Restroom  
**Priority: 1**  
 Quantity/Unit of Measure: 100/SF  
 Total Deficiency Cost: \$1,960  
 Deficiency Description: *Fiberglass reinforced paneling is at or approaching the end of its useful life.*

Description of Work: *Install and replace the fiberglass reinforced paneling.*

Comments:



Record ID: 1759  
 System: D5040 - LIGHTING  
 Year Installed / Industry Life / Remaining Useful Life: 1992 / 20 / -10  
 Item No.: D5040.50.411  
 Floor/Room: 1 / Interior  
**Priority: 1**  
 Quantity/Unit of Measure: 272/SF  
 Total Deficiency Cost: \$15,590  
 Deficiency Description: *Interior lighting system is past its expected useful life.*

Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments:



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# Park Restroom - Benicia Park Ball Field Detailed Report

**Address: 7469 Bernice Avenue, Rohnert Park, CA 94928**

## Statistics

Year Built:	1977
Building Additions:	N/A
Building Area:	484 SF

## FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$151,490</b>
FCI:	0.231
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$656,000
Replacement Cost/SF:	\$1,354



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## Assessment Descriptions

### Architectural Elements

The 484 SF Park Restroom – Benicia Ballfield is a pre-engineered structure consisting of restrooms and concessions room. The interior finish materials consist of epoxy flooring, painted concrete masonry block, painted gypsum board wall and ceiling, and fiberglass reinforced paneling. Overall, the interior finish materials are in fair condition, however the restrooms are recommended for renovation to comply with accessibility requirements.

The exterior finish materials consist of plywood siding and built-up roofing. The plywood siding and built-up roofing appear to show signs of wear and are recommended for replacement.

The site surfaces primarily consist of concrete-paved walkways around the restroom building and AC paving in the parking lot. The concrete walkways and parking lot surfaces are generally in fair condition with no major deficiencies. Overall, the site surfaces appear to be in fair to good condition.

### Mechanical Systems

No mechanical systems have been identified at the building.

### Electrical Systems

Electrical power is distributed by a 600-amp metered main switchboard. The electrical equipment appears to be past its expected useful life.

Interior and exterior lighting appears to be past their expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, sanitary waste piping and vent piping. The domestic hot water is provided by an electric water heater. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

No fire sprinkler systems have been identified on site.

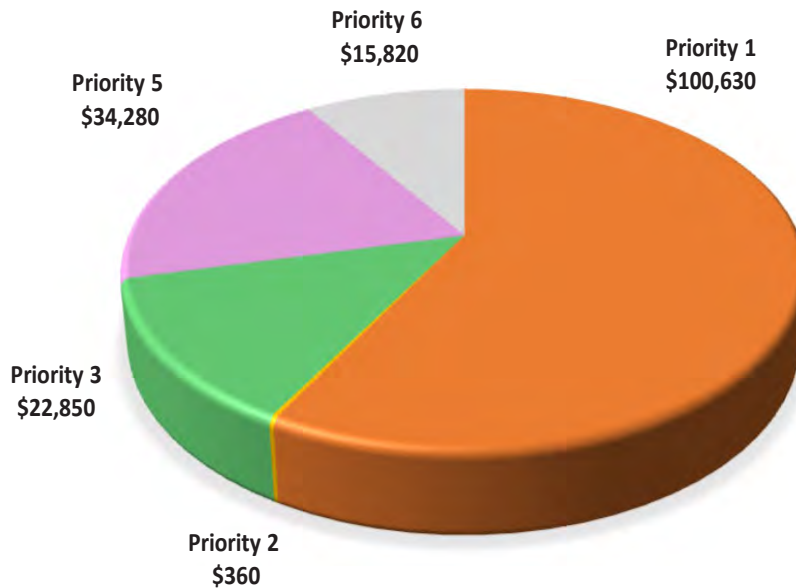
## Conclusion

For the Park Restroom - Benicia Park Ball Field, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Park Restroom - Benicia Park Ball Field						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$100,630	\$360	\$22,850	\$0	\$34,280	\$15,820	\$173,940
57.85%	0.21%	13.14%	0.00%	19.71%	9.10%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Park Restroom - Benicia Ballfield

<b>Capital Renewal Cost:</b>	<b>\$151,490</b>	FCI:	<b>0.231</b>
Replacement Cost:	<b>\$656,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,354</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Unifomat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$11,890	-	-	-	-	-	\$15,820
B2050	EXTERIOR DOORS AND GRILLES	\$19,360	-	-	\$22,850	-	-	-
B3010	ROOFING	\$27,090	-	\$360	-	-	\$34,280	-
D2010	DOMESTIC WATER DISTRIBUTION	\$3,090	\$3,340	-	-	-	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$16,430	\$17,750	-	-	-	-	-
D5040	LIGHTING	\$31,970	\$34,540	-	-	-	-	-
F1050	SPECIAL FACILITY COMPONENTS	\$41,660	\$45,000	-	-	-	-	-
<b>TOTALS</b>		<b>\$151,490</b>	<b>\$100,630</b>	<b>\$360</b>	<b>\$22,850</b>	<b>-</b>	<b>\$34,280</b>	<b>\$15,820</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$151,490</b>	<b>\$173,940</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

**Park Restroom - Benicia Ballfield**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engine Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1652	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.020		Electric water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$1,420	\$3,340	1
427	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.303	Exterior	The 600A metered main switchboard is past its expected useful life.	Replace the existing metered main switchboard with a new metered main switchboard.	1	EA	\$7,570	\$17,750	1
205	D5040 - LIGHTING	D5040.50.302	Exterior	The exterior light fixture is LED type.	None	3	EA	\$2,910	\$6,830	1
1760	D5040 - LIGHTING	D5040.50.411	Interior	Interior lighting system is past its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	484	SF	\$11,820	\$27,710	1
1657	F1050 - SPECIAL FACILITY COMPONENTS	F1050.80.011	Restroom	Restrooms are not accessible and in old condition.	Renovate restroom with accessible features.	56	SF	\$9,600	\$22,500	1
1656	F1050 - SPECIAL FACILITY COMPONENTS	F1050.80.011	Restroom	Restrooms are not accessible and in old condition.	Renovate restroom with accessible features.	56	SF	\$9,600	\$22,500	1
202	B3010 - ROOFING	B3010.90.010	Exterior	The 2' fascia is appears deteriorated.	Selectively remove deteriorated fascia and replace with new material to match.	10	LF	\$140	\$360	2
203	B2050 - EXTERIOR DOORS AND GRILLES	B2050.20.003	Exterior	Exterior doors, frames and hardware are approaching the end of their useful life.	Replace the exterior doors, frames and hardware.	1	EA	\$4,800	\$12,300	3
204	B2050 - EXTERIOR DOORS AND GRILLES	B2050.70.001	Exterior	Existing gate is at or approaching the end of its useful life.	Install a new gate and associated gate hardware.	2	LS	\$4,120	\$10,550	3
206	B3010 - ROOFING	B3010.50.001	Exterior	Built-up roofing is beyond its expected useful service life and needs replacement.	Remove and replace built-up roofing.	600	SF	\$12,340	\$34,280	5
1655	B2010 - EXTERIOR WALLS	B2010.10.001	Snack Bar	Plywood siding is approaching the end of its useful life.	Remove and replace the existing plywood siding with new plywood siding. Prime and paint.	800	SF	\$5,480	\$15,820	6



**City of Rohnert Park  
Facility Condition Assessment**

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**Park Restroom - Benicia Ballfield**

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Record ID: 202  
System: B3010 - ROOFING  
Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
Item No.: B3010.90.010  
Floor/Room: 1 / Exterior  
**Priority:** 2  
Quantity/Unit of Measure: 10/LF  
Total Deficiency Cost: \$360  
Deficiency Description: *The 2' fascia is appears deteriorated.*



Description of Work: *Selectively remove deteriorated fascia and replace with new material to match.*

Comments:

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Record ID: 203  
System: B2050 - EXTERIOR DOORS AND GRILLES  
Year Installed / Industry Life / Remaining Useful Life: - / 15 / -  
Item No.: B2050.20.003  
Floor/Room: 1 / Exterior  
**Priority:** 3  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$12,300  
Deficiency Description: *Exterior doors, frames and hardware are approaching the end of their useful life.*



Description of Work: *Replace the exterior doors, frames and hardware.*

Comments:

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Record ID: 204  
System: B2050 - EXTERIOR DOORS AND GRILLES  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: B2050.70.001  
Floor/Room: 1 / Exterior  
**Priority:** 3  
Quantity/Unit of Measure: 2/LS  
Total Deficiency Cost: \$10,550  
Deficiency Description: *Existing gate is at or approaching the end of its useful life.*



Description of Work: *Install a new gate and associated gate hardware.*

Comments:

**City of Rohnert Park  
Facility Condition Assessment**

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**Park Restroom - Benicia Ballfield**

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Record ID: 205  
System: D5040 - LIGHTING  
  
Year Installed / Industry Life / Remaining Useful Life: 2010 / 20 / 8  
Item No.: D5040.50.302  
Floor/Room: 1 / Exterior  
**Priority:** 1  
Quantity/Unit of Measure: 3/EA  
Total Deficiency Cost: \$6,830  
Deficiency Description: *The exterior light fixture is LED type.*



Description of Work: *None*  
  
Comments: *Appears to be retrofit.*

---

Record ID: 206  
System: B3010 - ROOFING  
  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: B3010.50.001  
Floor/Room: Roof / Exterior  
**Priority:** 5  
Quantity/Unit of Measure: 600/SF  
Total Deficiency Cost: \$34,280  
Deficiency Description: *Built-up roofing is beyond its expected useful service life and needs replacement.*



Description of Work: *Remove and replace built-up roofing.*  
  
Comments:

---

Record ID: 427  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
  
Year Installed / Industry Life / Remaining Useful Life: 1977 / 20 / -25  
Item No.: D5020.10.303  
Floor/Room: 1 / Exterior  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$17,750  
Deficiency Description: *The 600A metered main switchboard is past its expected useful life.*



Description of Work: *Replace the existing metered main switchboard with a new metered main switchboard.*  
  
Comments: *Signs of Rust on equipment.*

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**City of Rohnert Park  
Facility Condition Assessment**

**Park Restroom - Benicia Ballfield**

Record ID: 1652  
 System: D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 2018 / 15 / 11

Item No.: D2010.20.020

Floor/Room: 1

Priority: 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$3,340

Deficiency Description: *Electric water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Heavy sulfur smell from water heater*



Record ID: 1655  
 System: B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: B2010.10.001

Floor/Room: 1 / Snack Bar

Priority: 7

Quantity/Unit of Measure: 800/SF  
 Total Deficiency Cost: \$15,820

Deficiency Description: *Plywood siding is approaching the end of its useful life.*

Description of Work: *Remove and replace the existing plywood siding with new plywood siding. Prime and paint.*

Comments:



Record ID: 1656  
 System: F1050 - SPECIAL FACILITY COMPONENTS

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: F1050.80.011

Floor/Room: 1 / Restroom

Priority: 1

Quantity/Unit of Measure: 56/SF  
 Total Deficiency Cost: \$22,500

Deficiency Description: *Restrooms are not accessible and in old condition.*

Description of Work: *Renovate restroom with accessible features.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Park Restroom - Benicia Ballfield

Record ID 1657  
System F1050 - SPECIAL FACILITY COMPONENTS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. F1050.80.011

Floor/Room: 1 / Restroom

Priority: 1

Quantity/Unit of Measure: 56/SF

Total Deficiency Cost: \$22,500

Deficiency Description: *Restrooms are not accessible and in old condition.*

Description of Work: *Renovate restroom with accessible features.*

Comments:



Record ID 1760  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life 1977 / 20 / -25

Item No. D5040.50.411

Floor/Room: 1 / Interior

Priority: 1

Quantity/Unit of Measure: 484/SF

Total Deficiency Cost: \$27,710

Deficiency Description: *Interior lighting system is past its expected useful life.*

Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments: *Diffuser stained.*



# Park Restroom - Colegio Vista Park / Concession

## Detailed Report

**Address: 1214 Southwest Boulevard, Rohnert Park, CA 94928**

### Statistics

Year Built:	1978
Building Additions:	2017
Building Area:	289 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$108,180</b>
FCI:	0.276
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$392,000
Replacement Cost/SF:	\$1,354



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## Assessment Descriptions

### Architectural Elements

Originally constructed in 1978, the Park Restroom – Colegio Vista Park/Concession building is a 300 SF, prefabricated shed building that was renovated in 2017. The building consists of a restroom and concessions room. The interior finish materials consist of epoxy flooring, exposed concrete flooring, and painted gypsum board wall and ceiling. Interior finishes in the restrooms are generally in poor condition and are recommended for renovation with accessible features.

The exterior finish materials consist of plywood siding and asphalt composition shingle roofing. The plywood siding is generally in poor condition and should be replaced within the next few years.

The site surfaces primarily consist of concrete-paved walkways around the restroom building and AC paving in the parking lot. The concrete walkway is showing signs of significant cracking in some areas. The parking lot surfaces are generally in fair condition with no major deficiencies. Overall, the site surfaces appear to be in fair to good condition.

### Mechanical Systems

No mechanical systems have been identified at the building.

### Electrical Systems

Electrical power is distributed by a load center that appears to be within its expected useful life.

Interior and exterior lighting appears to be past their expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold-water piping, sanitary waste piping and vent piping. Overall, the plumbing systems appear to be in operable condition; however, the restroom is not fully utilized as half of the facility is in poor condition, is not in use, and should be replaced before open to the public.

### Fire Protection

No fire sprinkler systems have been identified on site.

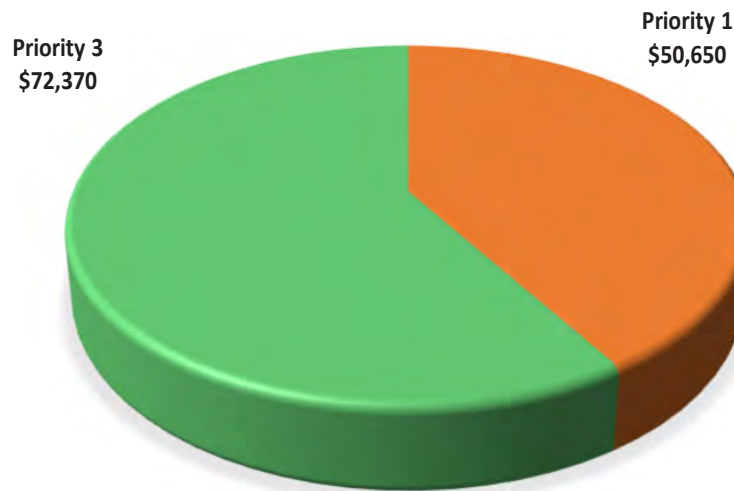
## Conclusion

For the Park Restroom - Colegio Vista Park/Concession, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Park Restroom - Colegio Vista Park/Concession						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$50,650	\$0	\$72,370	\$0	\$0	\$0	\$123,020
41.17%	0.00%	58.83%	0.00%	0.00%	0.00%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Park Restroom - Colegio Vista Park -Concession

<b>Capital Renewal Cost:</b>	<b>\$108,180</b>	FCI:	<b>0.276</b>
Replacement Cost:	<b>\$392,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,354</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Unifomat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$7,450	-	-	\$8,800	-	-	-
B2050	EXTERIOR DOORS AND GRILLES	\$10,490	-	-	\$12,390	-	-	-
C2030	FLOORING	\$4,910	\$480	-	\$5,280	-	-	-
C2050	CEILING FINISHES	\$1,870	\$2,020	-	-	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$35,670	-	-	\$42,100	-	-	-
D5040	LIGHTING	\$23,740	\$25,650	-	-	-	-	-
F1050	SPECIAL FACILITY COMPONENTS	\$20,830	\$22,500	-	-	-	-	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	\$3,220	-	-	\$3,800	-	-	-
<b>TOTALS</b>		<b>\$108,180</b>	<b>\$50,650</b>	<b>-</b>	<b>\$72,370</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$108,180</b>	<b>\$123,020</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

**Park Restroom - Colegio Vista Park -Concession**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
211	C2030 - FLOORING	C2030.90.001	Restroom	Vinyl wall base is approaching the end of its useful life.	Replace the vinyl wall base.	30	LF	\$200	\$480	1
209	C2050 - CEILING FINISHES	C2050.10.001	Snack Bar	Painted gypsum wallboard ceiling is approaching the end of its useful life.	Remove the existing gypsum board ceiling and replace. Tape and paint.	100	SF	\$860	\$2,020	1
1762	D5040 - LIGHTING	D5040.50.302		The exterior light fixtures are LED type.	None	4	EA	\$3,880	\$9,100	1
1761	D5040 - LIGHTING	D5040.50.411		Interior lighting system is past its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	289	SF	\$7,060	\$16,550	1
216	F1050 - SPECIAL FACILITY COMPONENTS	F1050.80.011	Restroom	Restroom is in poor condition.	Renovate restrooms with accessible features.	56	SF	\$9,600	\$22,500	1
208	B2010 - EXTERIOR WALLS	B2010.10.001	Exterior	Plywood siding is approaching the end of its useful life.	Remove and replace the existing plywood siding with new plywood siding. Prime and paint.	500	SF	\$3,430	\$8,800	3
701	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.008	Exterior	Exterior aluminum door is damaged or deteriorating.	Refurbish/repair aluminum door.	1	EA	\$30	\$90	3
214	B2050 - EXTERIOR DOORS AND GRILLES	B2050.20.003	Restroom	Exterior doors, frames and hardware are approaching the end of their useful life.	Replace the exterior doors, frames and hardware.	1	EA	\$4,800	\$12,300	3
215	C2030 - FLOORING	C2030.10.002	Restroom	Epoxy is approaching the end of its useful life.	Remove the existing epoxy and replace.	100	SF	\$2,060	\$5,280	3
429	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.60.047		Restroom piping and plumbing fixtures are at or approaching the end of its expected useful service life.	Provide equipment replacement and installation.	2	EA	\$16,440	\$42,100	3
210	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Pavement	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	100	SF	\$1,480	\$3,800	3
432	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001		The 100A (18 ckts, 20A plug-in breakers, 1P) load center useful life is beyond priority timeline of FCA (informational).	None.	1	EA	-	-	7

**City of Rohnert Park  
Facility Condition Assessment**

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**Park Restroom - Colegio Vista Park -Concession**

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Record ID 208  
System B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -  
Item No. B2010.10.001  
Floor/Room: 1 / Exterior  
**Priority: 3**  
Quantity/Unit of Measure: 500/SF  
Total Deficiency Cost: \$8,800  
Deficiency Description: *Plywood siding is approaching the end of its useful life.*

Description of Work: *Remove and replace the existing plywood siding with new plywood siding. Prime and paint.*

Comments:



Record ID 209  
System C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -  
Item No. C2050.10.001  
Floor/Room: 1 / Snack Bar  
**Priority: 1**  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$2,020  
Deficiency Description: *Painted gypsum wallboard ceiling is approaching the end of its useful life.*

Description of Work: *Remove the existing gypsum board ceiling and replace. Tape and paint.*

Comments:



Record ID 210  
System G2030 - PEDESTRIAN PLAZAS AND WALKWAYS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -  
Item No. G2030.10.005  
Floor/Room: Site / Pavement  
**Priority: 3**  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$3,800  
Deficiency Description: *Concrete pavement has major damage / structural failure.*

Description of Work: *Replace concrete and base to match existing.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Park Restroom - Colegio Vista Park -Concession**

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Record ID 211  
System C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life - / - / -  
Item No. C2030.90.001  
Floor/Room: 1 / Restroom  
**Priority: 1**  
Quantity/Unit of Measure: 30/LF  
Total Deficiency Cost: \$480  
Deficiency Description: *Vinyl wall base is approaching the end of its useful life.*

Description of Work: *Replace the vinyl wall base.*

Comments:



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Record ID 214  
System B2050 - EXTERIOR DOORS AND GRILLES  
  
Year Installed / Industry Life / Remaining Useful Life - / 15 / -  
Item No. B2050.20.003  
Floor/Room: 1 / Restroom  
**Priority: 3**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$12,300  
Deficiency Description: *Exterior doors, frames and hardware are approaching the end of their useful life.*

Description of Work: *Replace the exterior doors, frames and hardware.*

Comments:

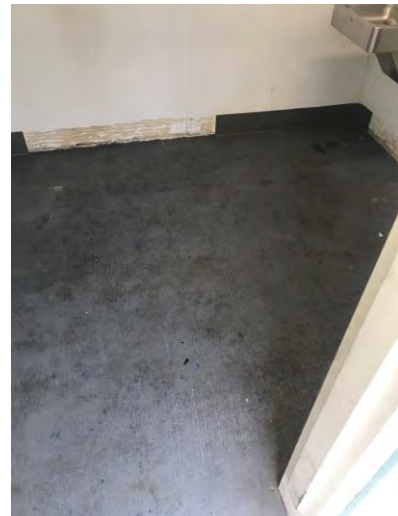


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Record ID 215  
System C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life - / 40 / -  
Item No. C2030.10.002  
Floor/Room: 1 / Restroom  
**Priority: 3**  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$5,280  
Deficiency Description: *Epoxy is approaching the end of its useful life.*

Description of Work: *Remove the existing epoxy and replace.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Park Restroom - Colegio Vista Park -Concession

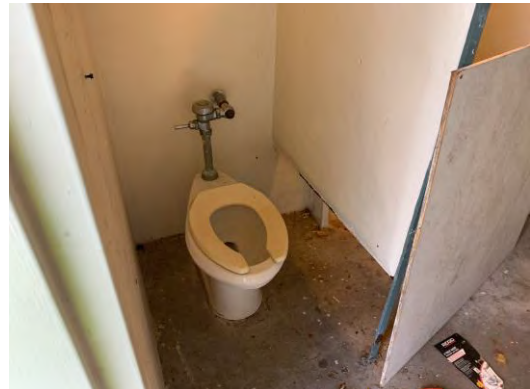
Record ID: 216  
 System: F1050 - SPECIAL FACILITY COMPONENTS  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: F1050.80.011  
 Floor/Room: 1 / Restroom  
**Priority:** 1  
 Quantity/Unit of Measure: 56/SF  
 Total Deficiency Cost: \$22,500  
 Deficiency Description: *Restroom is in poor condition.*



Description of Work: *Renovate restrooms with accessible features.*

Comments:

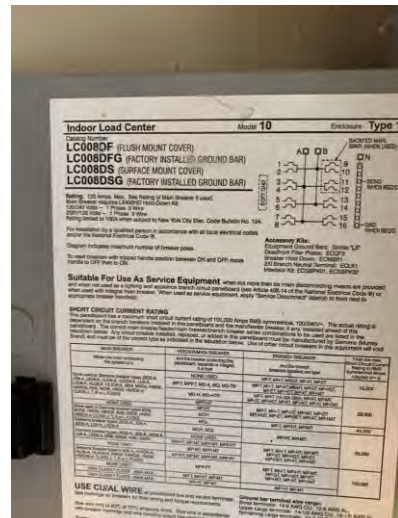
Record ID: 429  
 System: D2010 - DOMESTIC WATER DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: D2010.60.047  
 Floor/Room:  
**Priority:** 3  
 Quantity/Unit of Measure: 2/EA  
 Total Deficiency Cost: \$42,100  
 Deficiency Description: *Restroom piping and plumbing fixtures are at or approaching the end of its expected useful service life.*



Description of Work: *Provide equipment replacement and installation.*

Comments:

Record ID: 432  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 2010 / 30 / 18  
 Item No.: D5020.30.4001  
 Floor/Room:  
**Priority:** 6  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: N/A - See Executive Summary  
 Deficiency Description: *The 100A (18 ckt, 20A plug-in breakers, 1P) load center useful life is beyond priority timeline of FCA(informational).*



Description of Work: *None.*

Comments:

**City of Rohnert Park  
Facility Condition Assessment**

**Park Restroom - Colegio Vista Park -Concession**

Record ID: 701  
 System: B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: B2050.10.008  
 Floor/Room: / Exterior

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$90  
 Deficiency Description: *Exterior aluminum door is damaged or deteriorating.*

Description of Work: *Refurbish/repair aluminum door.*

Comments:



Record ID: 1761  
 System: D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life: 1978 / 20 / -24

Item No.: D5040.50.411  
 Floor/Room:

**Priority:** 1

Quantity/Unit of Measure: 289/SF  
 Total Deficiency Cost: \$16,550  
 Deficiency Description: *Interior lighting system is past its expected useful life.*

Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments:



Record ID: 1762  
 System: D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life: 2010 / 20 / 8

Item No.: D5040.50.302  
 Floor/Room:

**Priority:** 1

Quantity/Unit of Measure: 4/EA  
 Total Deficiency Cost: \$9,100  
 Deficiency Description: *The exterior light fixtures are LED type.*

Description of Work: *None*

Comments: *Appears to be retrofit.*



# Park Restroom - Dorotea Park Detailed Report

**Address: 895 Santa Dorotea Circle, Rohnert Park, CA 94928**

## Statistics

Year Built:	1987
Building Additions:	N/A
Building Area:	126 SF

## FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$460</b>
FCI:	0.003
Condition Score:	A
Condition Rating:	Good
Replacement Cost:	\$171,000
Replacement Cost/SF:	\$1,354



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## Assessment Descriptions

### Architectural Elements

Built in 1987, the Park Restroom – Dorotea Park is a 126 SF concrete masonry unit (CMU) building has exterior finishes of painted CMU and standing seam metal roofing, which are both in good condition. The interior spaces consist of a single-occupant restroom and a mechanical/electrical room. The interior finish materials consist of epoxy flooring and CMU walls. The epoxy flooring finish in the restroom is recommended to be replaced. Overall, the interior finish materials are in good condition.

The site surfaces primarily consist of concrete-paved walkways and ramps. The concrete surfaces are generally in good condition with no major deficiencies.

### Mechanical Systems

No mechanical systems have been identified at the building.

### Electrical Systems

Electrical power is distributed by a load center that appears to be past its expected useful life.

The interior and exterior lighting system appears to be past its expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold-water piping, sanitary waste piping and vent piping. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

No fire sprinkler systems have been identified on site.



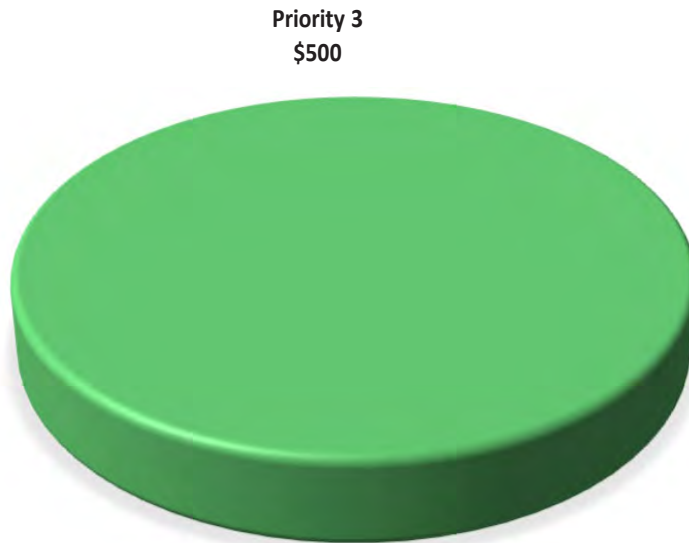
## Conclusion

For the Park Restroom - Dorotea Park, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Park Restroom - Dorotea Park						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$0	\$0	\$500	\$0	\$0	\$0	\$500
0.00%	0.00%	100.00%	0.00%	0.00%	0.00%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Park Restroom - Dorotea Park

<b>Capital Renewal Cost:</b>	<b>\$460</b>	FCI:	<b>0.003</b>
Replacement Cost:	<b>\$171,000</b>	Condition Score:	<b>A</b>
Replacement Cost/SF:	<b>\$1,354</b>	Condition Rating:	<b>GOOD</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2050	EXTERIOR DOORS AND GRILLES	\$460	-	-	\$550	-	-	-
TOTALS		\$460	-	-	\$550	-	-	-
TOTAL (Priority 1-6 without escalation)		\$460	\$550					
			TOTAL (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

Park Restroom - Dorotea Park

DEFICIENCY TABLE

*(1) Deficiency Cost = Qty x Unit Cost*

*(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)*

*General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds*

*City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location*

*Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.*

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
692	B2050 - EXTERIOR DOORS AND GRILLES	B2050.90.003	Exterior	Metal door is showing signs of wear.	Refinish metal door.	1	LS	\$210	\$550	3

**City of Rohnert Park  
Facility Condition Assessment**

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**Park Restroom - Dorotea Park**

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Record ID: 692  
System: B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life: - / 15 / -

Item No.: B2050.90.003

Floor/Room: 1 / Exterior

Priority: 3

Quantity/Unit of Measure: 1/LS

Total Deficiency Cost: \$550

Deficiency Description: *Metal door is showing signs of wear.*

Description of Work: *Refinish metal door.*

Comments:



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# Park Restroom - Eagle Park Detailed Report

**Address: 1115 Emily Avenue, Rohnert Park, CA 94928**

## Statistics

Year Built:	1975
Building Additions:	N/A
Building Area:	210 SF

## FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$64,170</b>
FCI:	0.225
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$285,000
Replacement Cost/SF:	\$1,354



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## Assessment Descriptions

### Architectural Elements

Built in 1975, the 210 SF Park Restroom – Eagle Park building is a pre-engineered structure with exterior finish materials consisting of metal siding and metal roofing, which are in good condition. The interior finish materials consist of epoxy flooring, exposed concrete flooring, and metal interior wall and ceiling panels. There are two restrooms in the building, one of which is in critical condition and recommended for renovation. The interior walls in the other restroom are showing signs of rust and should be refinished. Overall, the interior and exterior finish materials are in fair condition.

The site surfaces primarily consist of concrete-paved walkways and AC paving in the parking lot. The concrete walkways are generally in fair condition with no major deficiencies. The AC paving is showing signs of fatigue cracking throughout the entire parking lot and is recommended for replacement. Overall, the site surfaces appear to be in fair to poor condition.

### Mechanical Systems

No mechanical systems have been identified at the building.

### Electrical Systems

Electrical power is distributed by a load center that appears to be past its expected useful life. Interior and exterior lighting also appears to be past its expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold-water piping, sanitary waste piping and vent piping. The restroom is under-utilized as half of the restrooms are inoperable.

### Fire Protection

No fire sprinkler systems have been identified on site.



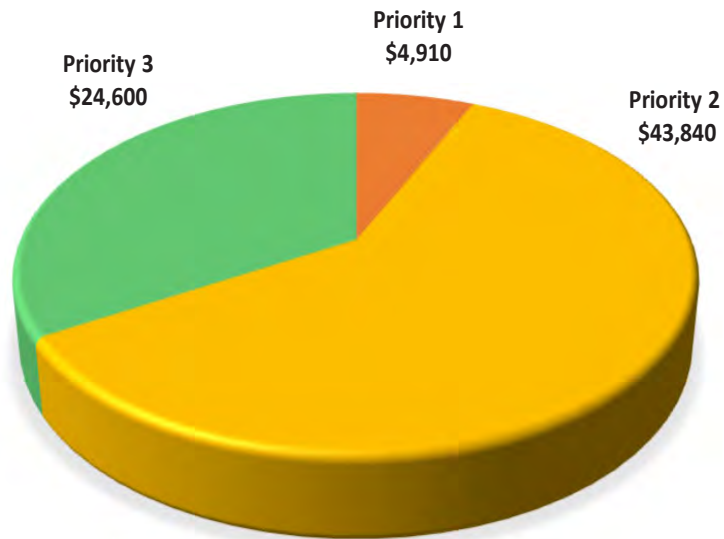
## Conclusion

For the Park Restroom - Eagle Park, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Park Restroom - Eagle Park						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$4,910	\$43,840	\$24,600	\$0	\$0	\$0	\$73,350
6.69%	59.77%	33.54%	0.00%	0.00%	0.00%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Park Restroom - Eagle Park

<b>Capital Renewal Cost:</b>	<b>\$64,170</b>	FCI:	<b>0.225</b>
Replacement Cost:	<b>\$285,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,354</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2050	EXTERIOR DOORS AND GRILLES	<b>\$20,840</b>	-	-	\$24,600	-	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	<b>\$4,540</b>	\$4,910	-	-	-	-	-
G2020	PARKING LOTS	<b>\$38,790</b>	-	\$43,840	-	-	-	-
<b>TOTALS</b>		<b>\$64,170</b>	<b>\$4,910</b>	<b>\$43,840</b>	<b>\$24,600</b>	-	-	-
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$64,170</b>	<b>\$73,350</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

Park Restroom - Eagle Park

DEFICIENCY TABLE

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

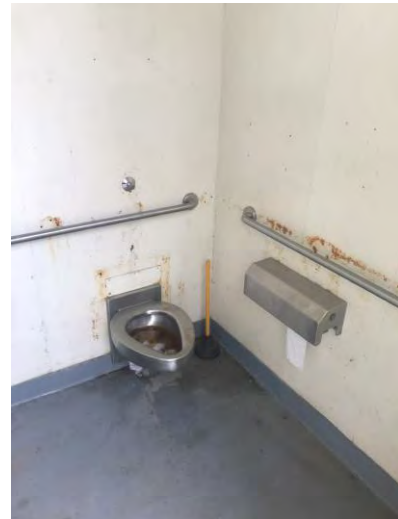
Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1763	-					2				1
248	-		Restroom			600				1
447	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001	Electrical	The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
250	G2020 - PARKING LOTS	G2020.10.002	AC Paving	AC paving shows evidence of potholing.	Replace AC pavement section.	1,500	SF	\$17,880	\$43,840	2
687	B2050 - EXTERIOR DOORS AND GRILLES	B2050.20.003	Exterior	Exterior doors, frames and hardware are approaching the end of their useful life.	Replace the exterior doors, frames and hardware.	1	EA	\$4,800	\$12,300	3
251	B2050 - EXTERIOR DOORS AND GRILLES	B2050.20.003	Exterior	Exterior doors, frames and hardware are approaching the end of their useful life.	Replace the exterior doors, frames and hardware.	1	EA	\$4,800	\$12,300	3

## City of Rohnert Park Facility Condition Assessment

### Park Restroom - Eagle Park

Record ID: 248  
 System: -  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.:  
 Floor/Room: 1 / Restroom  
**Priority:** 1  
 Quantity/Unit of Measure: 600/  
 Total Deficiency Cost:  
 Deficiency Description:



Description of Work:

Comments: *Painted 2018, CIP Project No. 2016-10*

Record ID: 250  
 System: G2020 - PARKING LOTS  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: G2020.10.002  
 Floor/Room: Site / AC Paving  
**Priority:** 2  
 Quantity/Unit of Measure: 1,500/SF  
 Total Deficiency Cost: \$43,840  
 Deficiency Description: *AC paving shows evidence of potholing.*



Description of Work: *Replace AC pavement section.*

Comments:

Record ID: 251  
 System: B2050 - EXTERIOR DOORS AND GRILLES  
 Year Installed / Industry Life / Remaining Useful Life: - / 15 / -  
 Item No.: B2050.20.003  
 Floor/Room: 1 / Exterior  
**Priority:** 3  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$12,300  
 Deficiency Description: *Exterior doors, frames and hardware are approaching the end of their useful life.*



Description of Work: *Replace the exterior doors, frames and hardware.*

Comments:

## City of Rohnert Park Facility Condition Assessment

### Park Restroom - Eagle Park

Record ID: 447  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1975 / 30 / -17  
 Item No.: D5020.30.4001  
 Floor/Room: 1 / Electrical  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$4,910  
 Deficiency Description: *The load center is past its expected useful life.*



Description of Work: *Replace the existing load center with a new load center.*

Comments:

Record ID: 687  
 System: B2050 - EXTERIOR DOORS AND GRILLES  
 Year Installed / Industry Life / Remaining Useful Life: - / 15 / -  
 Item No.: B2050.20.003  
 Floor/Room: 1 / Exterior  
**Priority:** 3  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$12,300  
 Deficiency Description: *Exterior doors, frames and hardware are approaching the end of their useful life.*



Description of Work: *Replace the exterior doors, frames and hardware.*

Comments:

Record ID: 1763  
 System: -  
 Year Installed / Industry Life / Remaining Useful Life: 2010 / - / -  
 Item No.:  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 2/  
 Total Deficiency Cost:  
 Deficiency Description:



Description of Work:

Comments: *Lights replaced 2018, CIP Project No. 2016-10.*

# Park Restroom - Golis Park / Concession Detailed Report

**Address: 1450 Golf Course Drive, Rohnert Park, CA 94928**

## Statistics

Year Built:	1988
Building Additions:	N/A
Building Area:	225 SF

## FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$55,101</b>
FCI:	0.180
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$305,000
Replacement Cost/SF:	\$1,354



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## Assessment Descriptions

### Architectural Elements

The Park Restroom - Golis Park - Concession building is a 225-square-foot, pre-engineered structure that was constructed in 1988. The building consists of restrooms and a concessions room. The interior finish materials consist of epoxy flooring, exposed concrete flooring, painted gypsum board wall and ceiling, and metal interior wall and ceiling panels. The interior finish materials are generally in poor condition, especially in the restrooms where renovations are recommended.

The exterior finish materials consist of plywood siding and asphalt composition shingle roofing, which are in fair condition but will be beyond their useful lives within the next 10 years.

The site surfaces primarily consist of concrete-paved walkways and AC paving in the parking lot. The concrete walkways and AC paving parking lots are generally in fair condition with no major deficiencies.

### Mechanical Systems

No mechanical systems have been identified at the building.

### Electrical Systems

Electrical power is distributed by a load center that appears to be past its expected useful life.

Interior lighting also appears to be past its expected useful life. The building did not appear to be equipped with an exterior lighting system.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, sanitary waste piping and vent piping. The domestic hot water is provided by electric water heater. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

No fire sprinkler systems have been identified on site.



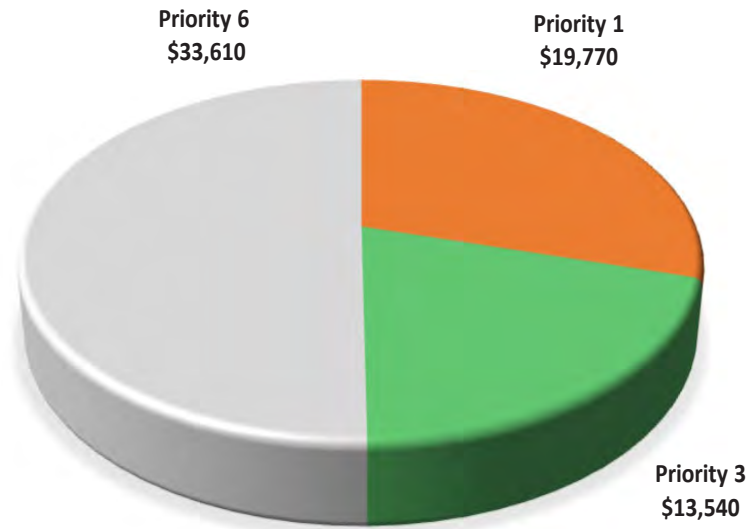
## Conclusion

For the Park Restroom - Golis Park/Concession, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Park Restroom - Golis Park/Concession						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$19,770	\$0	\$13,540	\$0	\$0	\$33,610	\$66,920
29.54%	0.00%	20.23%	0.00%	0.00%	50.22%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Park Restroom - Golis Park -Concession

<b>Capital Renewal Cost:</b>	<b>\$55,010</b>	FCI:	<b>0.180</b>
Replacement Cost:	<b>\$305,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,354</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Unifomat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	<b>\$8,940</b>	-	-	-	-	-	\$11,900
B3010	ROOFING	<b>\$13,390</b>	-	-	-	-	-	\$17,810
C2010	WALL FINISHES	<b>\$4,330</b>	\$1,960	-	\$2,980	-	-	-
C2030	FLOORING	<b>\$8,940</b>	-	-	\$10,560	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	<b>\$2,930</b>	-	-	-	-	-	\$3,900
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	<b>\$4,540</b>	\$4,910	-	-	-	-	-
D5040	LIGHTING	<b>\$11,940</b>	\$12,900	-	-	-	-	-
<b>TOTALS</b>		<b>\$55,010</b>	<b>\$19,770</b>	<b>-</b>	<b>\$13,540</b>	<b>-</b>	<b>-</b>	<b>\$33,610</b>
TOTAL (Priority 1-6 without escalation)		<b>\$55,010</b>	<b>\$66,920</b>					
			TOTAL (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

**Park Restroom - Golis Park -Concession**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
694	C2010 - WALL FINISHES	C2010.20.003	Restroom	Metal interior wall is damaged.	Repair or replace metal interior wall panel.	100	SF	\$830	\$1,960	1
453	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001	1st	The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
1765	D5040 - LIGHTING	D5040.50.411		Interior lighting system is past its expected useful life and signs of smoke..	Provide new interior lighting and control system throughout building per current CEC T24 code.	225	SF	\$5,500	\$12,900	1
1646	C2010 - WALL FINISHES	C2010.30.004	All	Interior wall surfaces are showing signs of wear.	Paint interior wall and ceiling surfaces throughout.	400	SF	\$1,160	\$2,980	3
697	C2030 - FLOORING	C2030.10.002	Restroom	Epoxy is approaching the end of its useful life.	Remove the existing epoxy and replace.	100	SF	\$2,060	\$5,280	3
695	C2030 - FLOORING	C2030.10.002	Restroom	Epoxy is approaching the end of its useful life.	Remove the existing epoxy and replace.	100	SF	\$2,060	\$5,280	3
698	B2010 - EXTERIOR WALLS	B2010.10.001	Exterior	Plywood siding is approaching the end of its useful life.	Remove and replace the existing plywood siding with new plywood siding. Prime and paint.	600	SF	\$4,120	\$11,900	6
700	B3010 - ROOFING	B3010.10.001		Asphalt composition roof is approaching the end of its useful life.	Remove and replace asphalt composition shingle roofing.	300	SF	\$6,170	\$17,810	6
1650	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.015		Small under-counter electric water heater less than 10 Gal is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$1,350	\$3,900	6

**City of Rohnert Park  
Facility Condition Assessment**

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**Park Restroom - Golis Park -Concession**

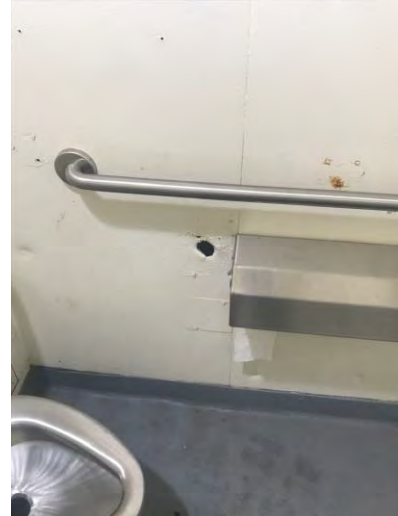
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Record ID: 453  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1988 / 30 / -4  
Item No.: D5020.30.4001  
Floor/Room: 1st  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$4,910  
Deficiency Description: *The load center is past its expected useful life.*  
  
Description of Work: *Replace the existing load center with a new load center.*  
  
Comments:



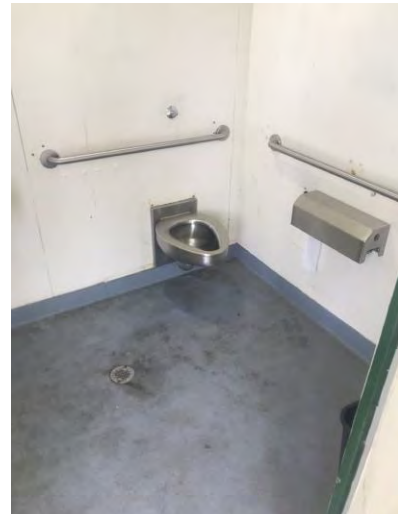
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Record ID: 694  
System: C2010 - WALL FINISHES  
Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
Item No.: C2010.20.003  
Floor/Room: 1 / Restroom  
**Priority:** 1  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$1,960  
Deficiency Description: *Metal interior wall is damaged.*  
  
Description of Work: *Repair or replace metal interior wall panel.*  
  
Comments:



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Record ID: 695  
System: C2030 - FLOORING  
Year Installed / Industry Life / Remaining Useful Life: - / 40 / -  
Item No.: C2030.10.002  
Floor/Room: 1 / Restroom  
**Priority:** 3  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$5,280  
Deficiency Description: *Epoxy is approaching the end of its useful life.*  
  
Description of Work: *Remove the existing epoxy and replace.*  
  
Comments:



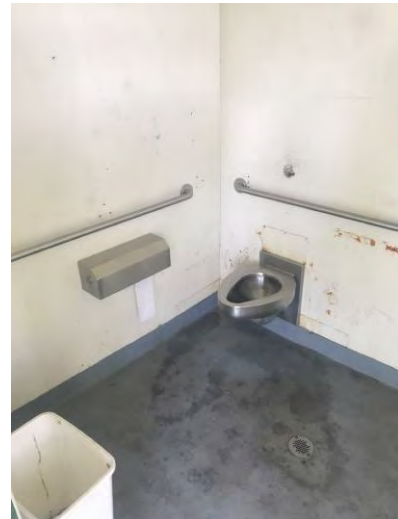
# City of Rohnert Park Facility Condition Assessment

## Park Restroom - Golis Park -Concession

Record ID 697  
System C2030 - FLOORING  
Year Installed / Industry Life / Remaining Useful Life - / 40 / -  
Item No. C2030.10.002  
Floor/Room: 1 / Restroom  
**Priority:** 3  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$5,280  
Deficiency Description: *Epoxy is approaching the end of its useful life.*

Description of Work: *Remove the existing epoxy and replace.*

Comments:



Record ID 698  
System B2010 - EXTERIOR WALLS  
Year Installed / Industry Life / Remaining Useful Life - / 30 / -  
Item No. B2010.10.001  
Floor/Room: 1 / Exterior  
**Priority:** 7  
Quantity/Unit of Measure: 600/SF  
Total Deficiency Cost: \$11,900  
Deficiency Description: *Plywood siding is approaching the end of its useful life.*

Description of Work: *Remove and replace the existing plywood siding with new plywood siding. Prime and paint.*

Comments:



Record ID 700  
System B3010 - ROOFING  
Year Installed / Industry Life / Remaining Useful Life - / 30 / -  
Item No. B3010.10.001  
Floor/Room:  
**Priority:** 7  
Quantity/Unit of Measure: 300/SF  
Total Deficiency Cost: \$17,810  
Deficiency Description: *Asphalt composition roof is approaching the end of its useful life.*

Description of Work: *Remove and replace asphalt composition shingle roofing.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Park Restroom - Golis Park -Concession**

Record ID: 1646  
 System: C2010 - WALL FINISHES  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: C2010.30.004  
 Floor/Room: 1 / All  
**Priority:** 3  
 Quantity/Unit of Measure: 400/SF  
 Total Deficiency Cost: \$2,980  
 Deficiency Description: *Interior wall surfaces are showing signs of wear.*  
 Description of Work: *Paint interior wall and ceiling surfaces throughout.*  
 Comments:



Record ID: 1650  
 System: D2010 - DOMESTIC WATER DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 2014 / 15 / 7  
 Item No.: D2010.20.015  
 Floor/Room:  
**Priority:** 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$3,900  
 Deficiency Description: *Small under-counter electric water heater less than 10 Gal is approaching the end of its expected useful life.*  
 Description of Work: *Provide equipment replacement and installation.*  
 Comments:



Record ID: 1765  
 System: D5040 - LIGHTING  
 Year Installed / Industry Life / Remaining Useful Life: 1988 / 20 / -14  
 Item No.: D5040.50.411  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 225/SF  
 Total Deficiency Cost: \$12,900  
 Deficiency Description: *Interior lighting system is past its expected useful life and signs of smoke..*  
 Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*  
 Comments:



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# Park Restroom - Magnolia Park Detailed Report

**Address: 1401 Middlebrook Way, Rohnert Park, CA 94928**

## Statistics

Year Built:	2001
Building Additions:	N/A
Building Area:	2,001 SF

## FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$70,020</b>
FCI:	0.026
Condition Score:	A
Condition Rating:	Good
Replacement Cost:	\$2,711,000
Replacement Cost/SF:	\$1,354



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## Assessment Descriptions

### Architectural Elements

The Park Restroom - Magnolia Park (Concession) building is a 600-square-foot, pre-engineered structure that was constructed in 2001. The building consists of a concessions room, two storage rooms, and two restrooms. The interior finish materials consist of epoxy flooring, exposed concrete flooring, and metal interior wall and ceiling panels. The interior finish materials are generally in poor condition, especially in the restrooms where renovations are recommended.

The exterior finish materials consist of plywood siding and wood shingle roofing. The plywood siding is generally in fair condition but will be beyond its useful life within the next 10 years. The roof appears to be in fair condition and is within its expected useful life. Overall, the exterior finish materials are in fair condition.

The site surfaces primarily consist of concrete-paved walkways, which are generally in fair condition with no major deficiencies.

### Mechanical Systems

No mechanical systems have been identified at the building.

### Electrical Systems

Electrical power is distributed by a load center that appears to be within its expected useful life.

Interior and exterior lighting appears to be past its expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, sanitary waste piping and vent piping. The domestic hot water is provided by electric water heater. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

No fire sprinkler systems have been identified on site.

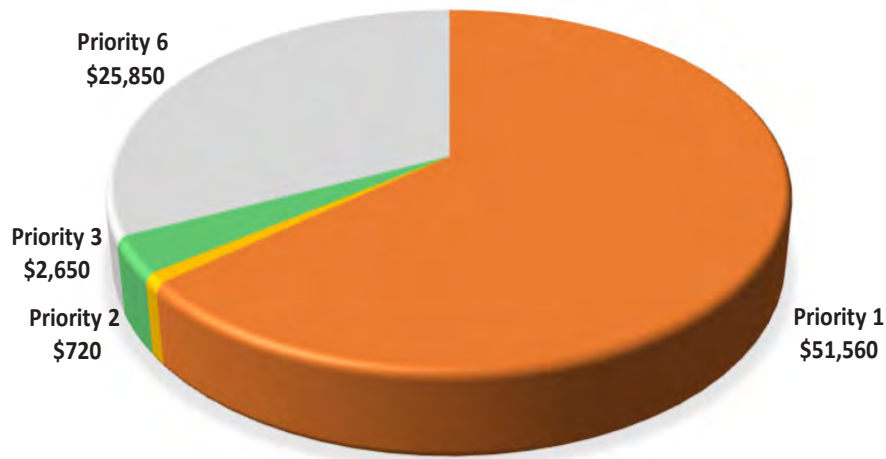
## Conclusion

For the Park Restroom - Magnolia Park, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Park Restroom - Magnolia Park						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$51,560	\$720	\$2,650	\$0	\$0	\$25,850	\$80,780
63.83%	0.89%	3.28%	0.00%	0.00%	32.00%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Park Restroom - Magnolia Park (Concession)

<b>Capital Renewal Cost:</b>	<b>\$70,020</b>	FCI:	<b>0.026</b>
Replacement Cost:	<b>\$2,711,000</b>	Condition Score:	<b>A</b>
Replacement Cost/SF:	<b>\$1,354</b>	Condition Rating:	<b>GOOD</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Unifomat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$14,890	-	-	-	-	-	\$19,810
B2050	EXTERIOR DOORS AND GRILLES	\$2,240	-	-	\$2,650	-	-	-
C2010	WALL FINISHES	\$630	-	\$720	-	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$2,930	\$3,170	-	-	-	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$4,540	-	-	-	-	-	\$6,040
D5040	LIGHTING	\$44,440	\$48,010	-	-	-	-	-
G2060	SITE DEVELOPMENT	\$350	\$380	-	-	-	-	-
<b>TOTALS</b>		<b>\$70,020</b>	<b>\$51,560</b>	<b>\$720</b>	<b>\$2,650</b>	<b>-</b>	<b>-</b>	<b>\$25,850</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$70,020</b>	<b>\$80,780</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

**Park Restroom - Magnolia Park (Concession)**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
435	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.015		Small under-counter electric water heater less than 10 Gal is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$1,350	\$3,170	1
1766	D5040 - LIGHTING	D5040.50.302	1st	The exterior light fixture is past its expected useful life.	Replace the existing light fixture with an LED lighting fixture.	6	EA	\$5,820	\$13,650	1
1163	D5040 - LIGHTING	D5040.50.411		Interior lighting system is past its expected useful life but in operational.	Provide new interior lighting and control system throughout building per current CEC T24 code.	600	SF	\$14,660	\$34,360	1
223	G2060 - SITE DEVELOPMENT	G2060.20.001	Exterior	Chain link steel mesh is damaged or missing.	Replace chain link section.	20	SF	\$160	\$380	1
1162	C2010 - WALL FINISHES	C2010.30.004	Concession	Interior surfaces are showing signs of wear.	Paint interior surfaces.	100	SF	\$290	\$720	2
220	B2050 - EXTERIOR DOORS AND GRILLES	B2050.90.003	Restroom	Exterior doors and frames are showing signs of wear.	Refinish metal doors and frames.	5	LS	\$1,030	\$2,650	3
217	B2010 - EXTERIOR WALLS	B2010.10.001	Exterior	Plywood siding is approaching the end of its useful life.	Remove and replace the existing plywood siding with new plywood siding. Prime and paint.	1,000	SF	\$6,860	\$19,810	6
433	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001	1st	The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$6,040	6

**City of Rohnert Park  
Facility Condition Assessment**

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**Park Restroom - Magnolia Park (Concession)**

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Record ID 217  
System B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. B2010.10.001

Floor/Room: 1 / Exterior

Priority: 7

Quantity/Unit of Measure: 1,000/SF

Total Deficiency Cost: \$19,810

Deficiency Description: *Plywood siding is approaching the end of its useful life.*

Description of Work: *Remove and replace the existing plywood siding with new plywood siding. Prime and paint.*

Comments:



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Record ID 220  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. B2050.90.003

Floor/Room: 1 / Restroom

Priority: 3

Quantity/Unit of Measure: 5/LS

Total Deficiency Cost: \$2,650

Deficiency Description: *Exterior doors and frames are showing signs of wear.*

Description of Work: *Refinish metal doors and frames.*

Comments:



---

Record ID 223  
System G2060 - SITE DEVELOPMENT

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. G2060.20.001

Floor/Room: 1 / Exterior

Priority: 1

Quantity/Unit of Measure: 20/SF

Total Deficiency Cost: \$380

Deficiency Description: *Chain link steel mesh is damaged or missing.*

Description of Work: *Replace chain link section.*

Comments:



## City of Rohnert Park Facility Condition Assessment

### Park Restroom - Magnolia Park (Concession)

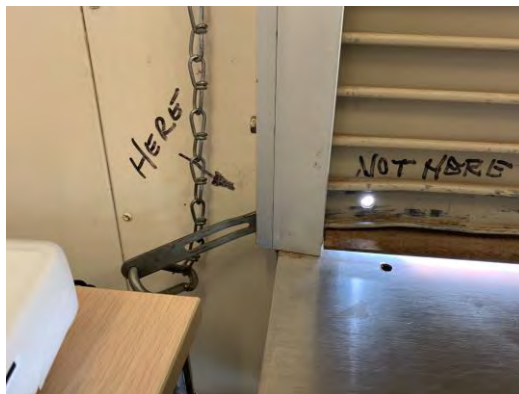
Record ID: 433  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 2001 / 30 / 9  
 Item No.: D5020.30.4001  
 Floor/Room: 1st  
**Priority:** 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$6,040  
 Deficiency Description: *The 100A (18 ckts, 20A plug-in breakers, 1P) load center is approaching the end of its expected useful life.*  
 Description of Work: *Replace the existing load center with a new load center.*  
 Comments:



Record ID: 435  
 System: D2010 - DOMESTIC WATER DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 2001 / 15 / -6  
 Item No.: D2010.20.015  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$3,170  
 Deficiency Description: *Small under-counter electric water heater less than 10 Gal is approaching the end of its expected useful life.*  
 Description of Work: *Provide equipment replacement and installation.*  
 Comments:



Record ID: 1162  
 System: C2010 - WALL FINISHES  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: C2010.30.004  
 Floor/Room: 1 / Concession  
**Priority:** 2  
 Quantity/Unit of Measure: 100/SF  
 Total Deficiency Cost: \$720  
 Deficiency Description: *Interior surfaces are showing signs of wear.*  
 Description of Work: *Paint interior surfaces.*  
 Comments:





**City of Rohnert Park  
Facility Condition Assessment**

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**Park Restroom - Magnolia Park (Concession)**

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Record ID 1163  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life 2001 / 20 / -1  
Item No. D5040.50.411  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 600/SF  
Total Deficiency Cost: \$34,360  
Deficiency Description: *Interior lighting system is past its expected useful life but in operational.*

Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments:



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Record ID 1766  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life 2001 / 20 / -1  
Item No. D5040.50.302  
Floor/Room: 1st  
**Priority:** 1  
Quantity/Unit of Measure: 6/EA  
Total Deficiency Cost: \$13,650  
Deficiency Description: *The exterior light fixture is past its expected useful life.*

Description of Work: *Replace the existing light fixture with an LED lighting fixture.*

Comments:



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# Park Restroom - Sunrise Park Detailed Report

**Address: 5201 Snyder Lane, Rohnert Park, CA 94928**

## Statistics

Year Built:	1980
Building Additions:	N/A
Building Area:	265 SF

## FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$53,740</b>
FCI:	0.150
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$359,000
Replacement Cost/SF:	\$1,354



---

## Assessment Descriptions

### Architectural Elements

Built in 1980, the 265 SF pre-engineered Park Restroom – Sunrise Park building includes interior spaces that consist of two restrooms, storage rooms, and electrical rooms. Interior finish materials consist of epoxy flooring, exposed concrete flooring, and metal interior wall and ceiling panels. Overall, the interior finish materials are in poor condition, particularly in the restrooms where renovations are recommended.

The exterior finish materials consist of plywood paneling, metal doors, and wood shingle roofing. The plywood paneling and metal doors show signs of minor wear and should be considered for refinishing or replacement within the next 10 years. The roof appears to be in fair condition and is within its expected useful life. Overall, the exterior finish materials are in fair condition.

The site surfaces primarily consist of concrete-paved walkways and an AC-paved parking lot. The paved surfaces are generally in fair to good condition.

### Mechanical Systems

No mechanical systems have been identified at the building.

### Electrical Systems

Electrical power is distributed by a load center. The electrical equipment appears to be past its expected useful life. Lighting systems are fluorescent type and past their expected useful life but operational.

### Plumbing Elements

The plumbing systems consist of domestic cold-water piping, sanitary waste piping and vent piping. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

No fire sprinkler systems have been identified on site.

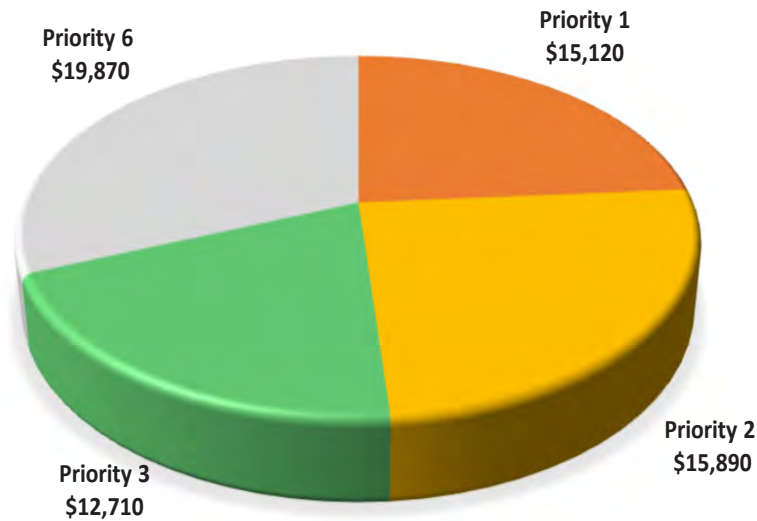
## Conclusion

For the Park Restroom - Sunrise Park, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Park Restroom - Sunrise Park						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$15,120	\$15,890	\$12,710	\$0	\$0	\$19,870	\$63,590
23.78%	24.99%	19.99%	0.00%	0.00%	31.25%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Park Restroom - Sunrise Park

<b>Capital Renewal Cost:</b>	<b>\$53,740</b>	FCI:	<b>0.150</b>
Replacement Cost:	<b>\$359,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,354</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Unifomat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$11,890	-	-	-	-	-	\$15,820
B2050	EXTERIOR DOORS AND GRILLES	\$2,700	-	-	\$3,190	-	-	-
B3010	ROOFING	\$5,020	-	-	\$5,930	-	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$13,530	\$14,620	-	-	-	-	-
D5030	GENERAL PURPOSE ELECTRICAL POWER	\$350	\$380	-	-	-	-	-
D5040	LIGHTING	\$14,170	\$120	\$15,890	-	-	-	-
G2080	LANDSCAPING	\$6,080	-	-	\$3,590	-	-	\$4,050
<b>TOTALS</b>		<b>\$53,740</b>	<b>\$15,120</b>	<b>\$15,890</b>	<b>\$12,710</b>	<b>-</b>	<b>-</b>	<b>\$19,870</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$53,740</b>	<b>\$63,590</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

**Park Restroom - Sunrise Park**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
436	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.214		The 15kVA transformer is past its expected useful life.	Replace the existing transformer with a new transformer.	1	EA	\$4,140	\$9,710	1
438	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001	1st	The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
230	D5030 - GENERAL PURPOSE ELECTRICAL POWER	D5030.50.047	Exterior	The wiring device (outlet box, junction box, receptacle, etc.) needs to be replaced.	Supply and install a new junction box and cover.	1	EA	\$160	\$380	1
235	D5040 - LIGHTING	D5040.50.403		An electrical cover is missing and should be replaced.	Replace the missing outlet cover.	1	EA	\$50	\$120	1
226	D5040 - LIGHTING	D5040.50.411	Exterior	Interior lighting system is past its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	265	SF	\$6,480	\$15,890	2
232	B2050 - EXTERIOR DOORS AND GRILLES	B2050.90.003	Exterior	Metal door is in poor condition with significant visual wear.	Refinish metal door.	6	LS	\$1,240	\$3,190	3
240	B3010 - ROOFING	B3010.90.009	Exterior	Wood fascia is showing signs of wear.	Clean, repair, and paint the trim and/or fascia.	60	LF	\$2,310	\$5,930	3
437	G2080 - LANDSCAPING	G2080.10.027		Irrigation Controller is approaching the end of its expected useful life.	Replace existing irrigation controller.	1	EA	\$1,400	\$3,590	3
227	B2010 - EXTERIOR WALLS	B2010.10.001	Exterior	Exterior plywood panels are showing signs of wear.	Remove and replace exterior plywood panels.	800	SF	\$5,480	\$15,820	6
439	G2080 - LANDSCAPING	G2080.10.027		Irrigation Controller is approaching the end of its expected useful life.	Replace existing irrigation controller.	1	EA	\$1,400	\$4,050	6



**City of Rohnert Park  
Facility Condition Assessment**

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**Park Restroom - Sunrise Park**

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Record ID 226  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life 1980 / 20 / -22

Item No. D5040.50.411

Floor/Room: 1 / Exterior

**Priority:** 2

Quantity/Unit of Measure: 265/SF

Total Deficiency Cost: \$15,890

Deficiency Description: *Interior lighting system is past its expected useful life.*

Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments: *Fixture is rusted and the diffuser is discolored.*



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Record ID 227  
System B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. B2010.10.001

Floor/Room: 1 / Exterior

**Priority:** 7

Quantity/Unit of Measure: 800/SF

Total Deficiency Cost: \$15,820

Deficiency Description: *Exterior plywood panels are showing signs of wear.*

Description of Work: *Remove and replace exterior plywood panels.*

Comments:



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Record ID 230  
System D5030 - GENERAL PURPOSE ELECTRICAL POWER

Year Installed / Industry Life / Remaining Useful Life 1980 / - / -

Item No. D5030.50.047

Floor/Room: 1 / Exterior

**Priority:** 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$380

Deficiency Description: *The wiring device (outlet box, junction box, receptacle, etc.) needs to be replaced.*

Description of Work: *Supply and install a new junction box and cover.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Park Restroom - Sunrise Park**

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Record ID 232  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. B2050.90.003

Floor/Room: 1 / Exterior

Priority: 3

Quantity/Unit of Measure: 6/LS

Total Deficiency Cost: \$3,190

Deficiency Description: *Metal door is in poor condition with significant visual wear.*

Description of Work: *Refinish metal door.*

Comments:



Record ID 235  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D5040.50.403

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$120

Deficiency Description: *An electrical cover is missing and should be replaced.*

Description of Work: *Replace the missing outlet cover.*

Comments:



Record ID 240  
System B3010 - ROOFING

Year Installed / Industry Life / Remaining Useful Life - / 40 / -

Item No. B3010.90.009

Floor/Room: 1 / Exterior

Priority: 3

Quantity/Unit of Measure: 60/LF

Total Deficiency Cost: \$5,930

Deficiency Description: *Wood fascia is showing signs of wear.*

Description of Work: *Clean, repair, and paint the trim and/or fascia.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Park Restroom - Sunrise Park**

Record ID: 436  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1980 / 30 / -12  
 Item No.: D5020.10.214  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$9,710  
 Deficiency Description: *The 15kVA transformer is past its expected useful life.*

Description of Work: *Replace the existing transformer with a new transformer.*

Comments:



Record ID: 437  
 System: G2080 - LANDSCAPING  
 Year Installed / Industry Life / Remaining Useful Life: - / 15 / -  
 Item No.: G2080.10.027  
 Floor/Room:  
**Priority:** 3  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$3,590  
 Deficiency Description: *Irrigation Controller is approaching the end of its expected useful life.*

Description of Work: *Replace existing irrigation controller.*

Comments:



Record ID: 438  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1980 / 30 / -12  
 Item No.: D5020.30.4001  
 Floor/Room: 1st  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$4,910  
 Deficiency Description: *The load center is past its expected useful life.*

Description of Work: *Replace the existing load center with a new load center.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Park Restroom - Sunrise Park

Record ID 439  
System G2080 - LANDSCAPING

Year Installed / Industry Life / Remaining Useful Life - / 15 / -  
Item No. G2080.10.027  
Floor/Room:  
**Priority:** 7  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$4,050  
Deficiency Description: *Irrigation Controller is approaching the end of its expected useful life.*

Description of Work: *Replace existing irrigation controller.*

Comments:



# Park Restroom - Twin Creeks Park Detailed Report

**Address: 5530 Kerry Road, Rohnert Park, CA 94928**

## Statistics

Year Built:	2017
Building Additions:	N/A
Building Area:	300 SF

## FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$23,340</b>
FCI:	0.057
Condition Score:	B
Condition Rating:	Fair
Replacement Cost:	\$407,000
Replacement Cost/SF:	\$1,354



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## Assessment Descriptions

### Architectural Elements

Built in 2017, the Park Restroom – Twin Creeks Park building is a 300 SF, concrete masonry unit structure with interior spaces consisting of restrooms, concessions room, and mechanical/electrical room. Interior finish materials consist of epoxy flooring, painted concrete masonry blocks, and exposed wood ceiling system. Overall, the interior finish materials are in good condition with no visible deficiencies.

The exterior finish materials consist of concrete masonry block, wood fascia and soffits, and standing seam metal roofing. Overall, the exterior finish materials are in good condition with exception to the wood fascia which is recommended for refinishing.

The site surfaces primarily consist of concrete-paved walkways and an AC-paved parking lot. The paved surfaces are generally in fair to good condition.

### Mechanical Systems

The mechanical systems consist of rooftop ventilator which serve the concession space. The conditioned air is distributed to the spaces via concealed hard duct and diffusers. Overall, the mechanical systems appear to be in operable condition.

### Electrical Systems

Electrical power is distributed by a metered all-in-one combination service entrance and load center. The electrical equipment is within its expected useful life.

Interior and exterior lighting is also within its expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, sanitary waste piping and vent piping. The domestic hot water is provided by electric water heater. The restroom spaces are reported to be under-utilized as the second restroom is used primarily as storage due to janitorial maintenance issues.

### Fire Protection

No fire sprinkler systems have been identified on site.

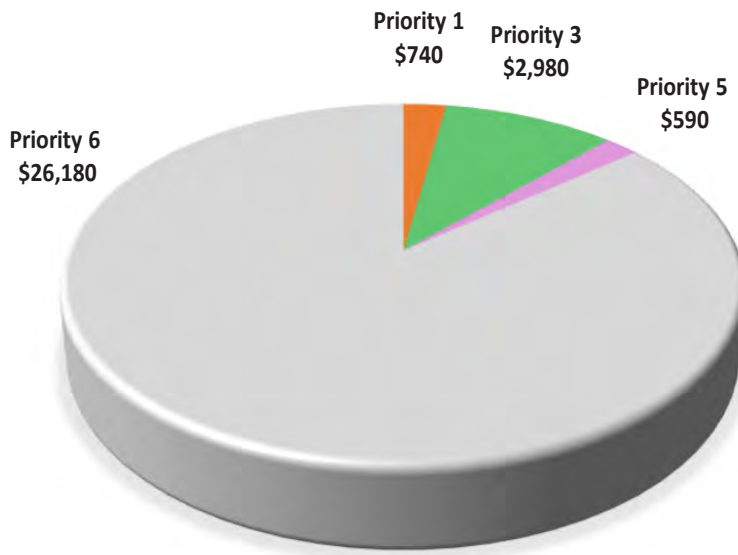
## Conclusion

For the Park Restroom - Twin Creeks Park, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Park Restroom - Twin Creeks Park						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$740	\$0	\$2,980	\$0	\$590	\$26,180	\$30,490
2.43%	0.00%	9.77%	0.00%	1.94%	85.86%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Park Restroom - Twin Creeks

<b>Capital Renewal Cost:</b>	<b>\$23,340</b>	FCI:	<b>0.057</b>
Replacement Cost:	<b>\$407,000</b>	Condition Score:	<b>B</b>
Replacement Cost/SF:	<b>\$1,354</b>	Condition Rating:	<b>FAIR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Unifomat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2050	EXTERIOR DOORS AND GRILLES	\$460	-	-	-	-	\$590	-
B3010	ROOFING	\$2,520	-	-	\$2,980	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$9,200	-	-	-	-	-	\$12,240
D3060	VENTILATION	\$10,480	-	-	-	-	-	\$13,940
D5040	LIGHTING	\$680	\$740	-	-	-	-	-
<b>TOTALS</b>		<b>\$23,340</b>	<b>\$740</b>	<b>-</b>	<b>\$2,980</b>	<b>-</b>	<b>\$590</b>	<b>\$26,180</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$23,340</b>	<b>\$30,490</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

**Park Restroom - Twin Creeks**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
244	D5040 - LIGHTING	D5040.50.001	1	2'W x 4'L three ceiling mount interior light fixture is damaged and should be replaced.	Replace the existing interior light fixture with a new interior light fixture.	1	EA	\$310	\$740	1
246	B3010 - ROOFING	B3010.90.009	Exterior	Wood fascia is showing signs of wear.	Clean, repair, and paint the trim and/or fascia.	30	LF	\$1,160	\$2,980	3
243	B2050 - EXTERIOR DOORS AND GRILLES	B2050.90.003	Exterior	Metal door is in poor condition with significant visual wear.	Refinish metal door.	1	LS	\$210	\$590	5
443	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.004		Electric water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,240	\$12,240	6
445	D3060 - VENTILATION	D3060.30.030		Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$13,940	6

**City of Rohnert Park  
Facility Condition Assessment**

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**Park Restroom - Twin Creeks**

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Record ID 243  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. B2050.90.003

Floor/Room: 1 / Exterior

Priority: 5

Quantity/Unit of Measure: 1/LS

Total Deficiency Cost: \$590

Deficiency Description: *Metal door is in poor condition with significant visual wear.*

Description of Work: *Refinish metal door.*

Comments:



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Record ID 244  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life 2017 / 20 / 15

Item No. D5040.50.001

Floor/Room: 1

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$740

Deficiency Description: *2'W x 4'L three ceiling mount interior light fixture is damaged and should be replaced.*

Description of Work: *Replace the existing interior light fixture with a new interior light fixture.*

Comments: *Signs of water intrusion.*



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Record ID 246  
System B3010 - ROOFING

Year Installed / Industry Life / Remaining Useful Life - / 40 / -

Item No. B3010.90.009

Floor/Room: 1 / Exterior

Priority: 3

Quantity/Unit of Measure: 30/LF

Total Deficiency Cost: \$2,980

Deficiency Description: *Wood fascia is showing signs of wear.*

Description of Work: *Clean, repair, and paint the trim and/or fascia.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Park Restroom - Twin Creeks**

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Record ID 443  
System D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life 2017 / 15 / 10

Item No. D2010.20.004

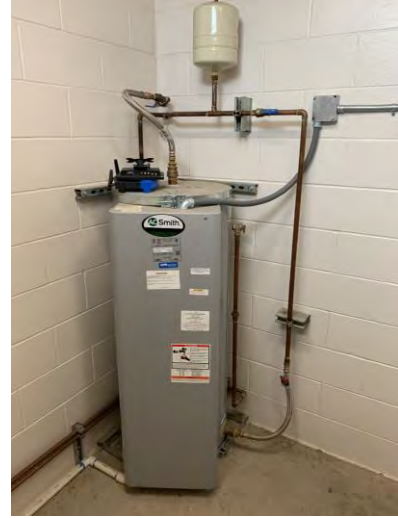
Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$12,240  
Deficiency Description: *Electric water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 445  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D3060.30.030

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$13,940  
Deficiency Description: *Sidewall propeller fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



# Public Safety Main

## Detailed Report

**Address: 500 City Center Drive, Rohnert Park, CA 94928**

### Statistics

Year Built:	1992
Building Additions:	N/A
Building Area:	51,717 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$6,301,440</b>
FCI:	0.114
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$55,222,000
Replacement Cost/SF:	\$1,068



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## Assessment Descriptions

### Architectural Elements

Built in 1992, the Public Safety Main building is three-story, 51,717 SF structure located on City Center Drive, adjacent to the Rohnert Park Police Department and Cotati Regional Library. The interior spaces consist of a main lobby, offices, locker rooms, fitness center, break room, attorney interview rooms, briefing rooms, conference rooms, training rooms, and a 911 dispatch office.

The interior finish materials consist of ceramic tiles, painted gypsum board wall and ceiling, wood wall panels, and plastic laminate casework in the lobby. The offices and corridors throughout the building consist primarily of carpet tile flooring, painted gypsum board wall, and lay-in acoustical ceiling tiles. The carpet tile flooring is generally in fair condition but may require replacement within the locker rooms. The lay-in acoustical ceiling tiles are generally showing signs of wear and are also recommended for replacement. The interior painted gypsum board wall finishes are overall in good condition with no visible signs of deficiencies.

The exterior finish materials consist of External Insulation and Finishing Systems (EIFS) stucco, concrete, glazing, metal louvers, slate tile, and modified-bituminous roofing, which was replaced five years ago. Overall, the exterior finish materials are in fair condition, with exception to the slate tile on the roof patio and areas of the window glazing on the first floor.

The site paved surfaces consist primarily of AC paving parking lots and concrete walkways. The AC paving is generally in poor condition and shows signs of weathering and fatigue cracking throughout the parking lot surfaces. It is recommended the entire AC paving surfaces be replaced within the next five years.

### Mechanical Systems

The mechanical systems consist of hydronic air handlers, chiller system, boiler system, split system units, unit heaters and rooftop ventilators. The conditioned air is distributed to the spaces via concealed hard duct and diffusers. Unfortunately, as the building has received upgrades, most mechanical systems have become abandoned in place making it difficult to understand which equipment is active serving specific regions.

It was reported by facility staff and occupants that there are several key concerns with maintaining this facility. Filters do not fit through the access door making it difficult to regularly replace filters as they need means of craning filters to the roof level to replace the filters. Because of the lack of filter changes, filters have deteriorated within the ductwork causing dark matter to blow through the spaces. Based on this issue, it is recommended to find an easier means of getting a supply of filters to the mechanical room and to conduct a duct cleaning and air balance to verify the air handler system is working as intended.

It was reported that the proportional valves have began failing. It is recommended to replace the proportional valves throughout the facility for proper usage.

During the field inspection, the chiller yard had significant yard debris. It is recommended to keep that space clear to ensure equipment effectiveness and longevity.

Several days after completion of the inspection, facility staff encountered a huge leak from the boiler relief valve in which the drain on the floor was not completely sealed and water tracked to several areas below. It is recommended to verify proper sealing of all drains as this has been reported to be an on-going issue throughout the facility.

---

## Electrical Systems

Electrical power is supplied to an interior 1200A, 480/277V, 3-phase metering switchboard. This sub-feeds step down transformers for the 208/120V panel boards within the building. There is a 250KW, standby diesel generator that provided back-up power to a portion of the electrical system. The electrical equipment is typically original to the early 1990's installation and at or past its expected useful life.

Interior lighting is provided by recessed fluorescent fixtures. These appear original to the building and are past their expected useful life. The housing appear to be in good condition and these can be maintained thru retrofits of lamps and ballasts.

## Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, gas piping, compressed air piping, sanitary waste piping and vent piping. The domestic hot water is provided by both gas-fired and instantaneous water heaters. A fuel station was observed on site. The building is also equipped with a pneumatic tube system that is no longer operational. It was requested by the occupants to get this system operational as it will aid in the overall operation of the facility.

## Fire Protection

The building is equipped with a fire sprinkler system throughout. Portable fire extinguishers were observed at key points in the building.

The building contains an addressable fire alarm panel and initiation and notification devices.

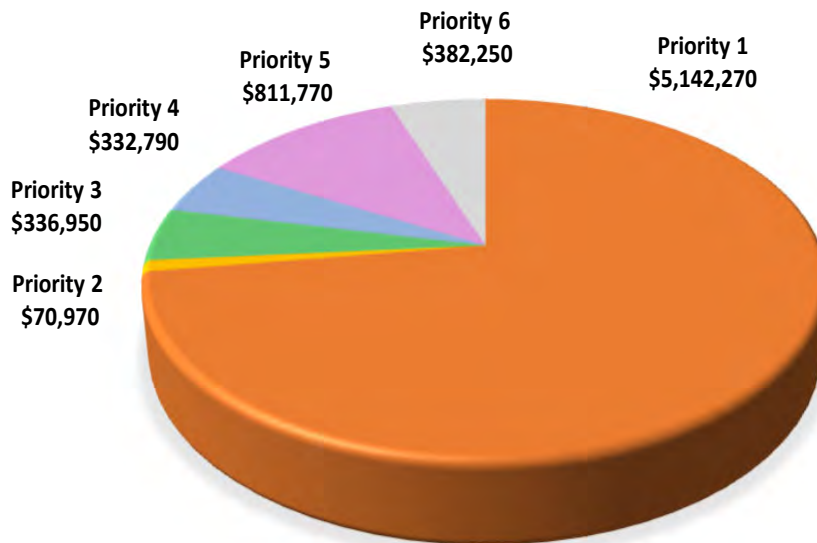
## Conclusion

For the Public Safety Main, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Public Safety Main						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$5,142,270	\$70,970	\$336,950	\$332,790	\$811,770	\$382,250	\$7,077,000
72.66%	1.00%	4.76%	4.70%	11.47%	5.40%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**





**City of Rohnert Park  
Facility Condition Assessment**

**Public Safety Main**

<b>Capital Renewal Cost:</b>	<b>\$6,301,440</b>	FCI:	<b>0.114</b>
Replacement Cost:	<b>\$55,222,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,068</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2020	EXTERIOR WINDOWS	\$15,740	\$660	\$17,110	-	-	-	-
B3010	ROOFING	\$18,170	-	-	\$21,450	-	-	-
C1010	INTERIOR PARTITIONS	\$630	-	-	\$750	-	-	-
C1030	INTERIOR DOORS	\$760	-	-	\$900	-	-	-
C1090	INTERIOR SPECIALTIES	\$920	\$1,000	-	-	-	-	-
C2030	FLOORING	\$58,800	\$500	\$16,830	\$11,250	-	\$19,060	\$25,310
C2050	CEILING FINISHES	\$235,770	\$240	\$3,170	\$274,840	-	-	-
D1050	MATERIAL HANDLING	\$59,450	\$64,210	-	-	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$51,930	-	-	-	\$1,850	\$3,840	\$63,090
D2060	PROCESS SUPPORT PLUMBING SYSTEMS	\$14,890	-	-	-	-	-	\$19,810
D3020	HEATING SYSTEMS	\$126,970	-	-	-	-	\$14,120	\$154,210
D3030	COOLING SYSTEMS	\$71,980	-	-	-	-	\$19,540	\$75,440
D3050	FACILITY HVAC DISTRIBUTION SYSTEMS	\$223,870	\$340	-	-	\$164,560	\$85,620	\$30,450
D3060	VENTILATION	\$151,670	-	-	-	\$166,380	\$7,620	\$13,940
D5010	FACILITY POWER GENERATION	\$468,980	\$506,510	-	-	-	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$376,000	\$406,160	-	-	-	-	-
D5040	LIGHTING	\$2,783,670	\$3,006,380	-	-	-	-	-
D7050	DETECTION AND ALARM	\$1,066,410	\$1,151,730	-	-	-	-	-
E2010	FIXED FURNISHINGS	\$45,440	-	\$33,860	\$18,280	-	-	-

**City of Rohnert Park  
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<b>Capital Renewal Cost:</b>	<b>\$6,301,440</b>	FCI:	<b>0.114</b>
Replacement Cost:	<b>\$55,222,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,068</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
G2020	PARKING LOTS	\$519,140	\$2,140	-	-	-	\$661,970	-
G2060	SITE DEVELOPMENT	\$8,030	-	-	\$9,480	-	-	-
G3010	WATER UTILITIES	\$720	\$780	-	-	-	-	-
Z1090	LIFE CYCLE ACTIVITIES	\$1,500	\$1,620	-	-	-	-	-
<b>TOTALS</b>		<b>\$6,301,440</b>	<b>\$5,142,270</b>	<b>\$70,970</b>	<b>\$336,950</b>	<b>\$332,790</b>	<b>\$811,770</b>	<b>\$382,250</b>
TOTAL (Priority 1-6 without escalation)		<b>\$6,301,440</b>	<b>\$7,077,000</b>					
			TOTAL (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

**Public Safety Main**

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Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1088	B2020 - EXTERIOR WINDOWS	B2020.20.010	Fire Marshal Office	Window is leaking.	Replace window sealant.	25	LF	\$280	\$660	1
1080	C1090 - INTERIOR SPECIALTIES	C1090.20.001	Men's Restroom	Door lacks accessible signage.	Provide accessible signage.	2	LS	\$420	\$1,000	1
1061	C2030 - FLOORING	C2030.90.002	Conference Room	Wood wall base is approaching the end of its useful life.	Replace the wood wall base.	10	LF	\$210	\$500	1
1060	C2050 - CEILING FINISHES	C2050.80.001	Conference Room	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	15	SF	\$100	\$240	1
1182	D1050 - MATERIAL HANDLING	D1050.70.001		Pneumatic tube system is at or approaching end of expected useful service life.	Provide an equivalent equipment replacement and installation.	1	EA	\$27,400	\$64,210	1
1178	D3050 - FACILITY HVAC DISTRIBUTION SYSTEMS	D3050.50.004	3rd Floor Restroom	Diffuser vibration adding significant noise in the space.	Secure rattling diffuser and investigate if motor balance is causing additional issues.	1	EA	\$140	\$340	1
1219	D5010 - FACILITY POWER GENERATION	D5010.10.017		The standby generator is past its expected useful life.	Install a new diesel genset with the appropriate diesel fuel tank.	276	KW	\$195,680	\$458,490	1
1225	D5010 - FACILITY POWER GENERATION	D5010.70.009		The 800A 3-pole automatic transfer switch (ATS) is approaching the end of its expected useful life.	Replace the existing 3-pole ATS with a new 3-pole ATS.	1	EA	\$20,490	\$48,020	1
1223	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.207		The 50kVA transformer is past its expected useful life.	Replace the existing transformer with a new transformer.	1	EA	\$8,630	\$20,230	1
1224	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.219		The 150kVA is past its expected useful life.	Replace the existing transformer with a new transformer.	1	EA	\$11,030	\$25,850	1
1221	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.313		The 1200A metered main switchboard is past its expected useful life.	Replace the existing metered main switchboard with a new metered main switchboard.	1	EA	\$18,120	\$42,470	1
1226	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.0003		The 600A, (main lugs only), switchboard is approaching the end of its expected useful life.	Replace the existing switchboard with a new switchboard.	1	EA	\$18,400	\$43,120	1
1174	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1001		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$3,510	\$8,230	1
1211	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1004		The 100A panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$3,670	\$8,610	1

**City of Rohnert Park  
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1212	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1004		The 100A panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$3,670	\$8,610	1
1176	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1007		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$4,890	\$11,460	1
1181	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1007		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$4,890	\$11,460	1
1205	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1007		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$4,890	\$11,460	1
1209	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1007		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$4,890	\$11,460	1
1170	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
1208	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
1206	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
1105	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
1065	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008	3rd Floor	The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
1204	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1010		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$13,510	\$31,660	1
1180	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1012		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$11,190	\$26,230	1
1210	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1012		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$11,190	\$26,230	1
1179	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1012		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$11,190	\$26,230	1
1768	D5040 - LIGHTING	D5040.50.302	Site	The exterior light fixture is past its expected useful life.	Replace the existing light fixture with an LED lighting fixture.	20	EA	\$19,380	\$45,420	1
1100	D5040 - LIGHTING	D5040.50.402		The lighting is being controlled via a broken sensor.	Provide a new sensor for the existing lights.	1	EA	\$790	\$1,860	1

**City of Rohnert Park  
Facility Condition Assessment**

**Public Safety Main**

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1767	D5040 - LIGHTING	D5040.50.411		Interior lighting system is past its expected useful life but in working condition.	Provide new interior lighting and control system throughout building per current CEC T24 code.	51,717	SF	\$1,262,950	\$2,959,100	1
1213	D7050 - DETECTION AND ALARM	D7050.10.025		The existing fire alarm system is past its expected useful life.	Replace the existing fire alarm system with a complete, site-wide, fully addressable fire alarm system.	52,000	SF	\$491,560	\$1,151,730	1
1139	G2020 - PARKING LOTS	G2020.40.005	Parking Lot	Parking stall striping is worn.	Restripe parking stall striping.	1,000	LF	\$910	\$2,140	1
1137	G3010 - WATER UTILITIES	G3010.50.001	Exterior	Water valve lid is approaching the end of its useful service life.	Replace water valve box lid.	1	EA	\$330	\$780	1
1202	Z1090 - LIFE CYCLE ACTIVITIES	Z1090.10.002		Further investigation required to determine source of shower issues with smell.	Provide additional investigation to remedy shower smell issues in building.	1	EA	\$690	\$1,620	1
1134	B2020 - EXTERIOR WINDOWS	B2020.20.005	Exterior	Glazing is damaged.	Re-glaze single glazing window.	100	SF	\$6,860	\$16,830	2
1058	B2020 - EXTERIOR WINDOWS	B2020.20.010	Conference Room	Window sealant is approaching the end of its useful life and cracking.	Replace window sealant.	10	LF	\$110	\$280	2
1106	C2030 - FLOORING	C2030.10.001	Garage	Concrete floor is approaching the end of its useful life.	Repair and refinish the concrete floor.	1,000	SF	\$6,860	\$16,830	2
1121	C2050 - CEILING FINISHES	C2050.80.001	Report Writing	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	200	SF	\$1,290	\$3,170	2
1797	E2010 - FIXED FURNISHINGS	E2010.30.009	Report Writing	Plastic laminate casework is at or will be approaching the end of its expected useful life.	Provide new plastic laminate casework (upper, lower, and countertop)	15	LF	\$13,810	\$33,860	2
1087	B3010 - ROOFING	B3010.10.005	Exterior	Slate tile flooring is showing signs of wear.	Replace slate tile flooring.	200	SF	\$4,940	\$12,650	3
1098	B3010 - ROOFING	B3010.90.007	1st Floor Roof	The roof is covered with debris which will shorten its useful life.	Clean off debris regularly.	100	SF	\$3,430	\$8,800	3
1795	C1010 - INTERIOR PARTITIONS	C1010.10.001	Detention Area	Painted gypsum wallboard is in poor condition with several cracks.	Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.	100	SF	\$290	\$750	3
1108	C1030 - INTERIOR DOORS	C1030.90.003	Detention Area	Metal door is showing signs of wear.	Repair and refinish the metal door.	1	EA	\$350	\$900	3

**City of Rohnert Park  
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Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1114	C2030 - FLOORING	C2030.75.001	Women's Locker Room	Carpet flooring is showing signs of wear.	Replace carpet flooring.	400	SF	\$4,390	\$11,250	3
1102	C2050 - CEILING FINISHES	C2050.80.001	Supply Room	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	200	SF	\$1,290	\$3,310	3
1096	C2050 - CEILING FINISHES	C2050.80.001	Sergeant	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	400	SF	\$2,570	\$6,590	3
1104	C2050 - CEILING FINISHES	C2050.80.001	Traffic Unit	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	1,000	SF	\$6,410	\$16,420	3
1093	C2050 - CEILING FINISHES	C2050.80.001	Cops Unit	Lay-in Acoustical Tile is in poor condition and leaking.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	1,000	SF	\$6,410	\$16,420	3
1109	C2050 - CEILING FINISHES	C2050.80.001	Fitness Center	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	400	SF	\$2,570	\$6,590	3
1111	C2050 - CEILING FINISHES	C2050.80.001	Sergeant's Office	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	400	SF	\$2,570	\$6,590	3
1113	C2050 - CEILING FINISHES	C2050.80.001	Sergeant's Office	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	400	SF	\$2,570	\$6,590	3
1103	C2050 - CEILING FINISHES	C2050.80.001	Traffic Sergeant & Lieutenant	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	200	SF	\$1,290	\$3,310	3
1082	C2050 - CEILING FINISHES	C2050.80.001	Chief Office	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	1,000	SF	\$6,410	\$16,420	3
1069	C2050 - CEILING FINISHES	C2050.80.001	IS Operations Manager	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	100	SF	\$650	\$1,680	3
1070	C2050 - CEILING FINISHES	C2050.80.001	IS Technician	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	1,000	SF	\$6,410	\$16,420	3
1071	C2050 - CEILING FINISHES	C2050.80.001	IS Analyst	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	1,000	SF	\$6,410	\$16,420	3

**City of Rohnert Park  
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1072	C2050 - CEILING FINISHES	C2050.80.001	IS Technician	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	400	SF	\$2,570	\$6,590	3
1074	C2050 - CEILING FINISHES	C2050.80.001	Comm Supervisor	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	100	SF	\$650	\$1,680	3
1075	C2050 - CEILING FINISHES	C2050.80.001	Comm Supervisor Office	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	1,000	SF	\$6,410	\$16,420	3
1095	C2050 - CEILING FINISHES	C2050.80.001	Interview Room	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	400	SF	\$2,570	\$6,590	3
1081	C2050 - CEILING FINISHES	C2050.80.001	Conference Room	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	1,000	SF	\$6,410	\$16,420	3
1115	C2050 - CEILING FINISHES	C2050.80.001	Lieutenant Office	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	200	SF	\$1,290	\$3,310	3
1083	C2050 - CEILING FINISHES	C2050.80.001	Deputy Chief Office #1	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	800	SF	\$5,130	\$13,140	3
1085	C2050 - CEILING FINISHES	C2050.80.001	Lieutenant	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	100	SF	\$650	\$1,680	3
1090	C2050 - CEILING FINISHES	C2050.80.001	Interview Room	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	200	SF	\$1,290	\$3,310	3
1091	C2050 - CEILING FINISHES	C2050.80.001	Investigations	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	1,000	SF	\$6,410	\$16,420	3
1092	C2050 - CEILING FINISHES	C2050.80.001	Sergeant Office	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	200	SF	\$1,290	\$3,310	3
1094	C2050 - CEILING FINISHES	C2050.80.001	Break Area	Lay-in Acoustical Tile is in poor condition and leaking.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	200	SF	\$1,290	\$3,310	3
1077	C2050 - CEILING FINISHES	C2050.80.001	Lobby/Halls	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	600	SF	\$3,850	\$9,870	3

**City of Rohnert Park  
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1112	C2050 - CEILING FINISHES	C2050.80.001	Equipment	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	100	SF	\$650	\$1,680	3
1118	C2050 - CEILING FINISHES	C2050.80.001	Briefing Room	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	800	SF	\$5,130	\$13,140	3
1116	C2050 - CEILING FINISHES	C2050.80.001	Lieutenant Office	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	200	SF	\$1,290	\$3,310	3
1119	C2050 - CEILING FINISHES	C2050.80.001	Kitchen	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	400	SF	\$2,570	\$6,590	3
1120	C2050 - CEILING FINISHES	C2050.80.001	Interview Room	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	200	SF	\$1,290	\$3,310	3
1123	C2050 - CEILING FINISHES	C2050.80.001	Armory	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	200	SF	\$1,290	\$3,310	3
1124	C2050 - CEILING FINISHES	C2050.80.001	Records	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	1,000	SF	\$6,410	\$16,420	3
1125	C2050 - CEILING FINISHES	C2050.80.001	Records Supervisor	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	100	SF	\$650	\$1,680	3
1127	C2050 - CEILING FINISHES	C2050.80.001	Property/Evidence	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	400	SF	\$2,570	\$6,590	3
1099	E2010 - FIXED FURNISHINGS	E2010.30.006	Lieutenant	Casework laminate panel is in poor condition and peeling away.	Repair plastic laminate finish.	10	LF	\$550	\$1,420	3
1796	E2010 - FIXED FURNISHINGS	E2010.30.008	Sergeant's Office	Plastic laminate base cabinet (with countertop) is in poor condition.	Remove and replace with new plastic laminate base cabinet and countertop.	12	LF	\$6,580	\$16,860	3
1129	G2060 - SITE DEVELOPMENT	G2060.20.020	Fencing	Chain link fencing is showing signs of wear.	Replace entire fence, including mesh, posts, and concrete bases.	300	LF	\$3,700	\$9,480	3
1203	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.006		Instantaneous water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$690	\$1,850	4



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**Public Safety Main**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1168	D3050 - FACILITY HVAC DISTRIBUTION SYSTEMS	D3050.50.006		Air handler is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$30,830	\$82,280	4
1192	D3050 - FACILITY HVAC DISTRIBUTION SYSTEMS	D3050.50.006		Air handler is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$30,830	\$82,280	4
1187	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$8,070	4
1183	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	2	EA	\$6,030	\$16,110	4
1227	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$8,070	4
1185	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$8,070	4
1229	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$8,070	4
1228	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$8,070	4
1186	D3060 - VENTILATION	D3060.30.007		Ventilator is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$2,740	\$7,320	4
1167	D3060 - VENTILATION	D3060.30.009		In-Line building exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$12,810	\$34,200	4
1166	D3060 - VENTILATION	D3060.30.009		In-Line building exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$12,810	\$34,200	4
1195	D3060 - VENTILATION	D3060.30.009		In-Line building exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$12,810	\$34,200	4
1110	C2030 - FLOORING	C2030.10.001	Break Room	Sealed concrete floor is showing signs of minor damage.	Repair and refinish the concrete floor.	1,000	SF	\$6,860	\$19,060	5
1200	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.006		Instantaneous water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$690	\$1,920	5

**City of Rohnert Park  
Facility Condition Assessment**

**Public Safety Main**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engine Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1189	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.006		Instantaneous water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$690	\$1,920	5
1198	D3020 - HEATING SYSTEMS	D3020.70.003		Unit heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,080	\$14,120	5
1184	D3030 - COOLING SYSTEMS	D3030.70.002		Split system with wall mounted AC and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$7,030	\$19,540	5
1169	D3050 - FACILITY HVAC DISTRIBUTION SYSTEMS	D3050.50.006		Air handler is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$30,830	\$85,620	5
1164	D3060 - VENTILATION	D3060.30.007		Ventilator is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$2,740	\$7,620	5
1128	G2020 - PARKING LOTS	G2020.10.002	Parking Lots	AC paving is in poor condition.	Replace AC pavement section.	20,000	SF	\$238,380	\$661,970	5
1117	C2030 - FLOORING	C2030.75.001	Men's Locker Room	Carpet flooring is showing signs of wear.	Replace carpet flooring.	800	SF	\$8,770	\$25,310	6
1194	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.003		Gas fired water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	2	EA	\$21,170	\$61,090	6
1177	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.006	Break Room	Instantaneous water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$690	\$2,000	6
1197	D2060 - PROCESS SUPPORT PLUMBING SYSTEMS	D2060.10.001		Air compressor is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6
1193	D3020 - HEATING SYSTEMS	D3020.10.003		Boiler is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$53,440	\$154,210	6
1171	D3030 - COOLING SYSTEMS	D3030.70.044		Split system with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$13,070	\$37,720	6
1165	D3030 - COOLING SYSTEMS	D3030.70.044		Split system with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$13,070	\$37,720	6

**City of Rohnert Park  
Facility Condition Assessment**

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**DEFICIENCY TABLE**

*(1) Deficiency Cost = Qty x Unit Cost*

*(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)*

*General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds*

*City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location*

*Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.*

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1191	D3050 - FACILITY HVAC DISTRIBUTION SYSTEMS	D3050.10.002		Hydronic pump is approaching the end of its expected useful life.	Provide equipment replacement and installation.	2	EA	\$10,550	\$30,450	6
1199	D3060 - VENTILATION	D3060.30.030		Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$13,940	6

**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main**

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Record ID 1058  
System B2020 - EXTERIOR WINDOWS

Year Installed / Industry Life / Remaining Useful Life - / 40 / -

Item No. B2020.20.010

Floor/Room: 1 / Conference Room

**Priority:** 2

Quantity/Unit of Measure: 10/LF

Total Deficiency Cost: \$280

Deficiency Description: *Window sealant is approaching the end of its useful life and cracking.*

Description of Work: *Replace window sealant.*

Comments:



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Record ID 1060  
System C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. C2050.80.001

Floor/Room: 1 / Conference Room

**Priority:** 1

Quantity/Unit of Measure: 15/SF

Total Deficiency Cost: \$240

Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments: *Further investigation is recommended to determine the source of water damage.*



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Record ID 1061  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. C2030.90.002

Floor/Room: 1 / Conference Room

**Priority:** 1

Quantity/Unit of Measure: 10/LF

Total Deficiency Cost: \$500

Deficiency Description: *Wood wall base is approaching the end of its useful life.*

Description of Work: *Replace the wood wall base.*

Comments:



## City of Rohnert Park Facility Condition Assessment

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Record ID: 1065  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1992 / 30 / 0  
 Item No.: D5020.30.1008  
 Floor/Room: / 3rd Floor  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,570  
 Deficiency Description: *The panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID: 1069  
 System: C2050 - CEILING FINISHES  
 Year Installed / Industry Life / Remaining Useful Life: - / 50 / -  
 Item No.: C2050.80.001  
 Floor/Room: 2 / IS Operations Manager  
**Priority:** 3  
 Quantity/Unit of Measure: 100/SF  
 Total Deficiency Cost: \$1,680  
 Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

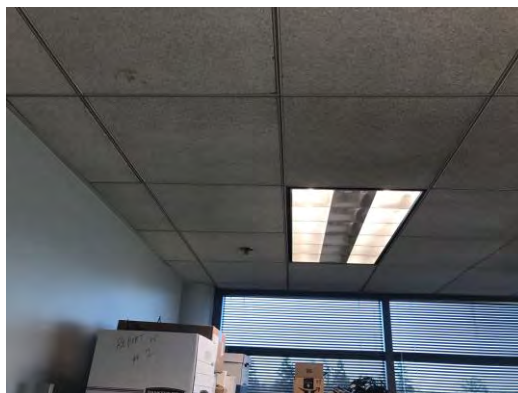
Comments:



Record ID: 1070  
 System: C2050 - CEILING FINISHES  
 Year Installed / Industry Life / Remaining Useful Life: - / 50 / -  
 Item No.: C2050.80.001  
 Floor/Room: 2 / IS Technician  
**Priority:** 3  
 Quantity/Unit of Measure: 1,000/SF  
 Total Deficiency Cost: \$16,420  
 Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main**

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Record ID 1071  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 2 / IS Analyst  
**Priority:** 3  
Quantity/Unit of Measure: 1,000/SF  
Total Deficiency Cost: \$16,420  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments: *Ceiling leak from HVAC.*

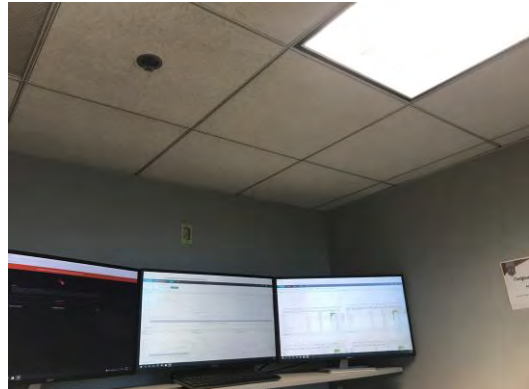


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Record ID 1072  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 2 / IS Technician  
**Priority:** 3  
Quantity/Unit of Measure: 400/SF  
Total Deficiency Cost: \$6,590  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



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Record ID 1074  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 2 / Comm Supervisor  
**Priority:** 3  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$1,680  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Public Safety Main**

Record ID: 1075  
 System: C2050 - CEILING FINISHES  
 Year Installed / Industry Life / Remaining Useful Life: - / 50 / -  
 Item No.: C2050.80.001  
 Floor/Room: 2 / Comm Supervisor Office  
**Priority:** 3  
 Quantity/Unit of Measure: 1,000/SF  
 Total Deficiency Cost: \$16,420  
 Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*



Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:

Record ID: 1077  
 System: C2050 - CEILING FINISHES  
 Year Installed / Industry Life / Remaining Useful Life: - / 50 / -  
 Item No.: C2050.80.001  
 Floor/Room: 3 / Lobby/Halls  
**Priority:** 3  
 Quantity/Unit of Measure: 600/SF  
 Total Deficiency Cost: \$9,870  
 Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*



Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:

Record ID: 1080  
 System: C1090 - INTERIOR SPECIALTIES  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: C1090.20.001  
 Floor/Room: 3 / Men's Restroom  
**Priority:** 1  
 Quantity/Unit of Measure: 2/LS  
 Total Deficiency Cost: \$1,000  
 Deficiency Description: *Door lacks accessible signage.*



Description of Work: *Provide accessible signage.*

Comments: *Also Women's Restroom signage.*

**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main**

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Record ID 1081  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 3 / Conference Room  
**Priority:** 3  
Quantity/Unit of Measure: 1,000/SF  
Total Deficiency Cost: \$16,420  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



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Record ID 1082  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 3 / Chief Office  
**Priority:** 3  
Quantity/Unit of Measure: 1,000/SF  
Total Deficiency Cost: \$16,420  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



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Record ID 1083  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 3 / Deputy Chief Office #1  
**Priority:** 3  
Quantity/Unit of Measure: 800/SF  
Total Deficiency Cost: \$13,140  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:





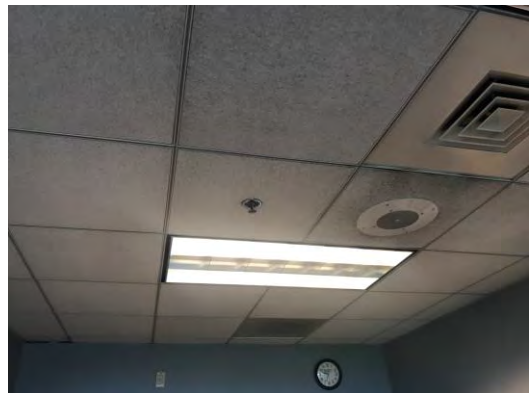
# City of Rohnert Park Facility Condition Assessment

## Public Safety Main

Record ID 1085  
System C2050 - CEILING FINISHES  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 3 / Lieutenant  
**Priority:** 3  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$1,680  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

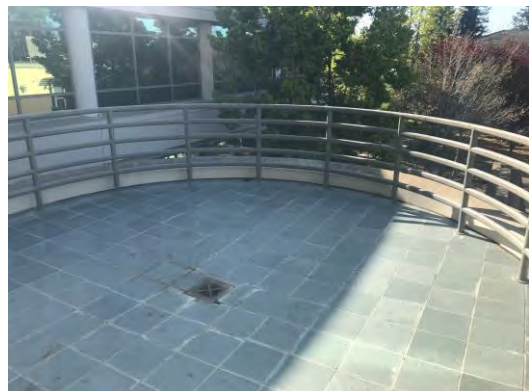
Comments:



Record ID 1087  
System B3010 - ROOFING  
Year Installed / Industry Life / Remaining Useful Life - / 30 / -  
Item No. B3010.10.005  
Floor/Room: Roof / Exterior  
**Priority:** 3  
Quantity/Unit of Measure: 200/SF  
Total Deficiency Cost: \$12,650  
Deficiency Description: *Slate tile flooring is showing signs of wear.*

Description of Work: *Replace slate tile flooring.*

Comments:



Record ID 1088  
System B2020 - EXTERIOR WINDOWS  
Year Installed / Industry Life / Remaining Useful Life - / 40 / -  
Item No. B2020.20.010  
Floor/Room: Roof / Fire Marshal Office  
**Priority:** 1  
Quantity/Unit of Measure: 25/LF  
Total Deficiency Cost: \$660  
Deficiency Description: *Window is leaking.*

Description of Work: *Replace window sealant.*

Comments: *Investigation and repair is currently under contract.*



**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main**

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Record ID 1090  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 2 / Interview Room  
**Priority:** 3  
Quantity/Unit of Measure: 200/SF  
Total Deficiency Cost: \$3,310  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



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Record ID 1091  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 2 / Investigations  
**Priority:** 3  
Quantity/Unit of Measure: 1,000/SF  
Total Deficiency Cost: \$16,420  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



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Record ID 1092  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 2 / Sergeant Office  
**Priority:** 3  
Quantity/Unit of Measure: 200/SF  
Total Deficiency Cost: \$3,310  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main**

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Record ID 1093  
System C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. C2050.80.001

Floor/Room: 2 / Cops Unit

Priority: 3

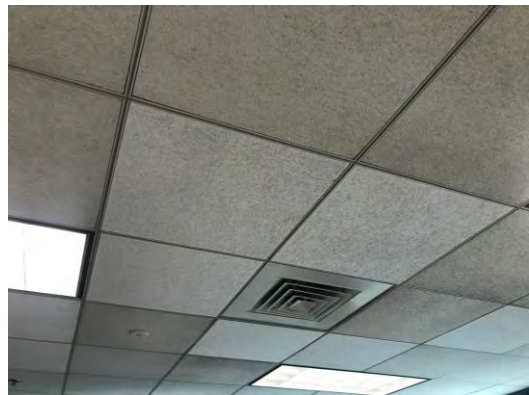
Quantity/Unit of Measure: 1,000/SF

Total Deficiency Cost: \$16,420

Deficiency Description: *Lay-in Acoustical Tile is in poor condition and leaking.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments: *Motion light does not work.*



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Record ID 1094  
System C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. C2050.80.001

Floor/Room: 2 / Break Area

Priority: 3

Quantity/Unit of Measure: 200/SF

Total Deficiency Cost: \$3,310

Deficiency Description: *Lay-in Acoustical Tile is in poor condition and leaking.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



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Record ID 1095  
System C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. C2050.80.001

Floor/Room: 2 / Interview Room

Priority: 3

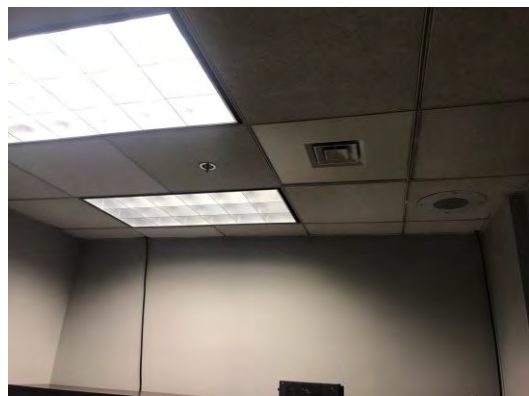
Quantity/Unit of Measure: 400/SF

Total Deficiency Cost: \$6,590

Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Public Safety Main

Record ID 1096  
System C2050 - CEILING FINISHES  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 2 / Sergeant  
**Priority:** 3  
Quantity/Unit of Measure: 400/SF  
Total Deficiency Cost: \$6,590  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



Record ID 1098  
System B3010 - ROOFING  
Year Installed / Industry Life / Remaining Useful Life - / 30 / -  
Item No. B3010.90.007  
Floor/Room: Roof / 1st Floor Roof  
**Priority:** 3  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$8,800  
Deficiency Description: *The roof is covered with debris which will shorten its useful life.*

Description of Work: *Clean off debris regularly.*

Comments:



Record ID 1099  
System E2010 - FIXED FURNISHINGS  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. E2010.30.006  
Floor/Room: 1 / Lieutenant  
**Priority:** 3  
Quantity/Unit of Measure: 10/LF  
Total Deficiency Cost: \$1,420  
Deficiency Description: *Casework laminate panel is in poor condition and peeling away.*

Description of Work: *Repair plastic laminate finish.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Public Safety Main**

Record ID: 1100  
 System: D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life: 1992 / 15 / -15

Item No.: D5040.50.402

Floor/Room:

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$1,860  
 Deficiency Description: *The lighting is being controlled via a broken sensor.*

Description of Work: *Provide a new sensor for the existing lights.*

Comments: *Stairwell light sensor do not work well. Recommend replacing*



Record ID: 1102  
 System: C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life: - / 50 / -

Item No.: C2050.80.001

Floor/Room: 1 / Supply Room

**Priority:** 3

Quantity/Unit of Measure: 200/SF  
 Total Deficiency Cost: \$3,310  
 Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



Record ID: 1103  
 System: C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life: - / 50 / -

Item No.: C2050.80.001

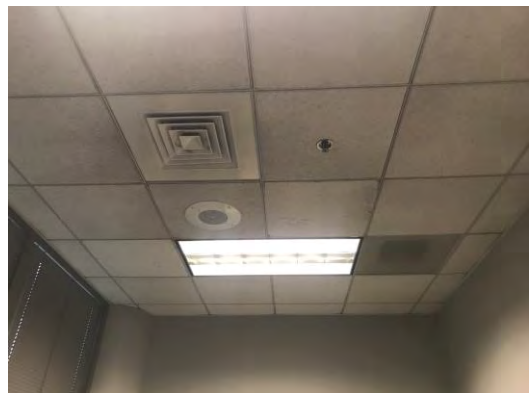
Floor/Room: 1 / Traffic Sergeant & Lieutenant

**Priority:** 3

Quantity/Unit of Measure: 200/SF  
 Total Deficiency Cost: \$3,310  
 Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



## City of Rohnert Park Facility Condition Assessment

### Public Safety Main

Record ID: 1104  
 System: C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life: - / 50 / -

Item No.: C2050.80.001

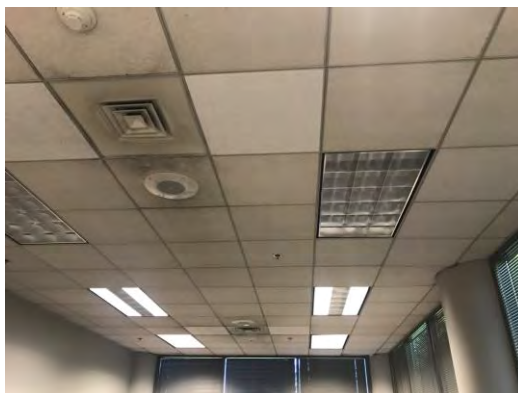
Floor/Room: 1 / Traffic Unit

Priority: 3

Quantity/Unit of Measure: 1,000/SF

Total Deficiency Cost: \$16,420

Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*



Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:

Record ID: 1105  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1992 / 30 / 0

Item No.: D5020.30.1008

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$18,570

Deficiency Description: *The panelboard is past its expected useful life.*



Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:

Record ID: 1106  
 System: C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life: - / 50 / -

Item No.: C2030.10.001

Floor/Room: 1 / Garage

Priority: 2

Quantity/Unit of Measure: 1,000/SF

Total Deficiency Cost: \$16,830

Deficiency Description: *Concrete floor is approaching the end of its useful life.*



Description of Work: *Repair and refinish the concrete floor.*

Comments: *Damaged from chemicals.*

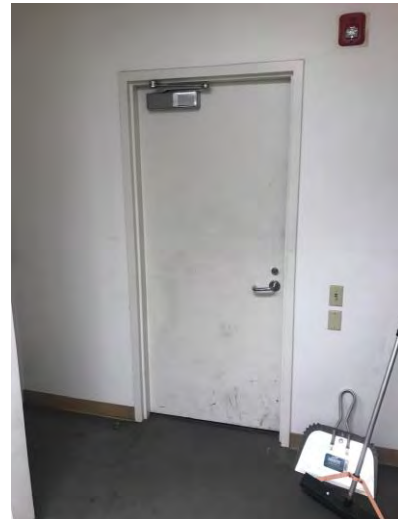
**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main**

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Record ID 1108  
System C1030 - INTERIOR DOORS  
  
Year Installed / Industry Life / Remaining Useful Life - / 60 / -  
Item No. C1030.90.003  
Floor/Room: 1 / Detention Area  
**Priority:** 3  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$900  
Deficiency Description: *Metal door is showing signs of wear.*



Description of Work: *Repair and refinish the metal door.*

Comments:

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Record ID 1109  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 1 / Fitness Center  
**Priority:** 3  
Quantity/Unit of Measure: 400/SF  
Total Deficiency Cost: \$6,590  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

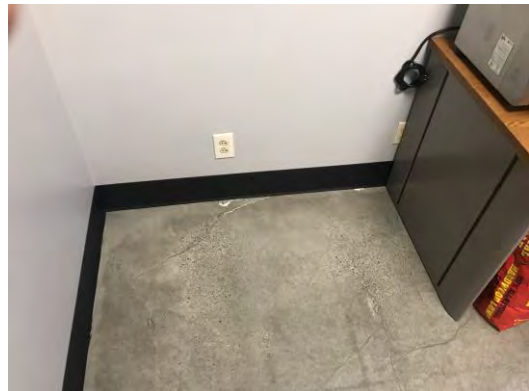


Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:

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Record ID 1110  
System C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2030.10.001  
Floor/Room: 1 / Break Room  
**Priority:** 5  
Quantity/Unit of Measure: 1,000/SF  
Total Deficiency Cost: \$19,060  
Deficiency Description: *Sealed concrete floor is showing signs of minor damage.*



Description of Work: *Repair and refinish the concrete floor.*

Comments:

**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main**

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Record ID 1111  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 1 / Sergeant's Office  
**Priority:** 3  
Quantity/Unit of Measure: 400/SF  
Total Deficiency Cost: \$6,590  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



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Record ID 1112  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 1 / Equipment  
**Priority:** 3  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$1,680  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:

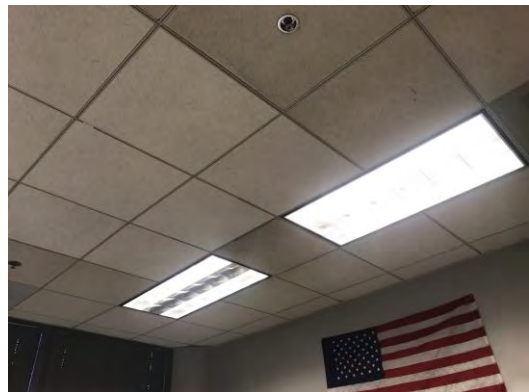


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Record ID 1113  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 1 / Sergeant's Office  
**Priority:** 3  
Quantity/Unit of Measure: 400/SF  
Total Deficiency Cost: \$6,590  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:





**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main**

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Record ID 1114  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. C2030.75.001

Floor/Room: 1 / Women's Locker Room

**Priority:** 3

Quantity/Unit of Measure: 400/SF

Total Deficiency Cost: \$11,250

Deficiency Description: *Carpet flooring is showing signs of wear.*



Description of Work: *Replace carpet flooring.*

Comments:

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Record ID 1115  
System C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. C2050.80.001

Floor/Room: 1 / Lieutenant Office

**Priority:** 3

Quantity/Unit of Measure: 200/SF

Total Deficiency Cost: \$3,310

Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*



Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:

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Record ID 1116  
System C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. C2050.80.001

Floor/Room: 1 / Lieutenant Office

**Priority:** 3

Quantity/Unit of Measure: 200/SF

Total Deficiency Cost: \$3,310

Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*



Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:

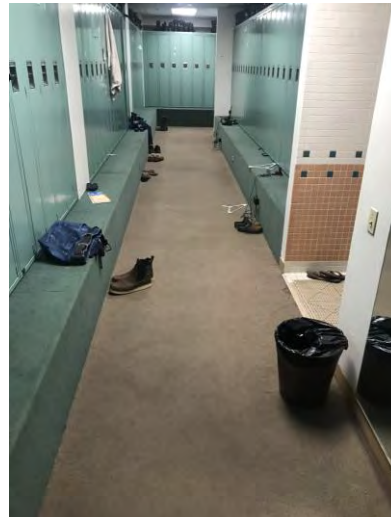
# City of Rohnert Park Facility Condition Assessment

## Public Safety Main

Record ID 1117  
System C2030 - FLOORING  
Year Installed / Industry Life / Remaining Useful Life - / 20 / -  
Item No. C2030.75.001  
Floor/Room: 1 / Men's Locker Room  
**Priority:** 7  
Quantity/Unit of Measure: 800/SF  
Total Deficiency Cost: \$25,310  
Deficiency Description: *Carpet flooring is showing signs of wear.*

Description of Work: *Replace carpet flooring.*

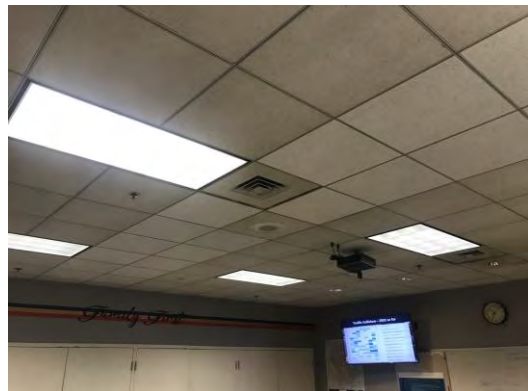
Comments:



Record ID 1118  
System C2050 - CEILING FINISHES  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 1 / Briefing Room  
**Priority:** 3  
Quantity/Unit of Measure: 800/SF  
Total Deficiency Cost: \$13,140  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



Record ID 1119  
System C2050 - CEILING FINISHES  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 1 / Kitchen  
**Priority:** 3  
Quantity/Unit of Measure: 400/SF  
Total Deficiency Cost: \$6,590  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main**

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Record ID 1120  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 1 / Interview Room  
**Priority:** 3  
Quantity/Unit of Measure: 200/SF  
Total Deficiency Cost: \$3,310  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



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Record ID 1121  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 1 / Report Writing  
**Priority:** 2  
Quantity/Unit of Measure: 200/SF  
Total Deficiency Cost: \$3,170  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



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Record ID 1123  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 1 / Armory  
**Priority:** 3  
Quantity/Unit of Measure: 200/SF  
Total Deficiency Cost: \$3,310  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main**

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Record ID 1124  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 1 / Records  
**Priority:** 3  
Quantity/Unit of Measure: 1,000/SF  
Total Deficiency Cost: \$16,420  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



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Record ID 1125  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 1 / Records Supervisor  
**Priority:** 3  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$1,680  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:

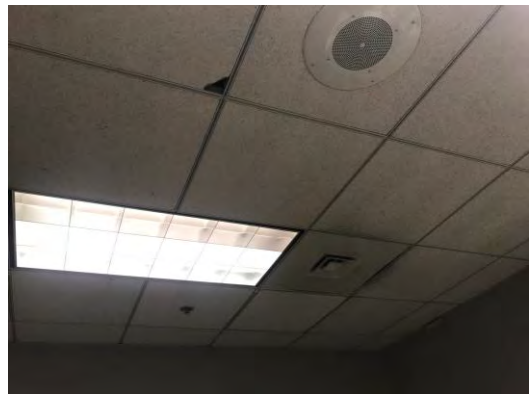


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Record ID 1127  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: / Property/Evidence  
**Priority:** 3  
Quantity/Unit of Measure: 400/SF  
Total Deficiency Cost: \$6,590  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Public Safety Main

Record ID: 1128  
System: G2020 - PARKING LOTS  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: G2020.10.002  
Floor/Room: Site / Parking Lots  
Priority: 5  
Quantity/Unit of Measure: 20,000/SF  
Total Deficiency Cost: \$661,970  
Deficiency Description: *AC paving is in poor condition.*

Description of Work: *Replace AC pavement section.*

Comments: *Entire parking lot.*



Record ID: 1129  
System: G2060 - SITE DEVELOPMENT  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: G2060.20.020  
Floor/Room: Site / Fencing  
Priority: 3  
Quantity/Unit of Measure: 300/LF  
Total Deficiency Cost: \$9,480  
Deficiency Description: *Chain link fencing is showing signs of wear.*

Description of Work: *Replace entire fence, including mesh, posts, and concrete bases.*

Comments:



Record ID: 1134  
System: B2020 - EXTERIOR WINDOWS  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: B2020.20.005  
Floor/Room: 1 / Exterior  
Priority: 2  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$16,830  
Deficiency Description: *Glazing is damaged.*

Description of Work: *Re-glaze single glazing window.*

Comments: *Windows have been damaged from rocks thrown from mowing.*



# City of Rohnert Park Facility Condition Assessment

## Public Safety Main

Record ID: 1137  
System: G3010 - WATER UTILITIES  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: G3010.50.001  
Floor/Room: Site / Exterior  
Priority: 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$780  
Deficiency Description: *Water valve lid is approaching the end of its useful service life.*  
Description of Work: *Replace water valve box lid.*



Comments:

Record ID: 1139  
System: G2020 - PARKING LOTS  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: G2020.40.005  
Floor/Room: Site / Parking Lot  
Priority: 1  
Quantity/Unit of Measure: 1,000/LF  
Total Deficiency Cost: \$2,140  
Deficiency Description: *Parking stall striping is worn.*



Description of Work: *Restripe parking stall striping.*

Comments: *Throughout parking lot.*

Record ID: 1164  
System: D3060 - VENTILATION  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: D3060.30.007  
Floor/Room:  
Priority: 5  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$7,620  
Deficiency Description: *Ventilator is approaching the end of its expected useful life.*



Description of Work: *Provide equipment replacement and installation.*

Comments:

**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main**

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Record ID 1165  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. D3030.70.044

Floor/Room:

**Priority: 7**

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$37,720

Deficiency Description: *Split system with fan coil and outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 1166  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 25 / -

Item No. D3060.30.009

Floor/Room:

**Priority: 4**

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$34,200

Deficiency Description: *In-Line building exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 1167  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 25 / -

Item No. D3060.30.009

Floor/Room:

**Priority: 4**

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$34,200

Deficiency Description: *In-Line building exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main**

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Record ID 1168  
System D3050 - FACILITY HVAC DISTRIBUTION SYSTEMS  
Year Installed / Industry Life / Remaining Useful Life - / 30 / -  
Item No. D3050.50.006  
Floor/Room:  
**Priority:** 4  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$82,280  
Deficiency Description: *Air handler is approaching the end of its expected useful life.*  
  
Description of Work: *Provide equipment replacement and installation.*  
  
Comments:



Record ID 1169  
System D3050 - FACILITY HVAC DISTRIBUTION SYSTEMS  
Year Installed / Industry Life / Remaining Useful Life - / 30 / -  
Item No. D3050.50.006  
Floor/Room:  
**Priority:** 5  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$85,620  
Deficiency Description: *Air handler is approaching the end of its expected useful life.*  
  
Description of Work: *Provide equipment replacement and installation.*  
  
Comments:



Record ID 1170  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 1992 / 30 / 0  
Item No. D5020.30.1008  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$18,570  
Deficiency Description: *The panelboard is past its expected useful life.*  
  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
  
Comments:





## City of Rohnert Park Facility Condition Assessment

### Public Safety Main

Record ID: 1171  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: - / 15 / -

Item No.: D3030.70.044

Floor/Room:

Priority: 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$37,720

Deficiency Description: *Split system with fan coil and outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1174  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1992 / 30 / 0

Item No.: D5020.30.1001

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$8,230

Deficiency Description: *The panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID: 1176  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1992 / 30 / 0

Item No.: D5020.30.1007

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$11,460

Deficiency Description: *The panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main**

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Record ID 1177  
System D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life - / 5 / -

Item No. D2010.20.006

Floor/Room: / Break Room

**Priority:** 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$2,000

Deficiency Description: *Instantaneous water heater is approaching the end of its expected useful life.*



Description of Work: *Provide equipment replacement and installation.*

Comments:

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Record ID 1178  
System D3050 - FACILITY HVAC DISTRIBUTION SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. D3050.50.004

Floor/Room: / 3rd Floor Restroom

**Priority:** 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$340

Deficiency Description: *Diffuser vibration adding significant noise in the space.*



Description of Work: *Secure rattling diffuser and investigate if motor balance is causing additional issues.*

Comments:

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Record ID 1179  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. D5020.30.1012

Floor/Room:

**Priority:** 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$26,230

Deficiency Description: *The panelboard is past its expected useful life.*



Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:

## City of Rohnert Park Facility Condition Assessment

### Public Safety Main

Record ID: 1180  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1992 / 30 / 0  
 Item No.: D5020.30.1012  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$26,230  
 Deficiency Description: *The panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID: 1181  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1992 / 30 / 0  
 Item No.: D5020.30.1007  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$11,460  
 Deficiency Description: *The panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID: 1182  
 System: D1050 - MATERIAL HANDLING  
 Year Installed / Industry Life / Remaining Useful Life: - / 25 / -  
 Item No.: D1050.70.001  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$64,210  
 Deficiency Description: *Pneumatic tube system is at or approaching end of expected useful service life.*

Description of Work: *Provide an equivalent equipment replacement and installation.*

Comments: *Pneumatic tube system failed and would like it fixed or replaced, but expensive to maintain due to access to parts?*



## City of Rohnert Park Facility Condition Assessment

### Public Safety Main

Record ID: 1183  
 System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D3060.30.005

Floor/Room:

**Priority:** 4

Quantity/Unit of Measure: 2/EA  
 Total Deficiency Cost: \$16,110

Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *No roof access*



Record ID: 1184  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: - / 15 / -

Item No.: D3030.70.002

Floor/Room:

**Priority:** 5

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$19,540

Deficiency Description: *Split system with wall mounted AC and outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1185  
 System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D3060.30.005

Floor/Room:

**Priority:** 4

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$8,070

Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Public Safety Main

Record ID: 1186  
System: D3060 - VENTILATION  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: D3060.30.007  
Floor/Room:  
**Priority:** 4  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$7,320  
Deficiency Description: *Ventilator is approaching the end of its expected useful life.*  
Description of Work: *Provide equipment replacement and installation.*  
Comments:



Record ID: 1187  
System: D3060 - VENTILATION  
Year Installed / Industry Life / Remaining Useful Life: - / 25 / -  
Item No.: D3060.30.005  
Floor/Room:  
**Priority:** 4  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$8,070  
Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*  
Description of Work: *Provide equipment replacement and installation.*  
Comments:



Record ID: 1189  
System: D2010 - DOMESTIC WATER DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: - / 5 / -  
Item No.: D2010.20.006  
Floor/Room:  
**Priority:** 5  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$1,920  
Deficiency Description: *Instantaneous water heater is approaching the end of its expected useful life.*  
Description of Work: *Provide equipment replacement and installation.*  
Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Public Safety Main**

Record ID: 1191  
 System: D3050 - FACILITY HVAC DISTRIBUTION SYSTEMS  
 Year Installed / Industry Life / Remaining Useful Life: - / 15 / -  
 Item No.: D3050.10.002  
 Floor/Room:  
**Priority:** 7  
 Quantity/Unit of Measure: 2/EA  
 Total Deficiency Cost: \$30,450  
 Deficiency Description: *Hydronic pump is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1192  
 System: D3050 - FACILITY HVAC DISTRIBUTION SYSTEMS  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: D3050.50.006  
 Floor/Room:  
**Priority:** 4  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$82,280  
 Deficiency Description: *Air handler is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Unbalanced filter motor, difficulty getting filters to room*



Record ID: 1193  
 System: D3020 - HEATING SYSTEMS  
 Year Installed / Industry Life / Remaining Useful Life: 2016 / 30 / 24  
 Item No.: D3020.10.003  
 Floor/Room:  
**Priority:** 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$154,210  
 Deficiency Description: *Boiler is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main**

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Record ID 1194  
System D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life 2015 / 15 / 8

Item No. D2010.20.003

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 2/EA

Total Deficiency Cost: \$61,090

Deficiency Description: *Gas fired water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID 1195  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 25 / -

Item No. D3060.30.009

Floor/Room:

**Priority:** 4

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$34,200

Deficiency Description: *In-Line building exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID 1197  
System D2060 - PROCESS SUPPORT PLUMBING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 25 / -

Item No. D2060.10.001

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$19,810

Deficiency Description: *Air compressor is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Public Safety Main

Record ID: 1198  
System: D3020 - HEATING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: D3020.70.003

Floor/Room:

Priority: 5

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$14,120

Deficiency Description: *Unit heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1199  
System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: D3060.30.030

Floor/Room:

Priority: 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$13,940

Deficiency Description: *Sidewall propeller fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1200  
System: D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: - / 5 / -

Item No.: D2010.20.006

Floor/Room:

Priority: 5

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$1,920

Deficiency Description: *Instantaneous water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:





**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main**

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Record ID 1202  
System Z1090 - LIFE CYCLE ACTIVITIES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. Z1090.10.002

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$1,620

Deficiency Description: *Further investigation required to determine source of shower issues with smell.*

Description of Work: *Provide additional investigation to remedy shower smell issues in building.*

Comments: *Shower issues with smell*



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Record ID 1203  
System D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life - / 5 / -

Item No. D2010.20.006

Floor/Room:

Priority: 4

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$1,850

Deficiency Description: *Instantaneous water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID 1204  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life 1992 / 30 / 0

Item No. D5020.30.1010

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$31,660

Deficiency Description: *The panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main**

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Record ID: 1205  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1992 / 30 / 0  
Item No.: D5020.30.1007  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$11,460  
Deficiency Description: *The panelboard is past its expected useful life.*  
  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
  
Comments:



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Record ID: 1206  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1992 / 30 / 0  
Item No.: D5020.30.1008  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$18,570  
Deficiency Description: *The panelboard is past its expected useful life.*  
  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
  
Comments:



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Record ID: 1208  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1992 / 30 / 0  
Item No.: D5020.30.1008  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$18,570  
Deficiency Description: *The panelboard is past its expected useful life.*  
  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
  
Comments:



# City of Rohnert Park Facility Condition Assessment

## Public Safety Main

Record ID: 1209  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1992 / 30 / 0  
Item No.: D5020.30.1007  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$11,460  
Deficiency Description: *The panelboard is past its expected useful life.*  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
Comments:



Record ID: 1210  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1992 / 30 / 0  
Item No.: D5020.30.1012  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$26,230  
Deficiency Description: *The panelboard is past its expected useful life.*  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
Comments:



Record ID: 1211  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1992 / 30 / 0  
Item No.: D5020.30.1004  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$8,610  
Deficiency Description: *The 100A panelboard is past its expected useful life.*  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Public Safety Main**

Record ID: 1212  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1992 / 30 / 0  
 Item No.: D5020.30.1004  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$8,610  
 Deficiency Description: *The 100A panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID: 1213  
 System: D7050 - DETECTION AND ALARM  
 Year Installed / Industry Life / Remaining Useful Life: 2000 / 15 / -7  
 Item No.: D7050.10.025  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 52,000/SF  
 Total Deficiency Cost: \$1,151,730  
 Deficiency Description: *The existing fire alarm system is past its expected useful life.*

Description of Work: *Replace the existing fire alarm system with a complete, site-wide, fully addressable fire alarm system.*

Comments: *Age is estimated*



Record ID: 1219  
 System: D5010 - FACILITY POWER GENERATION  
 Year Installed / Industry Life / Remaining Useful Life: 1992 / 25 / -5  
 Item No.: D5010.10.017  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 276/KW  
 Total Deficiency Cost: \$458,490  
 Deficiency Description: *The standby generator is past its expected useful life.*

Description of Work: *Install a new diesel genset with the appropriate diesel fuel tank.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main**

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Record ID 1221  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 1992 / 20 / -10  
Item No. D5020.10.313  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$42,470  
Deficiency Description: *The 1200A metered main switchboard is past its expected useful life.*

Description of Work: *Replace the existing metered main switchboard with a new metered main switchboard.*

Comments:



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Record ID 1223  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 1992 / 30 / 0  
Item No. D5020.10.207  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$20,230  
Deficiency Description: *The 50kVA transformer is past its expected useful life.*

Description of Work: *Replace the existing transformer with a new transformer.*

Comments:



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Record ID 1224  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 1992 / 30 / 0  
Item No. D5020.10.219  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$25,850  
Deficiency Description: *The 150kVA is past its expected useful life.*

Description of Work: *Replace the existing transformer with a new transformer.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Public Safety Main**

Record ID: 1225  
 System: D5010 - FACILITY POWER GENERATION

Year Installed / Industry Life / Remaining Useful Life: 1992 / 18 / -12

Item No.: D5010.70.009

Floor/Room:

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$48,020

Deficiency Description: *The 800A 3-pole automatic transfer switch (ATS) is approaching the end of its expected useful life.*

Description of Work: *Replace the existing 3-pole ATS with a new 3-pole ATS.*

Comments:



Record ID: 1226  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1992 / 20 / -10

Item No.: D5020.30.0003

Floor/Room:

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$43,120

Deficiency Description: *The 600A, (main lugs only), switchboard is approaching the end of its expected useful life.*

Description of Work: *Replace the existing switchboard with a new switchboard.*

Comments:



Record ID: 1227  
 System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D3060.30.005

Floor/Room:

**Priority:** 4

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$8,070

Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



## City of Rohnert Park Facility Condition Assessment

### Public Safety Main

Record ID: 1228  
 System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D3060.30.005

Floor/Room:

**Priority:** 4

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$8,070

Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1229  
 System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D3060.30.005

Floor/Room:

**Priority:** 4

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$8,070

Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1767  
 System: D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life: 1992 / 20 / -10

Item No.: D5040.50.411

Floor/Room:

**Priority:** 1

Quantity/Unit of Measure: 51,717/SF  
 Total Deficiency Cost: \$2,959,100

Deficiency Description: *Interior lighting system is past its expected useful life but in working condition.*

Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Public Safety Main**

Record ID 1768  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life 1992 / 20 / -10

Item No. D5040.50.302

Floor/Room: Site

Priority: 1

Quantity/Unit of Measure: 20/EA

Total Deficiency Cost: \$45,420

Deficiency Description: *The exterior light fixture is past its expected useful life.*

Description of Work: *Replace the existing light fixture with an LED lighting fixture.*

Comments:



Record ID 1795  
System C1010 - INTERIOR PARTITIONS

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. C1010.10.001

Floor/Room: 1 / Detention Area

Priority: 3

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$750

Deficiency Description: *Painted gypsum wallboard is in poor condition with several cracks.*

Description of Work: *Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.*

Comments:



Record ID 1796  
System E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. E2010.30.008

Floor/Room: 1 / Sergeant's Office

Priority: 3

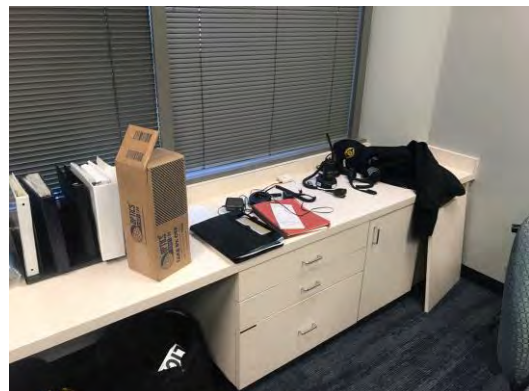
Quantity/Unit of Measure: 12/LF

Total Deficiency Cost: \$16,860

Deficiency Description: *Plastic laminate base cabinet (with countertop) is in poor condition.*

Description of Work: *Remove and replace with new plastic laminate base cabinet and countertop.*

Comments:





**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main**

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Record ID: 1797  
System: E2010 - FIXED FURNISHINGS  
Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
Item No.: E2010.30.009  
Floor/Room: 1 / Report Writing  
Priority: 2  
Quantity/Unit of Measure: 15/LF  
Total Deficiency Cost: \$33,860  
Deficiency Description: *Plastic laminate casework is at or will be approaching the end of its expected useful life.*  
Description of Work: *Provide new plastic laminate casework (upper, lower, and countertop)*

PHOTO  
NOT  
APPLICABLE

Comments:

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# Public Safety Main Fire Station 2 Detailed Report

**Address: 5200 Country Club Drive, Rohnert Park, CA 94928**

## Statistics

Year Built:	1978
Building Additions:	N/A
Building Area:	4,488 SF

## FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$556,090</b>
FCI:	0.083
Condition Score:	B
Condition Rating:	Fair
Replacement Cost:	\$6,690,000
Replacement Cost/SF:	\$1,491



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## Assessment Descriptions

### Architectural Elements

Built in 1978, the Public Safety Main Fire Station 2 (Northern Station) is a 4,488 SF, single-story, wood-frame and concrete masonry unit (CMU) structure located on Country Club Drive. The interior spaces consist of offices, dormitories, break room, day room, kitchen, and a three-bay apparatus room.

Interior finish materials consist of carpet flooring, painted gypsum board wall and ceiling, lay-in acoustical ceiling tile, ceramic tile, and linoleum flooring. The carpet flooring and acoustical ceiling tile finishes are generally showing signs of wear and are recommended for replacement within the next several years. Overall, the interior finish conditions appear to be in fair condition.

The exterior finish materials consist of metal siding, split-face concrete block, and modified-bituminous roofing. The City has identified the roof leaks and they are being replaced. Roofing costs are not included in this assessment. Overall, the exterior finish materials appear to be in fair condition.

The site surfaces primarily consist of landscaping, concrete-paved walkways, and AC-paved parking lot. The concrete and AC paving surfaces are generally in fair condition with no major deficiencies; however, areas of the landscaping show signs of distress and are recommended for remediation.

### Mechanical Systems

The mechanical systems consist of packaged air conditioning units and unit heaters. The conditioned air is distributed to the spaces via concealed hard duct and diffusers. Within the apparatus bay, a Plymovent system serves the vehicle exhaust. Overall, the mechanical systems appear to be in operable condition.

### Electrical Systems

Electrical power is supplied to an interior 400A, 120/240V, 3-phase metering switchboard. This sub-feeds a normal panel and a second emergency panel. The emergency panel is supplied by from a transfer switch connected to a 20KW, standby diesel generator. The electrical equipment is typically original to the late 1970's installation and past its expected useful life.

Interior lighting is provided by recessed fluorescent fixtures. These appear original to the building and are past their expected useful life but no signs of degradation of the housings were noted.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, gas piping, sanitary waste piping and vent piping. The domestic hot water is provided by gas-fired water heater. A fuel station was observed on site. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

The building is not equipped with a fire sprinkler system; however, portable fire extinguishers were observed at key points in the building.

The building did not contain a fire alarm control panel.

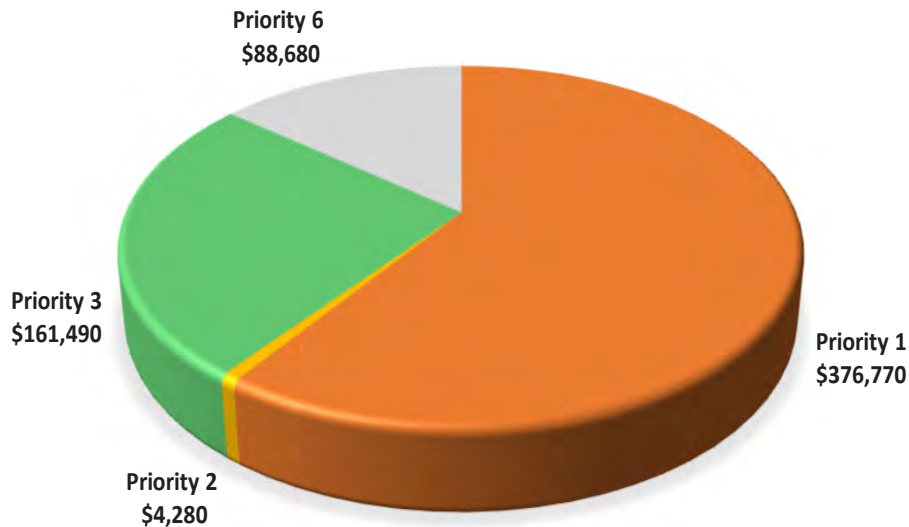
## Conclusion

For the Public Safety Main Fire Station 2, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Public Safety Main Fire Station 2						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$376,770	\$4,280	\$161,490	\$0	\$0	\$88,680	\$631,220
59.69%	0.68%	25.58%	0.00%	0.00%	14.05%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

**Public Safety Main Fire Station 2 (Northern Station)**

<b>Capital Renewal Cost:</b>	<b>\$556,090</b>	FCI:	<b>0.083</b>
Replacement Cost:	<b>\$6,690,000</b>	Condition Score:	<b>B</b>
Replacement Cost/SF:	<b>\$1,491</b>	Condition Rating:	<b>FAIR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
C2030	FLOORING	\$75,120	-	\$4,280	\$84,190	-	-	-
C2050	CEILING FINISHES	\$44,990	\$3,560	-	\$49,210	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$12,260	\$13,250	-	-	-	-	-
D3020	HEATING SYSTEMS	\$22,060	-	-	-	-	-	\$29,340
D3030	COOLING SYSTEMS	\$44,610	-	-	-	-	-	\$59,340
D3060	VENTILATION	\$5,950	-	-	\$7,030	-	-	-
D5010	FACILITY POWER GENERATION	\$30,770	\$33,240	-	-	-	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$40,980	\$44,270	-	-	-	-	-
D5040	LIGHTING	\$258,810	\$279,530	-	-	-	-	-
E2010	FIXED FURNISHINGS	\$17,840	-	-	\$21,060	-	-	-
G2080	LANDSCAPING	\$2,700	\$2,920	-	-	-	-	-
<b>TOTALS</b>		<b>\$556,090</b>	<b>\$376,770</b>	<b>\$4,280</b>	<b>\$161,490</b>	<b>-</b>	<b>-</b>	<b>\$88,680</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$556,090</b>	<b>\$631,220</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

**Public Safety Main Fire Station 2 (Northern Station)**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engine Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1145	C2050 - CEILING FINISHES	C2050.10.001	Ceiling	Painted gypsum wallboard ceiling is approaching the end of its useful life.	Remove the existing gypsum board ceiling and replace. Tape and paint.	100	SF	\$860	\$2,020	1
1141	C2050 - CEILING FINISHES	C2050.80.001	Office	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	100	SF	\$650	\$1,540	1
1143	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.002	Water Heater	Gas fired water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,650	\$13,250	1
1238	D5010 - FACILITY POWER GENERATION	D5010.10.019	Site	The existing diesel generator is past its expected useful life.	Replace the existing generator with a new generator..	20	KW	\$14,180	\$33,240	1
1142	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.302	1	The 400A metered main switchboard is past its expected useful life.	Replace the existing metered main switchboard with a new metered main switchboard.	1	EA	\$7,570	\$17,750	1
1232	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1001	1st	The 100A panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$3,510	\$8,230	1
1240	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1002	1st	The 225A panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,800	\$18,290	1
1770	D5040 - LIGHTING	D5040.50.302	Site	The exterior light fixture is past its expected useful life.	Replace the existing light fixture with an LED lighting fixture.	10	EA	\$9,690	\$22,720	1
1769	D5040 - LIGHTING	D5040.50.411		Interior lighting system is past its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	4,488	SF	\$109,600	\$256,810	1
1152	G2080 - LANDSCAPING	G2080.30.002	Exterior Yard	Mulch or topsoil protection missing.	Provide additional mulch to address exposed soil areas.	1,000	SF	\$1,240	\$2,920	1
1748	C2030 - FLOORING	C2030.50.002	Kitchen	Linoleum flooring is showing signs of wear.	Replace linoleum flooring.	100	SF	\$1,740	\$4,280	2
1151	C2030 - FLOORING	C2030.75.002	Throughout	Rolled carpeting is approaching the end of its useful life.	Replace carpet flooring.	3,000	SF	\$32,880	\$84,190	3
1150	C2050 - CEILING FINISHES	C2050.80.001	Dormitory	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	3,000	SF	\$19,220	\$49,210	3
1239	D3060 - VENTILATION	D3060.30.007	Exterior	Ventilator is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$2,740	\$7,030	3



**City of Rohnert Park  
Facility Condition Assessment**

**Public Safety Main Fire Station 2 (Northern Station)**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1146	E2010 - FIXED FURNISHINGS	E2010.30.008	Kitchen	Plastic laminate base cabinet (with countertop) is in poor condition.	Remove and replace with new plastic laminate base cabinet and countertop.	15	LF	\$8,220	\$21,060	3
1235	D3020 - HEATING SYSTEMS	D3020.70.003		Unit heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,080	\$14,670	6
1236	D3020 - HEATING SYSTEMS	D3020.70.003		Unit heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,080	\$14,670	6
1234	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$59,340	6

**City of Rohnert Park  
Facility Condition Assessment**

**Public Safety Main Fire Station 2 (Northern Station)**

Record ID: 1141  
 System: C2050 - CEILING FINISHES  
 Year Installed / Industry Life / Remaining Useful Life: - / 50 / -  
 Item No.: C2050.80.001  
 Floor/Room: 1 / Office  
**Priority:** 1  
 Quantity/Unit of Measure: 100/SF  
 Total Deficiency Cost: \$1,540  
 Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*



Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:

Record ID: 1142  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1978 / 20 / -24  
 Item No.: D5020.10.302  
 Floor/Room: 1  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$17,750  
 Deficiency Description: *The 400A metered main switchboard is past its expected useful life.*



Description of Work: *Replace the existing metered main switchboard with a new metered main switchboard.*

Comments:

Record ID: 1143  
 System: D2010 - DOMESTIC WATER DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1998 / 15 / -9  
 Item No.: D2010.20.002  
 Floor/Room: 1 / Water Heater  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$13,250  
 Deficiency Description: *Gas fired water heater is approaching the end of its expected useful life.*



Description of Work: *Provide equipment replacement and installation.*

Comments:

**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main Fire Station 2 (Northern Station)**

---

Record ID: 1145  
System: C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: C2050.10.001  
Floor/Room: 1 / Ceiling  
**Priority:** 1  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$2,020  
Deficiency Description: *Painted gypsum wallboard ceiling is approaching the end of its useful life.*

Description of Work: *Remove the existing gypsum board ceiling and replace. Tape and paint.*

Comments:



Record ID: 1146  
System: E2010 - FIXED FURNISHINGS  
  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: E2010.30.008  
Floor/Room: 1 / Kitchen  
**Priority:** 3  
Quantity/Unit of Measure: 15/LF  
Total Deficiency Cost: \$21,060  
Deficiency Description: *Plastic laminate base cabinet (with countertop) is in poor condition.*

Description of Work: *Remove and replace with new plastic laminate base cabinet and countertop.*

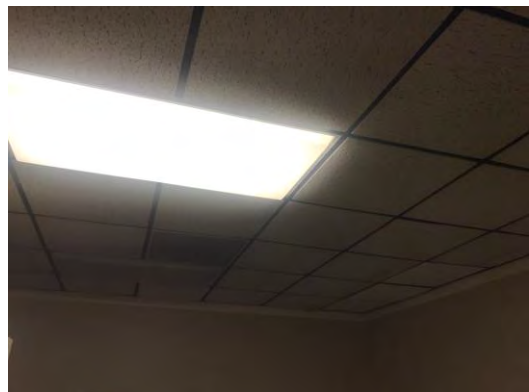
Comments:



Record ID: 1150  
System: C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life: - / 50 / -  
Item No.: C2050.80.001  
Floor/Room: 1 / Dormitory  
**Priority:** 3  
Quantity/Unit of Measure: 3,000/SF  
Total Deficiency Cost: \$49,210  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



## City of Rohnert Park Facility Condition Assessment

### Public Safety Main Fire Station 2 (Northern Station)

Record ID: 1151  
 System: C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: C2030.75.002  
 Floor/Room: 1 / Throughout

**Priority:** 3

Quantity/Unit of Measure: 3,000/SF  
 Total Deficiency Cost: \$84,190

Deficiency Description: *Rolled carpeting is approaching the end of its useful life.*

Description of Work: *Replace carpet flooring.*



Comments:

Record ID: 1152  
 System: G2080 - LANDSCAPING

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: G2080.30.002  
 Floor/Room: Site / Exterior Yard

**Priority:** 1

Quantity/Unit of Measure: 1,000/SF  
 Total Deficiency Cost: \$2,920

Deficiency Description: *Mulch or topsoil protection missing.*



Description of Work: *Provide additional mulch to address exposed soil areas.*

Comments:

Record ID: 1232  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1978 / 30 / -14

Item No.: D5020.30.1001  
 Floor/Room: 1st

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$8,230

Deficiency Description: *The 100A panelboard is past its expected useful life.*



Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:

**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main Fire Station 2 (Northern Station)**

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Record ID: 1234  
System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2017 / 15 / 10

Item No.: D3030.10.018

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$59,340

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1235  
System: D3020 - HEATING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: D3020.70.003

Floor/Room:

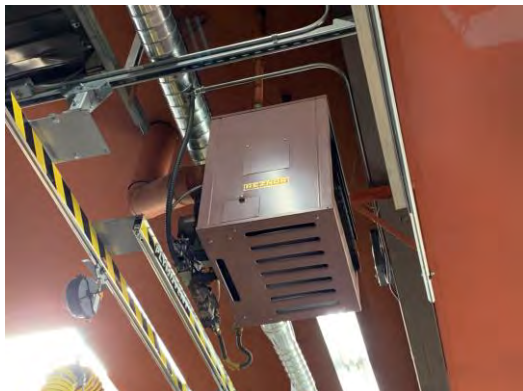
**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$14,670

Deficiency Description: *Unit heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1236  
System: D3020 - HEATING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: D3020.70.003

Floor/Room:

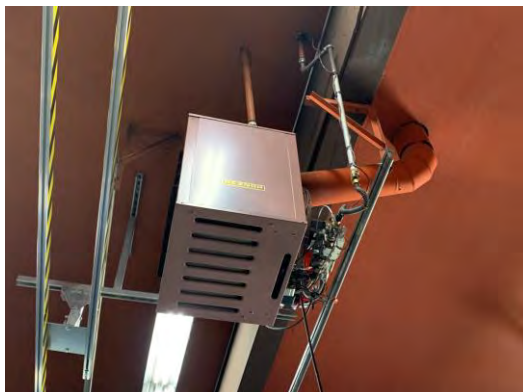
**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$14,670

Deficiency Description: *Unit heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main Fire Station 2 (Northern Station)**

---

Record ID 1238  
System D5010 - FACILITY POWER GENERATION

Year Installed / Industry Life / Remaining Useful Life 1978 / 25 / -19

Item No. D5010.10.019

Floor/Room: Site

Priority: 1

Quantity/Unit of Measure: 20/KW

Total Deficiency Cost: \$33,240

Deficiency Description: *The existing diesel generator is past its expected useful life.*

Description of Work: *Replace the existing generator with a new generator..*

Comments:



Record ID 1239  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. D3060.30.007

Floor/Room: 1 / Exterior

Priority: 3

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$7,030

Deficiency Description: *Ventilator is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Old exhaust system*



Record ID 1240  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life 1978 / 30 / -14

Item No. D5020.30.1002

Floor/Room: 1st

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$18,290

Deficiency Description: *The 225A panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main Fire Station 2 (Northern Station)**

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Record ID: 1748  
System: C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life: - / 60 / -  
Item No.: C2030.50.002  
Floor/Room: 1 / Kitchen  
**Priority:** 2  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$4,280  
Deficiency Description: *Linoleum flooring is showing signs of wear.*

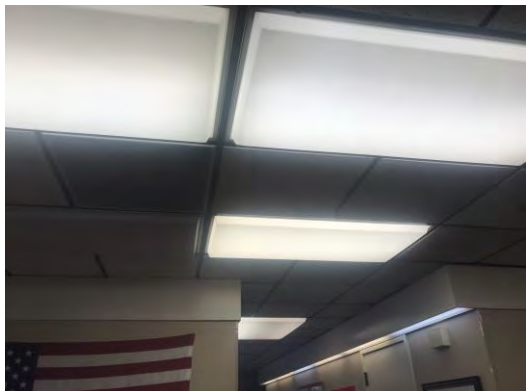


Description of Work: *Replace linoleum flooring.*

Comments:

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Record ID: 1769  
System: D5040 - LIGHTING  
  
Year Installed / Industry Life / Remaining Useful Life: 1978 / 20 / -24  
Item No.: D5040.50.411  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 4,488/SF  
Total Deficiency Cost: \$256,810  
Deficiency Description: *Interior lighting system is past its expected useful life.*



Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments:

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Record ID: 1770  
System: D5040 - LIGHTING  
  
Year Installed / Industry Life / Remaining Useful Life: 1978 / 20 / -24  
Item No.: D5040.50.302  
Floor/Room: Site  
**Priority:** 1  
Quantity/Unit of Measure: 10/EA  
Total Deficiency Cost: \$22,720  
Deficiency Description: *The exterior light fixture is past its expected useful life.*



Description of Work: *Replace the existing light fixture with an LED lighting fixture.*

Comments:

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# Public Safety Main Fire Station 4 Detailed Report

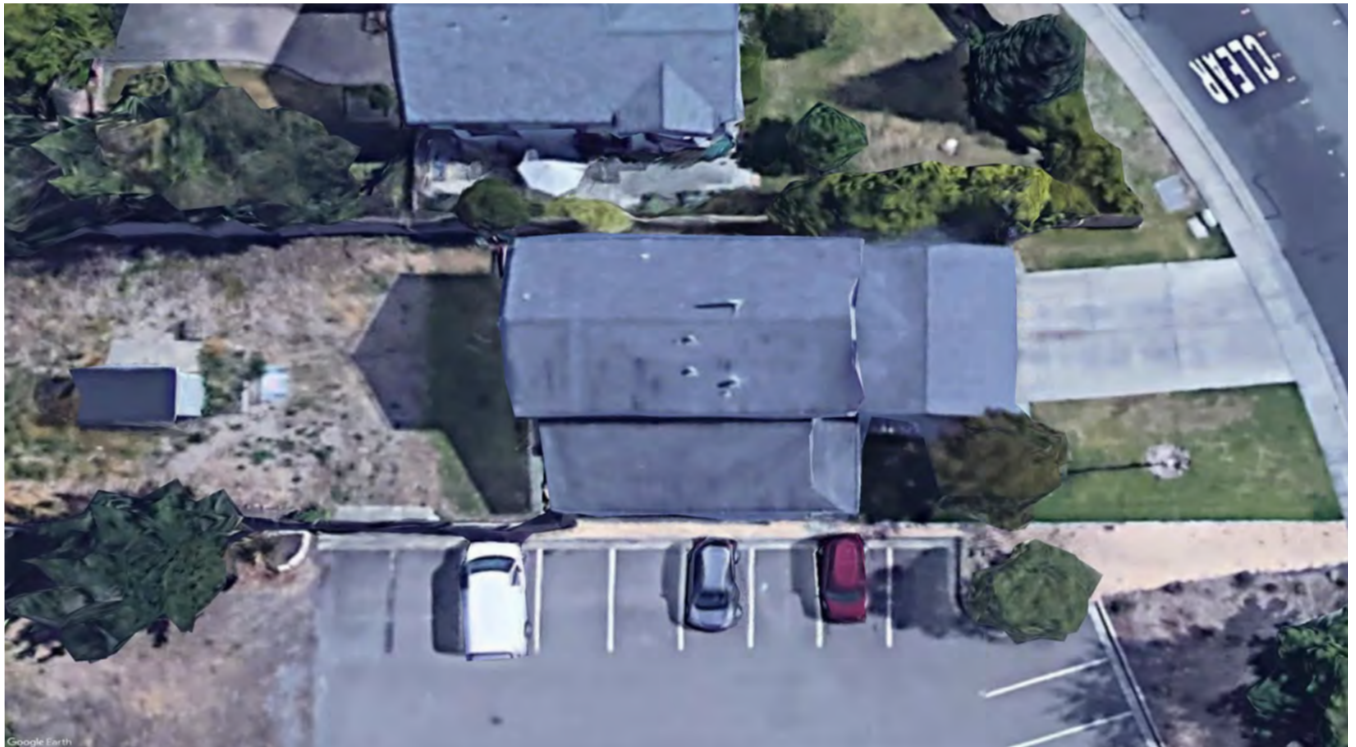
**Address: 1312 Maurice Avenue, Rohnert Park, CA 94928**

## Statistics

Year Built:	1992
Building Additions:	N/A
Building Area:	3,058 SF

## FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$323,900</b>
FCI:	0.071
Condition Score:	B
Condition Rating:	Fair
Replacement Cost:	\$4,559,000
Replacement Cost/SF:	\$1,491



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## Assessment Descriptions

### Architectural Elements

Built in 1992, the Public Safety Main Fire Station 4 (Southern Station) is a 3,000 SF, two-story, wood-frame structure located on Maurice Avenue. The interior spaces consist of a single-bay apparatus room, dormitories, kitchen, and exercise room.

The interior finish materials consist of vinyl flooring, carpet flooring, painted gypsum board wall and ceiling, and concrete flooring in the apparatus room. The concrete flooring is showing signs of cracking and is recommended for repair within the next five years. The carpet flooring in the second-floor hallway and bedrooms are showing signs of wear and are recommended for replacement. Overall, the interior finish materials appear to be in fair condition.

The exterior finish materials consist of painted plywood siding, asphalt composition shingle roofing. Overall, the exterior finish materials appear to be in fair condition with no major signs of damage.

The site surfaces primarily consist of landscaping, concrete-paved walkways, and AC-paved parking lot. The concrete walkways are showing signs of cracking in several areas. Overall, the site surfaces are in fair condition.

### Mechanical Systems

The mechanical systems consist of split system air conditioning units, unit heaters, and ventilators. The conditioned air is distributed to the spaces via concealed hard duct and diffusers. Within the apparatus bay, a Plymovent system serves the vehicle exhaust. Overall, the mechanical systems appear to be in operable condition.

### Electrical Systems

Electrical power is provided by a pair of panelboards. The electrical equipment appears to be original to the building and is past its expected useful life.

The 10KW standby generator was manufactured in 2006 and will be past its expected useful life in the next nine years.

Interior and exterior lighting appears to be past its expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, gas piping, compressed air piping, sanitary waste piping and vent piping. The domestic hot water is provided by gas-fired water heater. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

The building is equipped with a fire sprinkler system throughout. Portable fire extinguishers were observed at key points in the building.

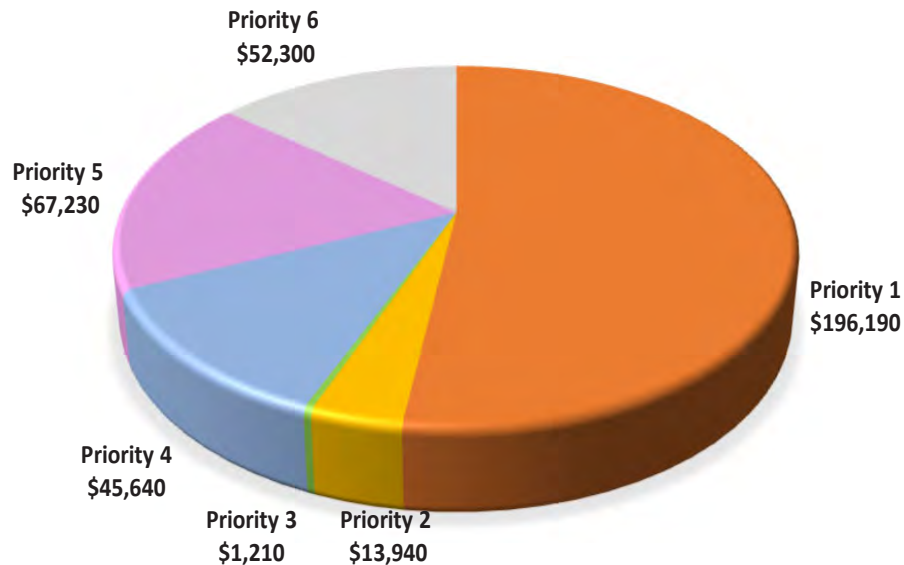
## Conclusion

For the Public Safety Main Fire Station 4, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Public Safety Main Fire Station 4						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$196,190	\$13,940	\$1,210	\$45,640	\$67,230	\$52,300	\$376,510
52.11%	3.70%	0.32%	12.12%	17.86%	13.89%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Public Safety Main Fire Station 4 (Southern Station)

<b>Capital Renewal Cost:</b>	<b>\$323,900</b>	FCI:	<b>0.071</b>
Replacement Cost:	<b>\$4,559,000</b>	Condition Score:	<b>B</b>
Replacement Cost/SF:	<b>\$1,491</b>	Condition Rating:	<b>FAIR</b>

CIP DEFICIENCY COST SUMMARY								
Construction Increase - Cumulative Escalation								
			8%	13%	18%	23%	28%	33%
Uniformat Code	Building System Class	Current Costs	Priority 1 0-12 Months	Priority 2 1-2 Years	Priority 3 2-3 Years	Priority 4 3-4 Years	Priority 5 4-5 Years	Priority 6 6-10 Years
C2030	FLOORING	\$35,670	-	-	-	\$14,630	\$30,440	-
D2010	DOMESTIC WATER DISTRIBUTION	\$12,260	-	\$13,860	-	-	-	-
D2060	PROCESS SUPPORT PLUMBING SYSTEMS	\$14,890	-	-	-	-	-	\$19,810
D3030	COOLING SYSTEMS	\$25,210	-	-	-	\$31,010	-	-
D3060	VENTILATION	\$5,950	-	-	-	-	-	\$7,920
D5010	FACILITY POWER GENERATION	\$18,470	-	-	-	-	-	\$24,570
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$9,080	\$9,820	-	-	-	-	-
D5040	LIGHTING	\$172,550	\$186,370	-	-	-	-	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	\$26,780	-	\$80	\$1,210	-	\$32,890	-
G2080	LANDSCAPING	\$3,040	-	-	-	-	\$3,900	-
TOTALS		\$323,900	\$196,190	\$13,940	\$1,210	\$45,640	\$67,230	\$52,300
TOTAL (Priority 1-6 without escalation)		\$323,900	\$376,510					
			TOTAL (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

**Public Safety Main Fire Station 4 (Southern Station)**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1242	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001		The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
1241	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001		The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
1771	D5040 - LIGHTING	D5040.50.302		The exterior light fixture is past its expected useful life.	Replace the existing light fixture with an LED lighting fixture.	5	EA	\$4,850	\$11,380	1
1158	D5040 - LIGHTING	D5040.50.411	1	Interior lighting system is past its expected useful life but operational and fixtures have no evidence of deterioration.	Provide new interior lighting and control system throughout building per current CEC T24 code.	3,058	SF	\$74,680	\$174,990	1
1243	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.002		Gas fired water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,650	\$13,860	2
1154	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.40.005	Pavement	Wood expansion joints have deteriorated or are missing.	Replace wood expansion joint material (up to 1 inch thick).	4	LF	\$30	\$80	2
1153	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.012	Pavement	Concrete pavement is worn.	Power wash concrete pavement.	800	SF	\$470	\$1,210	3
1156	C2030 - FLOORING	C2030.10.001	Apparatus Room	Concrete floor is showing signs of cracking and wear.	Repair and refinish the concrete floor.	800	SF	\$5,480	\$14,630	4
1247	D3030 - COOLING SYSTEMS	D3030.70.043		Split system with fan coil and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$11,620	\$31,010	4
1749	C2030 - FLOORING	C2030.75.001	Throughout	Carpet flooring is worn.	Replace carpet flooring.	1,000	SF	\$10,960	\$30,440	5
1157	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.006	Exterior	Areas of the concrete walkways and apron are cracking.	Replace concrete paving.	800	SF	\$11,840	\$32,890	5
1246	G2080 - LANDSCAPING	G2080.10.027		Irrigation Controller is approaching the end of its expected useful life.	Replace existing irrigation controller.	1	EA	\$1,400	\$3,900	5
1244	D2060 - PROCESS SUPPORT PLUMBING SYSTEMS	D2060.10.001		Air compressor is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6
1248	D3060 - VENTILATION	D3060.30.007		Ventilator is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$2,740	\$7,920	6

**City of Rohnert Park  
Facility Condition Assessment**

**Public Safety Main Fire Station 4 (Southern Station)**

**DEFICIENCY TABLE**

*(1) Deficiency Cost = Qty x Unit Cost*

*(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)*

*General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds*

*City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location*

*Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.*

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1249	D5010 - FACILITY POWER GENERATION	D5010.10.020		The natural gas standby generator is approaching the end of its expected useful life.	Replace the existing generator with an upsized new generator.	12	KW	\$8,510	\$24,570	6

**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main Fire Station 4 (Southern Station)**

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Record ID: 1153  
System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: G2030.10.012  
Floor/Room: Site / Pavement  
**Priority:** 3  
Quantity/Unit of Measure: 800/SF  
Total Deficiency Cost: \$1,210  
Deficiency Description: *Concrete pavement is worn.*

Description of Work: *Power wash concrete pavement.*

Comments:



Record ID: 1154  
System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: G2030.40.005  
Floor/Room: Site / Pavement  
**Priority:** 2  
Quantity/Unit of Measure: 4/LF  
Total Deficiency Cost: \$80  
Deficiency Description: *Wood expansion joints have deteriorated or are missing.*

Description of Work: *Replace wood expansion joint material (up to 1 inch thick).*

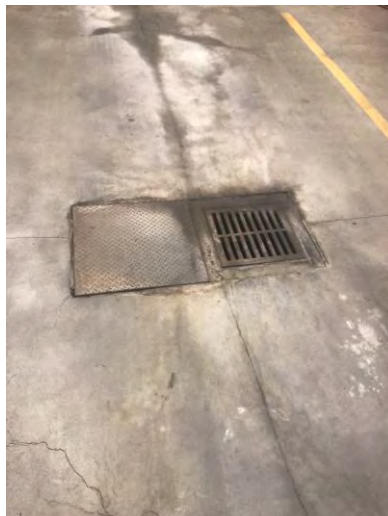
Comments:



Record ID: 1156  
System: C2030 - FLOORING  
Year Installed / Industry Life / Remaining Useful Life: - / 50 / -  
Item No.: C2030.10.001  
Floor/Room: 1 / Apparatus Room  
**Priority:** 4  
Quantity/Unit of Measure: 800/SF  
Total Deficiency Cost: \$14,630  
Deficiency Description: *Concrete floor is showing signs of cracking and wear.*

Description of Work: *Repair and refinish the concrete floor.*

Comments:





**City of Rohnert Park  
Facility Condition Assessment**

**Public Safety Main Fire Station 4 (Southern Station)**

Record ID: 1157  
 System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: G2030.10.006  
 Floor/Room: Site / Exterior  
**Priority:** 5  
 Quantity/Unit of Measure: 800/SF  
 Total Deficiency Cost: \$32,890  
 Deficiency Description: *Areas of the concrete walkways and apron are cracking.*



Description of Work: *Replace concrete paving.*

Comments:

Record ID: 1158  
 System: D5040 - LIGHTING  
 Year Installed / Industry Life / Remaining Useful Life: 1992 / 20 / -10  
 Item No.: D5040.50.411  
 Floor/Room: 1  
**Priority:** 1  
 Quantity/Unit of Measure: 3,058/SF  
 Total Deficiency Cost: \$174,990  
 Deficiency Description: *Interior lighting system is past its expected useful life but operational and fixtures have no evidence of deterioration.*



Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments:

Record ID: 1241  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1992 / 30 / 0  
 Item No.: D5020.30.4001  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$4,910  
 Deficiency Description: *The load center is past its expected useful life.*



Description of Work: *Replace the existing load center with a new load center.*

Comments:

## City of Rohnert Park Facility Condition Assessment

### Public Safety Main Fire Station 4 (Southern Station)

Record ID: 1242  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1992 / 30 / 0  
 Item No.: D5020.30.4001  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$4,910  
 Deficiency Description: *The load center is past its expected useful life.*

Description of Work: *Replace the existing load center with a new load center.*

Comments:



Record ID: 1243  
 System: D2010 - DOMESTIC WATER DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 2006 / 15 / -1  
 Item No.: D2010.20.002  
 Floor/Room:  
**Priority:** 2  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$13,860  
 Deficiency Description: *Gas fired water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1244  
 System: D2060 - PROCESS SUPPORT PLUMBING SYSTEMS  
 Year Installed / Industry Life / Remaining Useful Life: - / 25 / -  
 Item No.: D2060.10.001  
 Floor/Room:  
**Priority:** 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$19,810  
 Deficiency Description: *Air compressor is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Public Safety Main Fire Station 4 (Southern Station)**

Record ID: 1246  
 System: G2080 - LANDSCAPING

Year Installed / Industry Life / Remaining Useful Life: - / 15 / -

Item No.: G2080.10.027

Floor/Room:

**Priority:** 5

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$3,900

Deficiency Description: *Irrigation Controller is approaching the end of its expected useful life.*

Description of Work: *Replace existing irrigation controller.*

Comments:



Record ID: 1247  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2007 / 15 / 0

Item No.: D3030.70.043

Floor/Room:

**Priority:** 4

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$31,010

Deficiency Description: *Split system with fan coil and outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *System looks to be in great condition for manufacturer age.*



Record ID: 1248  
 System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: D3060.30.007

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$7,920

Deficiency Description: *Ventilator is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Public Safety Main Fire Station 4 (Southern Station)**

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Record ID: 1249  
System: D5010 - FACILITY POWER GENERATION

Year Installed / Industry Life / Remaining Useful Life: 2006 / 25 / 9

Item No.: D5010.10.020

Floor/Room: 7

Priority: 7

Quantity/Unit of Measure: 12/KW  
Total Deficiency Cost: \$24,570

Deficiency Description: *The natural gas standby generator is approaching the end of its expected useful life.*

Description of Work: *Replace the existing generator with an upsized new generator.*

Comments: *Manufactured in 2006.*



---

Record ID: 1749  
System: C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: C2030.75.001

Floor/Room: 2 / Throughout

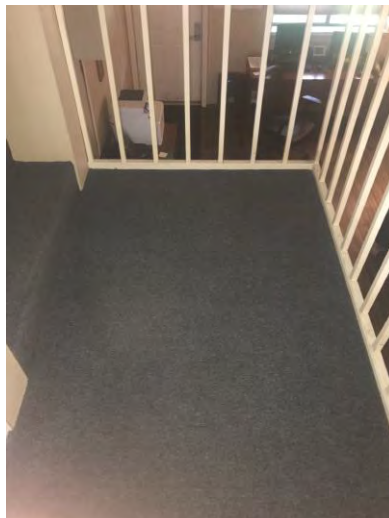
Priority: 5

Quantity/Unit of Measure: 1,000/SF  
Total Deficiency Cost: \$30,440

Deficiency Description: *Carpet flooring is worn.*

Description of Work: *Replace carpet flooring.*

Comments:



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Record ID: 1771  
System: D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: D5040.50.302

Floor/Room: 1

Priority: 1

Quantity/Unit of Measure: 5/EA  
Total Deficiency Cost: \$11,380

Deficiency Description: *The exterior light fixture is past its expected useful life.*

Description of Work: *Replace the existing light fixture with an LED lighting fixture.*

Comments:

PHOTO  
NOT  
APPLICABLE

# Public Works Corporation Yard Shop

## Detailed Report

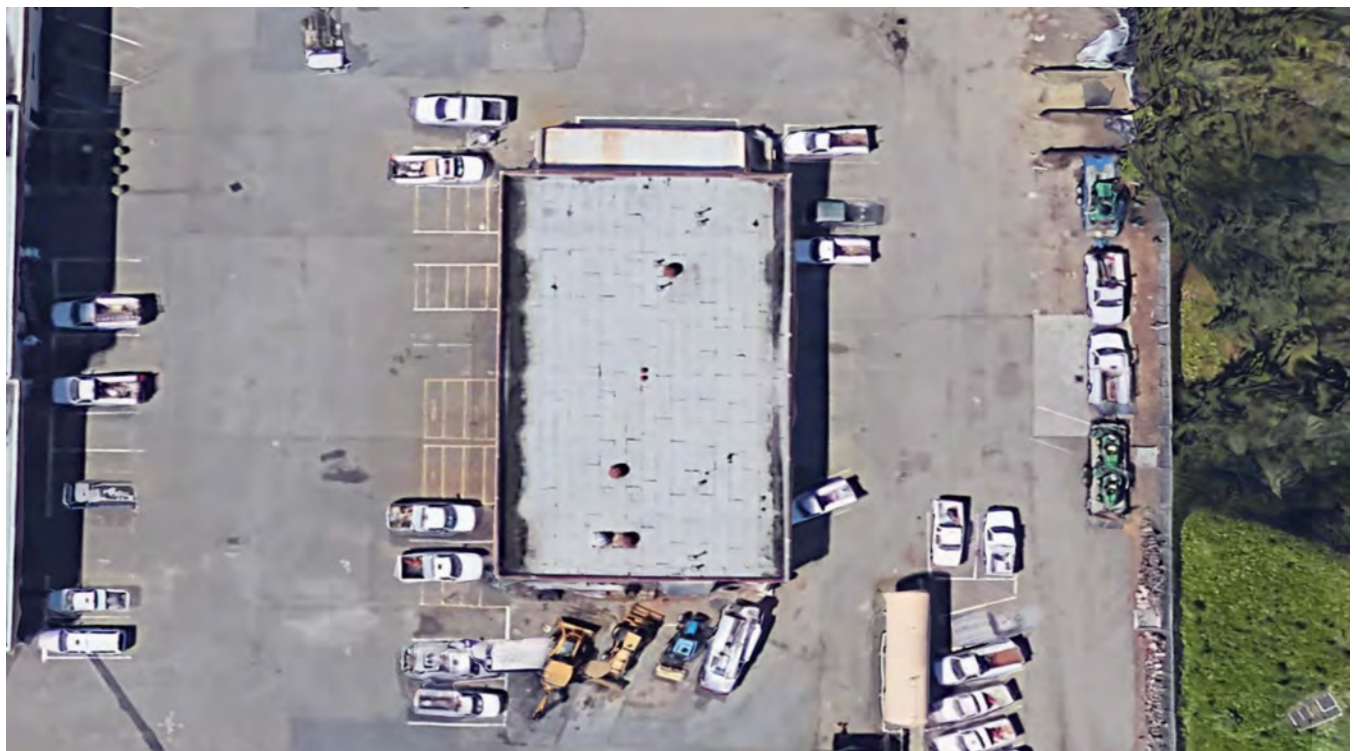
**Address: 600 Enterprise Drive, Rohnert Park, CA 94928**

### Statistics

Year Built:	1975
Building Additions:	N/A
Building Area:	5,141 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$502,480</b>
FCI:	0.116
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$4,348,000
Replacement Cost/SF:	\$846



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## Assessment Descriptions

### Architectural Elements

Built in 1975, the Public Works Corporation Yard Shop is a 5,141 SF, single-story, portable structure located adjacent to the Public Works Corporation Yard Warehouse on Enterprise Drive. The interior spaces consist of an equipment storage area accessible via roll-up doors, offices, restrooms, and the department's fleet shop.

The interior finish materials consist of vinyl composition tile flooring, painted gypsum board wall and ceiling, epoxy flooring, and fiberglass reinforced panel walls. The epoxy flooring and fiberglass reinforced paneling finishes show signs of wear and the concrete masonry block wall appears to be showing signs of efflorescence. It is recommended these finishes be replaced or repaired within the next five years. Overall, the interior finish materials are in fair condition.

The exterior finish materials consist of wood board siding, ceramic tile, metal siding, sheet metal roofing, and modified-bituminous roofing. The modified-bituminous roofing is generally in fair to poor condition, however there is evidence of ponding along the perimeter of the roof which is causing water to leak into the building. It is recommended the roof be replaced in its entirety within the next few years. Overall, the exterior finish materials are in fair condition.

The site surfaces primarily consist of concrete-paved walkways and AC paving in the surrounding parking lot. The concrete walkways and AC paving parking lots are generally in fair condition with signs of minor weathering.

### Mechanical Systems

The mechanical systems consist of unit heaters and window mounted air conditioning unit. Overall, the mechanical systems appear to be in operable condition.

### Electrical Systems

Electrical power is distributed via several panelboards and load centers. The electrical equipment appears to be past its expected useful life.

Interior and exterior lighting also appears to be past its expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, sanitary waste piping and vent piping. The domestic hot water is provided by electric water heater. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

The building is equipped with a fire sprinkler system throughout. Portable fire extinguishers were observed at key points in the building.

A fire alarm system was observed on site and appears to be in operable condition.

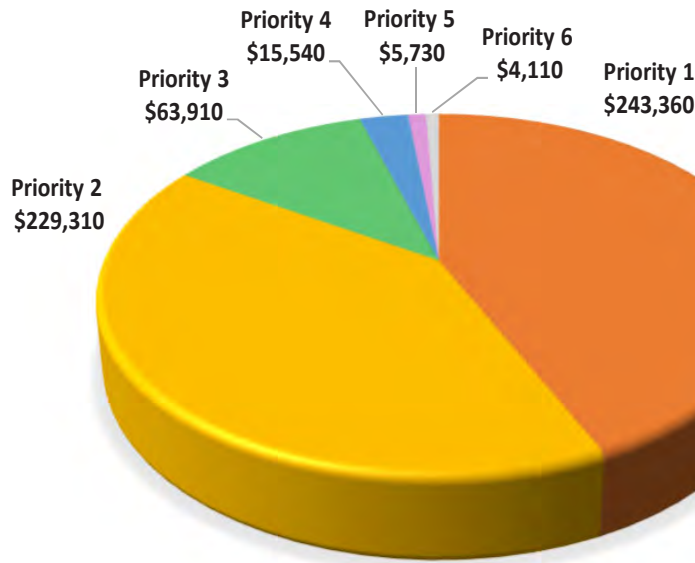
## Conclusion

For the Public Works Corporation Yard Shop, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Public Works Corporation Yard Shop						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$243,360	\$229,310	\$63,910	\$15,540	\$5,730	\$4,110	\$561,960
43.31%	40.81%	11.37%	2.77%	1.02%	0.73%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Public Works Corporation Yard Shop

<b>Capital Renewal Cost:</b>	<b>\$502,480</b>	FCI:	<b>0.116</b>
Replacement Cost:	<b>\$4,348,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$846</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B1020	ROOF CONSTRUCTION	\$1,200	\$1,300	-	-	-	-	-
B2010	EXTERIOR WALLS	\$4,240	\$830	-	\$4,110	-	-	-
B2050	EXTERIOR DOORS AND GRILLES	\$7,450	-	\$8,420	-	-	-	-
B3010	ROOFING	\$188,320	-	\$212,820	-	-	-	-
B3020	ROOF APPURTENANCES	\$1,130	\$1,230	-	-	-	-	-
C2010	WALL FINISHES	\$7,140	-	-	\$8,430	-	-	-
C2030	FLOORING	\$7,740	\$340	-	\$3,500	-	\$5,730	-
D2010	DOMESTIC WATER DISTRIBUTION	\$4,590	-	-	\$1,780	-	-	\$4,110
D3020	HEATING SYSTEMS	\$33,090	-	-	\$39,060	-	-	-
D3030	COOLING SYSTEMS	\$5,950	-	-	\$7,030	-	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$67,970	\$73,450	-	-	-	-	-
D5040	LIGHTING	\$145,100	\$143,070	-	-	\$15,540	-	-
E2010	FIXED FURNISHINGS	\$7,140	-	\$8,070	-	-	-	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	\$21,420	\$23,140	-	-	-	-	-
<b>TOTALS</b>		<b>\$502,480</b>	<b>\$243,360</b>	<b>\$229,310</b>	<b>\$63,910</b>	<b>\$15,540</b>	<b>\$5,730</b>	<b>\$4,110</b>
TOTAL (Priority 1-6 without escalation)		<b>\$502,480</b>	<b>\$561,960</b>					
			TOTAL (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

**Public Works Corporation Yard Shop**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engine Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
721	B1020 - ROOF CONSTRUCTION	B1020.10.004	Exterior	The roof beam appears to be rotted.	Replace the roof beam.	2	EA	\$550	\$1,300	1
722	B2010 - EXTERIOR WALLS	B2010.20.005	1	CMU walls are showing signs of wear due to water penetration.	Clean CMU walls.	100	SF	\$350	\$830	1
718	B3020 - ROOF APPURTENANCES	B3020.70.001	Exterior	Rain gutters are damaged.	Replace rain gutters.	25	LF	\$520	\$1,230	1
724	C2030 - FLOORING	C2030.90.001	Restroom	Vinyl wall base is approaching the end of its useful life.	Replace the vinyl wall base.	20	LF	\$140	\$340	1
466	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.217		The 75kVA transformer (3P dry-type, 480-120/208V) is approaching the end of its expected useful life.	Replace the existing transformer with a new transformer.	1	EA	\$7,060	\$16,550	1
728	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
465	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008		The 225A (120/208, 3P) panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
457	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001		The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
464	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001		The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
725	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001		The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
723	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001		The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
731	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.9021		The conduit falling off the wall and needs to be properly supported.	Install/ replace the existing conduit with new conduit.	5	LF	\$50	\$120	1
732	D5040 - LIGHTING	D5040.50.411	Throughout	The interior light fixtures are past their expected useful life.	Replace existing fixtures with LED fixtures.	2,500	SF	\$61,060	\$143,070	1
727	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.30.009	Attic	Stairs are missing.	Install entire new wood stair system, including steps, handrails, and landings.	60	LFNS	\$9,870	\$23,140	1
715	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.001	Exterior	Exterior wood entrance door is approaching the end of its useful life.	Replace wood door.	1	EA	\$3,430	\$8,420	2

**City of Rohnert Park  
Facility Condition Assessment**

**Public Works Corporation Yard Shop**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
714	B3010 - ROOFING	B3010.50.004	Roof	Single-ply (modified bitumen) roofing is at or approaching the end of its useful life.	Replace single-ply (modified bitumen) roofing.	5,500	SF	\$86,660	\$212,460	2
719	B3010 - ROOFING	B3010.90.010	Exterior	The wood fascia shows signs of deterioration.	Selectively remove deteriorated fascia and replace with new material to match.	10	LF	\$140	\$360	2
726	E2010 - FIXED FURNISHINGS	E2010.30.008	Restroom	Plastic laminate base cabinet (with countertop) is in poor condition.	Remove and replace with new plastic laminate base cabinet and countertop.	6	LF	\$3,290	\$8,070	2
720	B2010 - EXTERIOR WALLS	B2010.10.001	Exterior	Plywood siding is approaching the end of its useful life.	Remove and replace the existing plywood siding with new plywood siding. Prime and paint.	200	SF	\$1,380	\$3,540	3
730	B2010 - EXTERIOR WALLS	B2010.10.012	Exterior	Top of metal siding panel is damaged.	Repair metal siding panel.	10	SF	\$220	\$570	3
736	C2010 - WALL FINISHES	C2010.20.003	Restroom	Fiberglass reinforced paneling is at or approaching the end of its useful life.	Replace the fiberglass reinforced paneling.	400	SF	\$3,290	\$8,430	3
733	C2030 - FLOORING	C2030.50.001	Office	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	132	SF	\$1,360	\$3,500	3
468	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.60.035		Eyewash station is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$690	\$1,780	3
463	D3020 - HEATING SYSTEMS	D3020.70.003		Unit heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,080	\$13,020	3
461	D3020 - HEATING SYSTEMS	D3020.70.003		Unit heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,080	\$13,020	3
460	D3020 - HEATING SYSTEMS	D3020.70.003		Unit heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,080	\$13,020	3
462	D3030 - COOLING SYSTEMS	D3030.70.032		Wall mounted AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$2,740	\$7,030	3
1772	D5040 - LIGHTING	D5040.50.302		The exterior light fixture is past its expected useful life.	Replace the existing light fixture with an LED lighting fixture.	6	EA	\$5,820	\$15,540	4
735	C2030 - FLOORING	C2030.10.002	Restroom	Epoxy is approaching the end of its useful life.	Remove the existing epoxy and replace.	100	SF	\$2,060	\$5,730	5

**City of Rohnert Park  
Facility Condition Assessment**

**Public Works Corporation Yard Shop**

**DEFICIENCY TABLE**

*(1) Deficiency Cost = Qty x Unit Cost*

*(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)*

*General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds*

*City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location*

*Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.*

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
454	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.020		Electric water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$1,420	\$4,110	6

## City of Rohnert Park Facility Condition Assessment

### Public Works Corporation Yard Shop

Record ID: 454  
System: D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: - / 15 / -

Item No.: D2010.20.020

Floor/Room:

Priority: 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$4,110

Deficiency Description: *Electric water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 457  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1975 / 30 / -17

Item No.: D5020.30.4001

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$4,910

Deficiency Description: *The load center is past its expected useful life.*

Description of Work: *Replace the existing load center with a new load center.*

Comments:



Record ID: 460  
System: D3020 - HEATING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: D3020.70.003

Floor/Room:

Priority: 3

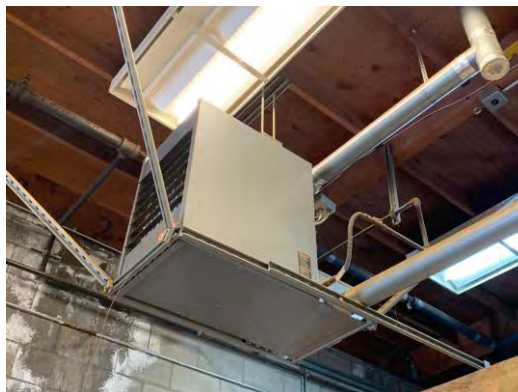
Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$13,020

Deficiency Description: *Unit heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Public Works Corporation Yard Shop**

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Record ID 461  
System D3020 - HEATING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. D3020.70.003

Floor/Room:

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$13,020  
Deficiency Description: *Unit heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 462  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 10 / -

Item No. D3030.70.032

Floor/Room:

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$7,030  
Deficiency Description: *Wall mounted AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 463  
System D3020 - HEATING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. D3020.70.003

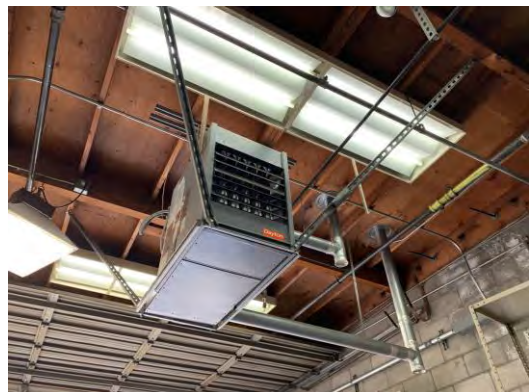
Floor/Room:

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$13,020  
Deficiency Description: *Unit heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Public Works Corporation Yard Shop**

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Record ID 464  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 1975 / 30 / -17  
Item No. D5020.30.4001  
Floor/Room:  
**Priority: 1**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$4,910  
Deficiency Description: *The load center is past its expected useful life.*  
  
Description of Work: *Replace the existing load center with a new load center.*  
  
Comments:



Record ID 465  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 1975 / 30 / -17  
Item No. D5020.30.1008  
Floor/Room:  
**Priority: 1**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$18,570  
Deficiency Description: *The 225A (120/208, 3P) panelboard is past its expected useful life.*  
  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
  
Comments:



Record ID 466  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 1975 / 30 / -17  
Item No. D5020.10.217  
Floor/Room:  
**Priority: 1**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$16,550  
Deficiency Description: *The 75kVA transformer (3P dry-type, 480-120/208V) is approaching the end of its expected useful life.*  
  
Description of Work: *Replace the existing transformer with a new transformer.*  
  
Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Public Works Corporation Yard Shop**

Record ID: 468  
System: D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: D2010.60.035

Floor/Room:

Priority: 3

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$1,780

Deficiency Description: *Eyewash station is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 714  
System: B3010 - ROOFING

Year Installed / Industry Life / Remaining Useful Life: - / 10 / -

Item No.: B3010.50.004

Floor/Room: Roof

Priority: 2

Quantity/Unit of Measure: 5,500/SF

Total Deficiency Cost: \$212,460

Deficiency Description: *Single-ply (modified bitumen) roofing is at or approaching the end of its useful life.*

Description of Work: *Replace single-ply (modified bitumen) roofing.*

Comments:



Record ID: 715  
System: B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life: - / 75 / -

Item No.: B2050.10.001

Floor/Room: 1 / Exterior

Priority: 2

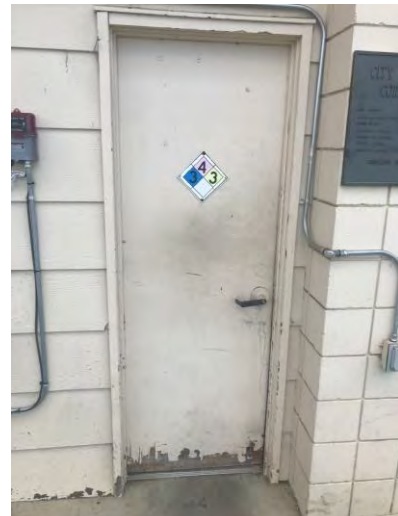
Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$8,420

Deficiency Description: *Exterior wood entrance door is approaching the end of its useful life.*

Description of Work: *Replace wood door.*

Comments:





**City of Rohnert Park  
Facility Condition Assessment**

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**Public Works Corporation Yard Shop**

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Record ID                                718  
System                                    B3020 - ROOF APPURTENANCES

Year Installed / Industry Life / Remaining Useful Life    - / 30 / -

Item No.                                 B3020.70.001

Floor/Room:                          Roof / Exterior

**Priority:**                                 1

Quantity/Unit of Measure:        25/LF

Total Deficiency Cost:            \$1,230

Deficiency Description:            *Rain gutters are damaged.*

Description of Work:                *Replace rain gutters.*

Comments:



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Record ID                                719  
System                                    B3010 - ROOFING

Year Installed / Industry Life / Remaining Useful Life    - / 20 / -

Item No.                                 B3010.90.010

Floor/Room:                          Roof / Exterior

**Priority:**                                 2

Quantity/Unit of Measure:        10/LF

Total Deficiency Cost:            \$360

Deficiency Description:            *The wood fascia shows signs of deterioration.*

Description of Work:                *Selectively remove deteriorated fascia and replace with new material to match.*

Comments:



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Record ID                                720  
System                                    B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life    - / 30 / -

Item No.                                 B2010.10.001

Floor/Room:                          1 / Exterior

**Priority:**                                 3

Quantity/Unit of Measure:        200/SF

Total Deficiency Cost:            \$3,540

Deficiency Description:            *Plywood siding is approaching the end of its useful life.*

Description of Work:                *Remove and replace the existing plywood siding with new plywood siding. Prime and paint.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Public Works Corporation Yard Shop**

Record ID: 721  
 System: B1020 - ROOF CONSTRUCTION  
 Year Installed / Industry Life / Remaining Useful Life: - / 50 / -  
 Item No.: B1020.10.004  
 Floor/Room: Roof / Exterior  
**Priority:** 1  
 Quantity/Unit of Measure: 2/EA  
 Total Deficiency Cost: \$1,300  
 Deficiency Description: *The roof beam appears to be rotted.*



Description of Work: *Replace the roof beam.*

Comments: *Potential water damage.*

Record ID: 722  
 System: B2010 - EXTERIOR WALLS  
 Year Installed / Industry Life / Remaining Useful Life: - / 50 / -  
 Item No.: B2010.20.005  
 Floor/Room: 1  
**Priority:** 1  
 Quantity/Unit of Measure: 100/SF  
 Total Deficiency Cost: \$830  
 Deficiency Description: *CMU walls are showing signs of wear due to water penetration.*



Description of Work: *Clean CMU walls.*

Comments:

Record ID: 723  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1975 / 30 / -17  
 Item No.: D5020.30.4001  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$4,910  
 Deficiency Description: *The load center is past its expected useful life.*



Description of Work: *Replace the existing load center with a new load center.*

Comments:

**City of Rohnert Park  
Facility Condition Assessment**

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**Public Works Corporation Yard Shop**

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Record ID: 724  
System: C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: C2030.90.001  
Floor/Room: 1 / Restroom  
**Priority:** 1  
Quantity/Unit of Measure: 20/LF  
Total Deficiency Cost: \$340  
Deficiency Description: *Vinyl wall base is approaching the end of its useful life.*

Description of Work: *Replace the vinyl wall base.*

Comments:



Record ID: 725  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
  
Year Installed / Industry Life / Remaining Useful Life: 1975 / 30 / -17  
Item No.: D5020.30.4001  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$4,910  
Deficiency Description: *The load center is past its expected useful life.*

Description of Work: *Replace the existing load center with a new load center.*

Comments:



Record ID: 726  
System: E2010 - FIXED FURNISHINGS  
  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: E2010.30.008  
Floor/Room: 1 / Restroom  
**Priority:** 2  
Quantity/Unit of Measure: 6/LF  
Total Deficiency Cost: \$8,070  
Deficiency Description: *Plastic laminate base cabinet (with countertop) is in poor condition.*

Description of Work: *Remove and replace with new plastic laminate base cabinet and countertop.*

Comments:



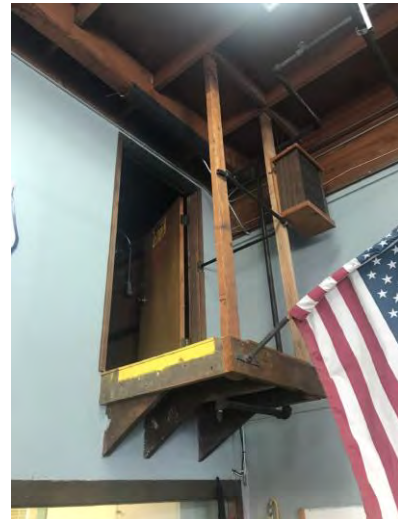
**City of Rohnert Park  
Facility Condition Assessment**

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**Public Works Corporation Yard Shop**

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Record ID: 727  
System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: G2030.30.009  
Floor/Room: 1 / Attic  
**Priority:** 1  
Quantity/Unit of Measure: 60/LFNS  
Total Deficiency Cost: \$23,140  
Deficiency Description: *Stairs are missing.*



Description of Work: *Install entire new wood stair system, including steps, handrails, and landings.*

Comments:

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Record ID: 728  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1975 / 30 / -17  
Item No.: D5020.30.1008  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$18,570  
Deficiency Description: *The panelboard is past its expected useful life.*



Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:

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Record ID: 730  
System: B2010 - EXTERIOR WALLS  
Year Installed / Industry Life / Remaining Useful Life: - / 15 / -  
Item No.: B2010.10.012  
Floor/Room: Roof / Exterior  
**Priority:** 3  
Quantity/Unit of Measure: 10/SF  
Total Deficiency Cost: \$570  
Deficiency Description: *Top of metal siding panel is damaged.*



Description of Work: *Repair metal siding panel.*

Comments:

**City of Rohnert Park  
Facility Condition Assessment**

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**Public Works Corporation Yard Shop**

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Record ID: 731  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: - / 50 / -  
Item No.: D5020.30.9021  
Floor/Room:   
**Priority:** 1  
Quantity/Unit of Measure: 5/LF  
Total Deficiency Cost: \$120  
Deficiency Description: *The conduit falling off the wall and needs to be properly supported.*  
  
Description of Work: *Install/ replace the existing conduit with new conduit.*  
  
Comments:



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Record ID: 732  
System: D5040 - LIGHTING  
Year Installed / Industry Life / Remaining Useful Life: 1975 / 20 / -27  
Item No.: D5040.50.411  
Floor/Room: 1 / Throughout  
**Priority:** 1  
Quantity/Unit of Measure: 2,500/SF  
Total Deficiency Cost: \$143,070  
Deficiency Description: *The interior light fixtures are past their expected useful life.*  
  
Description of Work: *Replace existing fixtures with LED fixtures.*  
  
Comments: *Diffusers missing.*



---

Record ID: 733  
System: C2030 - FLOORING  
Year Installed / Industry Life / Remaining Useful Life: - / 60 / -  
Item No.: C2030.50.001  
Floor/Room: 1 / Office  
**Priority:** 3  
Quantity/Unit of Measure: 132/SF  
Total Deficiency Cost: \$3,500  
Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*  
  
Description of Work: *Remove the existing vinyl composition tile and replace.*  
  
Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Public Works Corporation Yard Shop**

Record ID: 735  
 System: C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life: - / 40 / -

Item No.: C2030.10.002  
 Floor/Room: 1 / Restroom

**Priority:** 5

Quantity/Unit of Measure: 100/SF  
 Total Deficiency Cost: \$5,730  
 Deficiency Description: *Epoxy is approaching the end of its useful life.*

Description of Work: *Remove the existing epoxy and replace.*

Comments:



Record ID: 736  
 System: C2010 - WALL FINISHES

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: C2010.20.003  
 Floor/Room: 1 / Restroom

**Priority:** 3

Quantity/Unit of Measure: 400/SF  
 Total Deficiency Cost: \$8,430  
 Deficiency Description: *Fiberglass reinforced paneling is at or approaching the end of its useful life.*

Description of Work: *Replace the fiberglass reinforced paneling.*

Comments:



Record ID: 1772  
 System: D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life: 1975 / 20 / -27

Item No.: D5040.50.302  
 Floor/Room:

**Priority:** 4

Quantity/Unit of Measure: 6/EA  
 Total Deficiency Cost: \$15,540  
 Deficiency Description: *The exterior light fixture is past its expected useful life.*

Description of Work: *Replace the existing light fixture with an LED lighting fixture.*

Comments: *Diffuser discolored.*



# Public Works Corporation Yard Warehouse

## Detailed Report

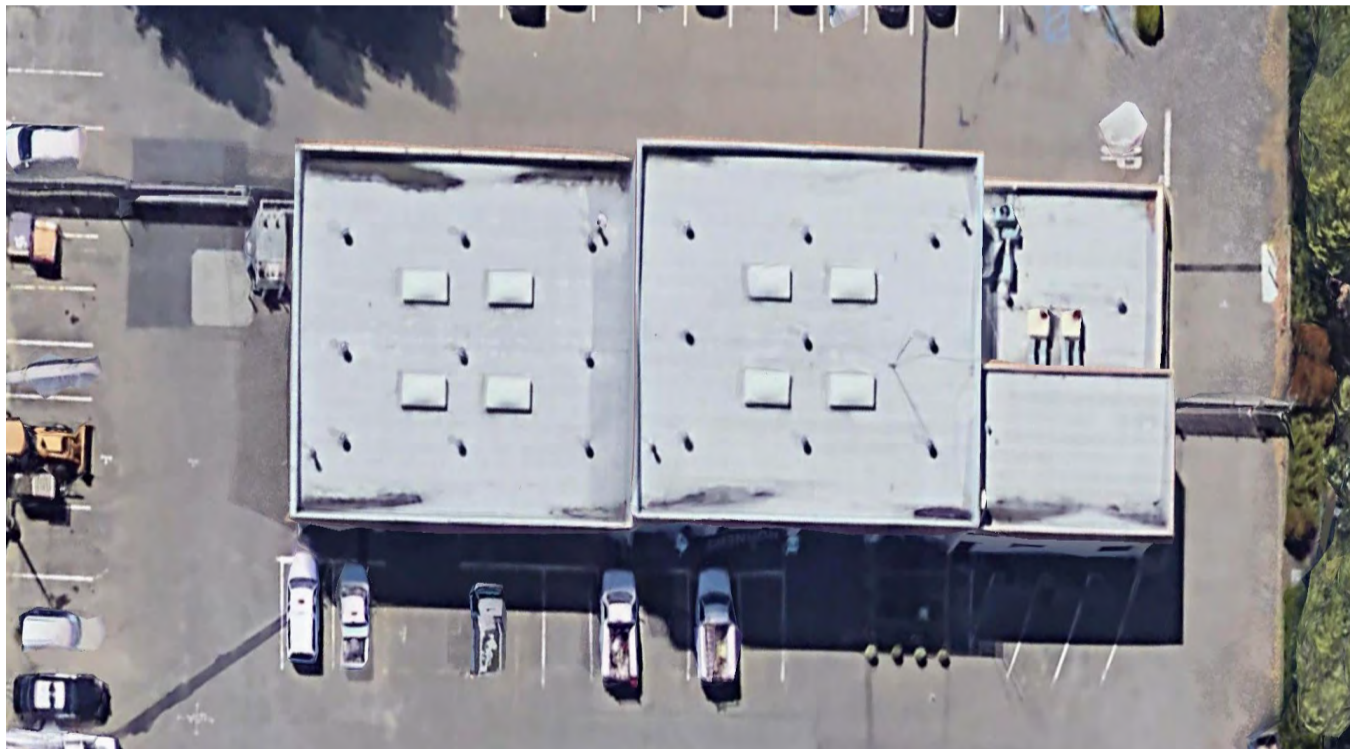
**Address: 600 Enterprise Drive, Rohnert Park, CA 94928**

### Statistics

Year Built:	1982
Building Additions:	N/A
Building Area:	8,904 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$511,230</b>
FCI:	0.074
Condition Score:	B
Condition Rating:	Fair
Replacement Cost:	\$6,892,000
Replacement Cost/SF:	\$774



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## Assessment Descriptions

### Architectural Elements

Built in 1982, the Public Works Corporation Yard Warehouse is a 8,904 SF, wood-frame structure located adjacent to the Public Works Corporation Yard Shop on Enterprise Drive. The interior spaces consist of warehouse storage spaces, offices, and restrooms.

The interior finish materials consist of vinyl composition tile flooring, carpet flooring, linoleum flooring, epoxy flooring, and painted gypsum are wall and ceiling. The flooring materials were generally showing signs of wear and are recommended for replacement within the next five years.

The exterior finish materials consist of wood board siding, ceramic tile walls, metal siding, and single-ply roofing. The roof was unable to be accessed at the time of the assessment. Overall, the exterior finish materials are in fair condition.

The site surfaces primarily consist of concrete-paved walkways and AC paving in the surrounding parking lot. The concrete walkways and AC paving parking lots are generally in fair condition with signs of minor weathering.

### Mechanical Systems

The mechanical systems consist of packaged air conditioning units, split system units, unit heaters, and window mounted air conditioning units. The conditioned air is distributed to the spaces via concealed hard duct and diffusers. Overall, the mechanical systems appear to be in operable condition.

### Electrical Systems

Electrical power appears to be distributed by two panelboards and a single load center. The electrical equipment appears to be past its expected useful life.

Excluding the newly renovated office areas the interior and exterior lighting system also appears to be past its expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold-water piping, gas piping, compressed air piping, sanitary waste piping and vent piping. A fuel station was observed on site. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

The building is equipped with a fire sprinkler system throughout. Portable fire extinguishers were observed at key points of the building.



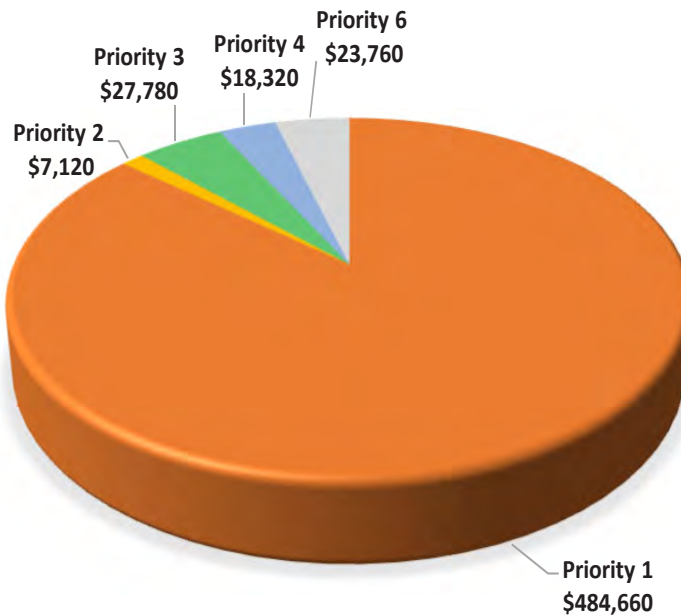
## Conclusion

For the Public Works Corporation Yard Warehouse, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Public Works Corporation Yard Warehouse						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$484,660	\$7,120	\$27,780	\$18,320	\$0	\$23,760	\$561,640
86.29%	1.27%	4.95%	3.26%	0.00%	4.23%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Public Works Corporation Yard Warehouse

<b>Capital Renewal Cost:</b>	<b>\$511,230</b>	FCI:	<b>0.074</b>
Replacement Cost:	<b>\$6,892,000</b>	Condition Score:	<b>B</b>
Replacement Cost/SF:	<b>\$774</b>	Condition Rating:	<b>FAIR</b>

CIP DEFICIENCY COST SUMMARY								
Construction Increase - Cumulative Escalation								
			8%	13%	18%	23%	28%	33%
Uniformat Code	Building System Class	Current Costs	Priority 1 0-12 Months	Priority 2 1-2 Years	Priority 3 2-3 Years	Priority 4 3-4 Years	Priority 5 4-5 Years	Priority 6 6-10 Years
B2050	EXTERIOR DOORS AND GRILLES	\$140	-	-	\$180	-	-	-
B3080	OVERHEAD EXTERIOR ENCLOSURES	\$1,020	-	-	\$1,210	-	-	-
C1010	INTERIOR PARTITIONS	\$1,260	-	\$720	\$750	-	-	-
C2010	WALL FINISHES	\$1,870	-	\$2,120	-	-	-	-
C2030	FLOORING	\$24,210	-	\$4,280	\$24,140	-	-	-
C2050	CEILING FINISHES	\$1,260	-	-	\$1,500	-	-	-
D3030	COOLING SYSTEMS	\$48,000	\$16,490	-	-	\$18,320	-	\$23,760
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$38,920	\$42,050	-	-	-	-	-
D5040	LIGHTING	\$211,940	\$228,900	-	-	-	-	-
D7050	DETECTION AND ALARM	\$182,610	\$197,220	-	-	-	-	-
TOTALS		\$511,230	\$484,660	\$7,120	\$27,780	\$18,320	-	\$23,760
TOTAL (Priority 1-6 without escalation)		\$511,230	\$561,640					
			TOTAL (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

**Public Works Corporation Yard Warehouse**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engine Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
478	D3030 - COOLING SYSTEMS	D3030.70.002		Split system with wall mounted AC and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$7,030	\$16,490	1
477	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
480	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008		The 225A panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
475	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001		The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
1773	D5040 - LIGHTING	D5040.50.411		Interior lighting system is past its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	4,000	SF	\$97,690	\$228,900	1
474	D7050 - DETECTION AND ALARM	D7050.10.025		The existing fire alarm system is past its expected useful life.	Replace the existing fire alarm system with a complete, site-wide, fully addressable fire alarm system.	8,904	SF	\$84,170	\$197,220	1
749	C1010 - INTERIOR PARTITIONS	C1010.10.001	Storage	Painted gypsum wallboard is in poor condition with several cracks.	Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.	100	SF	\$290	\$720	2
746	C2010 - WALL FINISHES	C2010.70.001	1	Painted gypsum wallboard is showing signs of wear.	Patch and paint the gypsum wallboard.	100	SF	\$860	\$2,120	2
744	C2030 - FLOORING	C2030.50.002	Restroom	Linoleum flooring is showing signs of wear.	Replace linoleum flooring.	100	SF	\$1,740	\$4,280	2
740	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.008	Exterior	Exterior aluminum door is damaged or deteriorating.	Refurbish/repair aluminum door.	1	EA	\$30	\$90	3
748	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.008	Exterior	Exterior aluminum door is damaged or deteriorating.	Refurbish/repair aluminum door.	1	EA	\$30	\$90	3
756	B3080 - OVERHEAD EXTERIOR ENCLOSURES	B3080.20.002	Exterior	Soffit is damaged.	Replace gypsum board soffit.	40	LF	\$470	\$1,210	3
745	C1010 - INTERIOR PARTITIONS	C1010.10.001	1	Painted gypsum wallboard is in poor condition with several cracks.	Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.	100	SF	\$290	\$750	3

**City of Rohnert Park  
Facility Condition Assessment**

**Public Works Corporation Yard Warehouse**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
750	C2030 - FLOORING	C2030.10.002	Restroom	Epoxy is approaching the end of its useful life.	Remove the existing epoxy and replace.	100	SF	\$2,060	\$5,280	3
751	C2030 - FLOORING	C2030.10.002	Restroom	Epoxy is approaching the end of its useful life.	Remove the existing epoxy and replace.	100	SF	\$2,060	\$5,280	3
737	C2030 - FLOORING	C2030.50.001	Office	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	200	SF	\$2,060	\$5,280	3
759	C2030 - FLOORING	C2030.50.001	1	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	100	SF	\$1,030	\$2,650	3
742	C2030 - FLOORING	C2030.75.001	Stairs	Carpet flooring is showing signs of wear.	Replace carpet flooring.	200	SF	\$2,200	\$5,650	3
753	C2050 - CEILING FINISHES	C2050.70.001	Hallway	Paint is approaching the end of its useful life.	Paint the ceiling and/or walls (prime + 2 finish coats).	100	SF	\$290	\$750	3
754	C2050 - CEILING FINISHES	C2050.70.001	1	Paint is approaching the end of its useful life.	Paint the ceiling and/or walls (prime + 2 finish coats).	100	SF	\$290	\$750	3
455	D3030 - COOLING SYSTEMS	D3030.10.017		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$18,320	4
479	D3030 - COOLING SYSTEMS	D3030.70.032		Wall mounted AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$2,740	\$7,920	6
476	D3030 - COOLING SYSTEMS	D3030.70.032		Wall mounted AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$2,740	\$7,920	6
471	D3030 - COOLING SYSTEMS	D3030.70.032		Wall mounted AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$2,740	\$7,920	6

**City of Rohnert Park  
Facility Condition Assessment**

**Public Works Corporation Yard Warehouse**

Record ID: 455  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2013 / 15 / 6

Item No.: D3030.10.017

Floor/Room:

Priority: 4

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,320

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 471  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: - / 10 / -

Item No.: D3030.70.032

Floor/Room:

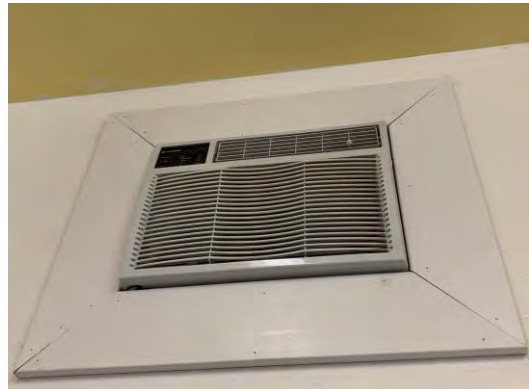
Priority: 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$7,920

Deficiency Description: *Wall mounted AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 474  
 System: D7050 - DETECTION AND ALARM

Year Installed / Industry Life / Remaining Useful Life: 1982 / 15 / -25

Item No.: D7050.10.025

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 8,904/SF  
 Total Deficiency Cost: \$197,220

Deficiency Description: *The existing fire alarm system is past its expected useful life.*

Description of Work: *Replace the existing fire alarm system with a complete, site-wide, fully addressable fire alarm system.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Public Works Corporation Yard Warehouse**

Record ID: 475  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1982 / 30 / -10  
 Item No.: D5020.30.4001  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$4,910  
 Deficiency Description: *The load center is past its expected useful life.*  
 Description of Work: *Replace the existing load center with a new load center.*  
 Comments:



Record ID: 476  
 System: D3030 - COOLING SYSTEMS  
 Year Installed / Industry Life / Remaining Useful Life: - / 10 / -  
 Item No.: D3030.70.032  
 Floor/Room:  
**Priority:** 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$7,920  
 Deficiency Description: *Wall mounted AC unit is approaching the end of its expected useful life.*  
 Description of Work: *Provide equipment replacement and installation.*  
 Comments:



Record ID: 477  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1982 / 30 / -10  
 Item No.: D5020.30.1008  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,570  
 Deficiency Description: *The panelboard is past its expected useful life.*  
 Description of Work: *Replace the existing panelboard with a new panelboard.*  
 Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Public Works Corporation Yard Warehouse**

Record ID 478  
 System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. D3030.70.002

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$16,490  
 Deficiency Description: *Split system with wall mounted AC and outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Abandoned unit - fan coil still on roof*



Record ID 479  
 System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 10 / -

Item No. D3030.70.032

Floor/Room:

Priority: 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$7,920  
 Deficiency Description: *Wall mounted AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 480  
 System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life 1982 / 30 / -10

Item No. D5020.30.1008

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,570  
 Deficiency Description: *The 225A panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:





**City of Rohnert Park  
Facility Condition Assessment**

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**Public Works Corporation Yard Warehouse**

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Record ID 737  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.50.001

Floor/Room: 1 / Office

Priority: 3

Quantity/Unit of Measure: 200/SF

Total Deficiency Cost: \$5,280

Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



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Record ID 740  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. B2050.10.008

Floor/Room: 1 / Exterior

Priority: 3

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$90

Deficiency Description: *Exterior aluminum door is damaged or deteriorating.*

Description of Work: *Refurbish/repair aluminum door.*

Comments:



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Record ID 742  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. C2030.75.001

Floor/Room: / Stairs

Priority: 3

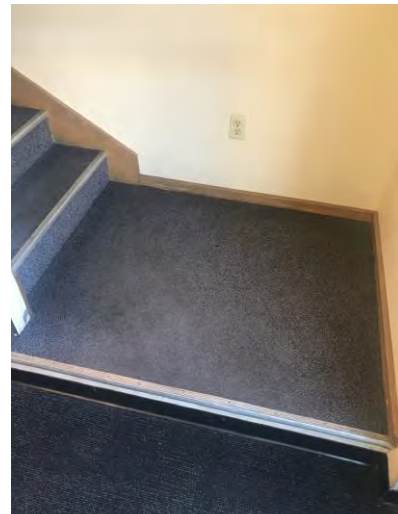
Quantity/Unit of Measure: 200/SF

Total Deficiency Cost: \$5,650

Deficiency Description: *Carpet flooring is showing signs of wear.*

Description of Work: *Replace carpet flooring.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Public Works Corporation Yard Warehouse**

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Record ID: 744  
System: C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life: - / 60 / -  
Item No.: C2030.50.002  
Floor/Room: 1 / Restroom  
**Priority:** 2  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$4,280  
Deficiency Description: *Linoleum flooring is showing signs of wear.*



Description of Work: *Replace linoleum flooring.*

Comments:

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Record ID: 745  
System: C1010 - INTERIOR PARTITIONS  
  
Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
Item No.: C1010.10.001  
Floor/Room: 1  
**Priority:** 3  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$750  
Deficiency Description: *Painted gypsum wallboard is in poor condition with several cracks.*



Description of Work: *Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.*

Comments:

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Record ID: 746  
System: C2010 - WALL FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: C2010.70.001  
Floor/Room: 1  
**Priority:** 2  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$2,120  
Deficiency Description: *Painted gypsum wallboard is showing signs of wear.*



Description of Work: *Patch and paint the gypsum wallboard.*

Comments:

**City of Rohnert Park  
Facility Condition Assessment**

**Public Works Corporation Yard Warehouse**

Record ID 748  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. B2050.10.008

Floor/Room: 1 / Exterior

Priority: 3

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$90

Deficiency Description: *Exterior aluminum door is damaged or deteriorating.*

Description of Work: *Refurbish/repair aluminum door.*

Comments:



Record ID 749  
System C1010 - INTERIOR PARTITIONS

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. C1010.10.001

Floor/Room: 1 / Storage

Priority: 2

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$720

Deficiency Description: *Painted gypsum wallboard is in poor condition with several cracks.*

Description of Work: *Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.*

Comments:



Record ID 750  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 40 / -

Item No. C2030.10.002

Floor/Room: 1 / Restroom

Priority: 3

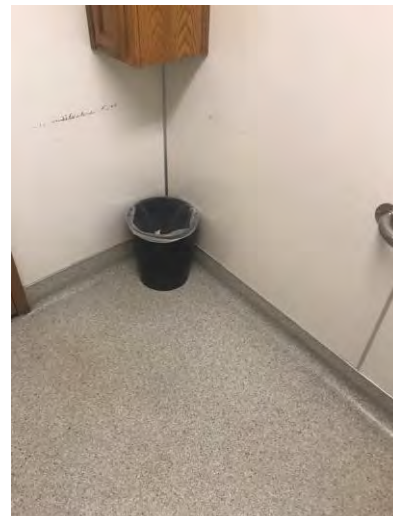
Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$5,280

Deficiency Description: *Epoxy is approaching the end of its useful life.*

Description of Work: *Remove the existing epoxy and replace.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Public Works Corporation Yard Warehouse

Record ID: 751  
System: C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life: - / 40 / -

Item No.: C2030.10.002  
Floor/Room: 1 / Restroom

**Priority:** 3

Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$5,280  
Deficiency Description: *Epoxy is approaching the end of its useful life.*

Description of Work: *Remove the existing epoxy and replace.*



Comments:

Record ID: 753  
System: C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life: - / 75 / -

Item No.: C2050.70.001  
Floor/Room: 1 / Hallway

**Priority:** 3

Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$750  
Deficiency Description: *Paint is approaching the end of its useful life.*

Description of Work: *Paint the ceiling and/or walls (prime + 2 finish coats).*



Comments:

Record ID: 754  
System: C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life: - / 75 / -

Item No.: C2050.70.001  
Floor/Room: 1

**Priority:** 3

Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$750  
Deficiency Description: *Paint is approaching the end of its useful life.*

Description of Work: *Paint the ceiling and/or walls (prime + 2 finish coats).*



Comments:

**City of Rohnert Park  
Facility Condition Assessment**

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**Public Works Corporation Yard Warehouse**

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Record ID 756  
System B3080 - OVERHEAD EXTERIOR ENCLOSURES

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. B3080.20.002

Floor/Room: 1 / Exterior

Priority: 3

Quantity/Unit of Measure: 40/LF

Total Deficiency Cost: \$1,210

Deficiency Description: *Soffit is damaged.*

Description of Work: *Replace gypsum board soffit.*

Comments:



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Record ID 759  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.50.001

Floor/Room: 1

Priority: 3

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$2,650

Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



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Record ID 1773  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life 1982 / 20 / -20

Item No. D5040.50.411

Floor/Room:

Priority: 1

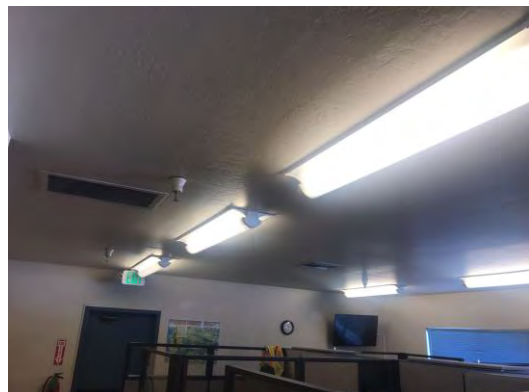
Quantity/Unit of Measure: 4,000/SF

Total Deficiency Cost: \$228,900

Deficiency Description: *Interior lighting system is past its expected useful life.*

Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments: *Assume approximately 50% of interior lighting replaced.*



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# Senior Center Annex

## Detailed Report

**Address: 6800 Hunter Drive, Rohnert Park, CA 94928**

### Statistics

Year Built:	1976
Building Additions:	1989
Building Area:	14,977 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$2,009,830</b>
FCI:	0.127
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$15,885,000
Replacement Cost/SF:	\$1,061



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## Assessment Descriptions

### Architectural Elements

Originally constructed in 1976 with major renovations following in 1989, the Senior Center and Annex is a 15,000 SF, wood-frame building with interior spaces consisting of a senior center, offices, kitchen, administrative areas,

The interior finish materials consist of vinyl flooring, painted gypsum board walls and ceiling, epoxy flooring, lay-in acoustical ceiling tiles, wood doors, and ceramic tiles. The carpet flooring, vinyl composition tile flooring, and painted gypsum board walls show signs of wear and are damaged in several areas. It is recommended these finishes be repaired or replaced within the next five years.

The exterior finish materials consist of wood board siding, asphalt shingle roofing, and single-ply roofing. According to improvement plans, the roof was replaced in 2019/2020. Overall, the exterior finish materials are in fair condition.

The site surfaces primarily consist of concrete-paved walkways and AC-paved parking lots and driveways. The concrete walkways show signs of cracking in several areas but are generally in fair condition. The AC paving surfaces in the parking lots and driveways show signs of major cracking and potholing in several areas but are generally in fair condition.

### Mechanical Systems

The mechanical systems consist of packaged air conditioning units and ventilators. The conditioned air is distributed to the spaces via concealed hard duct and diffusers. Overall, the mechanical systems appear to be in operable condition.

### Electrical Systems

Electrical power is distributed via a 400-amp metered main switchboard and several load centers and panelboards. The electrical equipment appears to be past its expected useful life.

The building has electrical equipment manufactured by Sylvania/Zinsco. Switchboards or panelboards manufactured by Sylvania/Zinsco have been found to have significantly higher rates of catastrophic failure compared with switchboards and panelboards of other manufacturers. The use of aluminum bussing in the Sylvania/Zinsco equipment combined with the method of circuit breaker attachment to the bussing results in overheating, which can cause the circuit breakers to melt and fuse to the buss. Once overheating occurs, there is an inability of the circuit breaker to adequately trip, and power can continue to surge into the panel and associated downstream circuits. At this point, the switchboard or panelboard cannot be manually shut off, causing power to continue to flow until utility power can be shut off or the wires have melted potentially causing a fire.

The interior and exterior lighting system appears to be past its expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, gas piping, sanitary waste piping and vent piping. The domestic hot water is provided by both gas-fired and electric water heater. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

The building is equipped with a fire sprinkler system throughout. Portable fire extinguishers were observed at key points in the building.

A fire alarm system was observed on site and appears to be in operable condition.



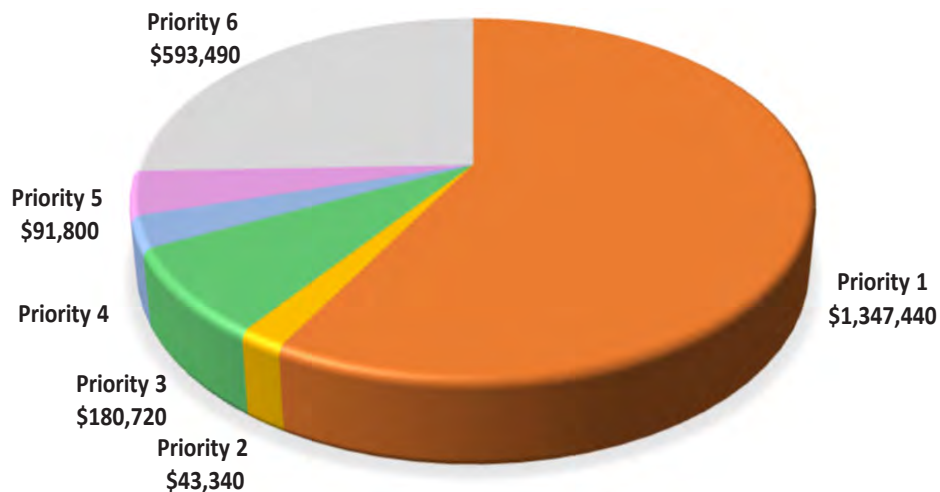
## Conclusion

For the Senior Center and Annex, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Senior Center and Annex						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$1,347,440	\$43,340	\$180,720	\$65,230	\$91,800	\$593,490	\$2,322,020
58.03%	1.87%	7.78%	2.81%	3.95%	25.56%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Senior Center and Annex

<b>Capital Renewal Cost:</b>	<b>\$2,009,830</b>	FCI:	<b>0.127</b>
Replacement Cost:	<b>\$15,885,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,061</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Unifomat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2050	EXTERIOR DOORS AND GRILLES	\$16,060	-	-	\$18,960	-	-	-
C1010	INTERIOR PARTITIONS	\$1,890	\$1,370	-	\$750	-	-	-
C1030	INTERIOR DOORS	\$22,280	-	-	\$26,330	-	-	-
C2010	WALL FINISHES	\$18,600	-	-	\$21,950	-	-	-
C2030	FLOORING	\$50,020	\$2,420	\$5,410	\$29,710	\$21,950	-	-
C2050	CEILING FINISHES	\$10,250	-	\$2,120	\$9,900	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$35,550	-	-	\$14,470	\$28,650	-	-
D3030	COOLING SYSTEMS	\$461,050	-	-	\$17,580	-	-	\$593,490
D3060	VENTILATION	\$14,890	-	\$16,830	-	-	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$48,210	\$52,120	-	-	-	-	-
D5040	LIGHTING	\$856,660	\$925,200	-	-	-	-	-
D7050	DETECTION AND ALARM	\$332,750	\$359,380	-	-	-	-	-
E2010	FIXED FURNISHINGS	\$40,820	-	-	\$10,550	\$14,630	\$25,590	-
G2020	PARKING LOTS	\$87,930	-	\$11,700	\$30,520	-	\$66,210	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	\$12,870	\$6,950	\$7,280	-	-	-	-
<b>TOTALS</b>		<b>\$2,009,830</b>	<b>\$1,347,440</b>	<b>\$43,340</b>	<b>\$180,720</b>	<b>\$65,230</b>	<b>\$91,800</b>	<b>\$593,490</b>
<b>TOTAL</b> (Priority 1-6 without escalation)		<b>\$2,009,830</b>	<b>\$2,322,020</b>					
			<b>TOTAL</b> (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

Senior Center and Annex

DEFICIENCY TABLE

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1517	C1010 - INTERIOR PARTITIONS	C1010.10.001	Storage	Painted gypsum wallboard is in poor condition with several cracks.	Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.	200	SF	\$580	\$1,370	1
1523	C2030 - FLOORING	C2030.50.001	Classroom	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	100	SF	\$1,030	\$2,420	1
1288	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.302		The 400A metered main switchboard is approaching the end of its expected useful life.	Replace the existing metered main switchboard with a new metered main switchboard.	1	EA	\$7,570	\$17,750	1
1295	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001		The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
1304	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001		The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
1303	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001		The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
1302	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001		The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
1301	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001		The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
1300	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001		The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
1294	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001		The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
1776	D5040 - LIGHTING	D5040.50.302		The exterior light fixture is past its expected useful life.	Replace the existing light fixture with an LED lighting fixture.	30	EA	\$29,070	\$68,120	1
1511	D5040 - LIGHTING	D5040.50.403	1	An outlet cover is missing or damaged and should be replaced.	Replace the damaged or missing outlet cover.	1	EA	\$50	\$120	1
1777	D5040 - LIGHTING	D5040.50.411		Interior lighting system is past its expected useful life but operational.	Provide new interior lighting and control system throughout building per current CEC T24 code.	14,977	SF	\$365,750	\$856,960	1

**City of Rohnert Park  
Facility Condition Assessment**

Senior Center and Annex

DEFICIENCY TABLE

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1293	D7050 - DETECTION AND ALARM	D7050.10.022		The existing fire alarm system is past its expected useful life	Provide a fully addressable fire alarm control panel with associated initiating and signaling devices.	14,977	SF	\$153,380	\$359,380	1
1531	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Pavement	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	200	SF	\$2,960	\$6,950	1
1525	C2030 - FLOORING	C2030.75.001	Lounge	Carpet flooring is worn.	Replace carpet flooring.	200	SF	\$2,200	\$5,410	2
1508	C2050 - CEILING FINISHES	C2050.10.001	Kitchen	Painted gypsum wallboard ceiling is approaching the end of its useful life.	Remove the existing gypsum board ceiling and replace. Tape and paint.	100	SF	\$860	\$2,120	2
1402	D3060 - VENTILATION	D3060.30.011		Utility exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$16,830	2
1527	G2020 - PARKING LOTS	G2020.10.002	Exterior	AC paving shows evidence of potholing.	Replace AC pavement section.	400	SF	\$4,770	\$11,700	2
1526	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Exterior	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	100	SF	\$1,480	\$3,640	2
1496	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Pavement	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	100	SF	\$1,480	\$3,640	2
1488	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.002	Entrance	Exterior aluminum (storefront) entrance door is approaching the end of its useful life.	Replace aluminum door (storefront).	2	EA	\$7,400	\$18,960	3
1518	C1010 - INTERIOR PARTITIONS	C1010.10.001	1	Painted gypsum wallboard is in poor condition with several cracks.	Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.	100	SF	\$290	\$750	3
1502	C1030 - INTERIOR DOORS	C1030.10.001	Senior Center	Interior wood door is at or approaching the end of its useful life.	Replace with new wood door.	1	EA	\$3,020	\$7,750	3
1514	C1030 - INTERIOR DOORS	C1030.10.001	Custodial	Interior wood door is at or approaching the end of its useful life.	Replace with new wood door.	1	EA	\$3,020	\$7,750	3
1499	C1030 - INTERIOR DOORS	C1030.10.001	Senior Center	Interior wood door is at or approaching the end of its useful life.	Replace with new wood door.	1	EA	\$3,020	\$7,750	3
1516	C1030 - INTERIOR DOORS	C1030.10.008	Closet	Interior wood door is in visual need of refurbishment.	Refurbish and restain the wood door.	1	EA	\$420	\$1,090	3
1489	C1030 - INTERIOR DOORS	C1030.10.008	1	Interior wood door is in visual need of refurbishment.	Refurbish and restain the wood door.	1	EA	\$420	\$1,090	3

**City of Rohnert Park  
Facility Condition Assessment**

Senior Center and Annex

DEFICIENCY TABLE

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1512	C1030 - INTERIOR DOORS	C1030.90.002	1	Wood door frames are in fair to poor condition.	Replace the door frames with a wood frame.	1	EA	\$350	\$900	3
1492	C2010 - WALL FINISHES	C2010.70.001	Reception	Painted gypsum wallboard is showing signs of wear.	Patch and paint the gypsum wallboard.	1,000	SF	\$8,570	\$21,950	3
1509	C2030 - FLOORING	C2030.50.001	Storage	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	100	SF	\$1,030	\$2,650	3
1506	C2030 - FLOORING	C2030.50.001	Classroom	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	600	SF	\$6,170	\$15,810	3
1491	C2030 - FLOORING	C2030.75.001	Office	Carpet tile is missing or damaged.	Replace carpet tile.	400	SF	\$4,390	\$11,250	3
1504	C2050 - CEILING FINISHES	C2050.80.001	Office	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	200	SF	\$1,290	\$3,310	3
1490	C2050 - CEILING FINISHES	C2050.80.001	Waiting Area	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	400	SF	\$2,570	\$6,590	3
1292	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.002		Gas fired water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,650	\$14,470	3
1397	D3030 - COOLING SYSTEMS	D3030.10.017		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$17,580	3
1510	E2010 - FIXED FURNISHINGS	E2010.30.005	Storage	The existing casework is in need of refurbishment.	Repair, refurbish, and refinish the existing wood casework.	15	LF	\$4,120	\$10,550	3
1532	G2020 - PARKING LOTS	G2020.10.002	Parking Lot	AC paving shows evidence of potholing.	Replace AC pavement section.	1,000	SF	\$11,920	\$30,520	3
1520	C2030 - FLOORING	C2030.50.001	Kitchen	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	800	SF	\$8,220	\$21,950	4
1298	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.021		Electric water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,080	\$13,570	4
1297	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.023		Electric water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,650	\$15,080	4
1524	E2010 - FIXED FURNISHINGS	E2010.30.008	Classroom	Plastic laminate base cabinet (with countertop) is in poor condition.	Remove and replace with new plastic laminate base cabinet and countertop.	10	LF	\$5,480	\$14,630	4

**City of Rohnert Park  
Facility Condition Assessment**

Senior Center and Annex

DEFICIENCY TABLE

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1507	E2010 - FIXED FURNISHINGS	E2010.30.009	Kitchen	Plastic laminate casework is at or will be approaching the end of its expected useful life.	Provide new plastic laminate casework (upper, lower, and countertop)	10	LF	\$9,210	\$25,590	5
1494	G2020 - PARKING LOTS	G2020.10.002	Parking Lot	AC paving shows evidence of fatigue cracking.	Replace AC pavement section.	2,000	SF	\$23,840	\$66,210	5
1396	D3030 - COOLING SYSTEMS	D3030.10.017		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6
1399	D3030 - COOLING SYSTEMS	D3030.10.017		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6
1408	D3030 - COOLING SYSTEMS	D3030.10.017		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6
1405	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$59,340	6
1395	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$59,340	6
1398	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$59,340	6
1400	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$59,340	6
1401	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$59,340	6
1406	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$59,340	6
1403	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$59,340	6
1404	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$59,340	6
1407	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$59,340	6

**City of Rohnert Park  
Facility Condition Assessment**

**Senior Center and Annex**

Record ID 1288  
 System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life 1990 / 20 / -12  
 Item No. D5020.10.302  
 Floor/Room:  
**Priority: 1**  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$17,750  
 Deficiency Description: *The 400A metered main switchboard is approaching the end of its expected useful life.*  
 Description of Work: *Replace the existing metered main switchboard with a new metered main switchboard.*  
 Comments:



Record ID 1292  
 System D2010 - DOMESTIC WATER DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life 2008 / 15 / 1  
 Item No. D2010.20.002  
 Floor/Room:  
**Priority: 3**  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$14,470  
 Deficiency Description: *Gas fired water heater is approaching the end of its expected useful life.*  
 Description of Work: *Provide equipment replacement and installation.*  
 Comments:



Record ID 1293  
 System D7050 - DETECTION AND ALARM  
 Year Installed / Industry Life / Remaining Useful Life 1990 / 15 / -17  
 Item No. D7050.10.022  
 Floor/Room:  
**Priority: 1**  
 Quantity/Unit of Measure: 14,977/SF  
 Total Deficiency Cost: \$359,380  
 Deficiency Description: *The existing fire alarm system is past its expected useful life*  
 Description of Work: *Provide a fully addressable fire alarm control panel with associated initiating and signaling devices.*  
 Comments:





## City of Rohnert Park Facility Condition Assessment

### Senior Center and Annex

Record ID: 1294  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1990 / 30 / -2  
 Item No.: D5020.30.4001  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$4,910  
 Deficiency Description: *The load center is past its expected useful life.*

Description of Work: *Replace the existing load center with a new load center.*

Comments:



Record ID: 1295  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1990 / 30 / -2  
 Item No.: D5020.30.4001  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$4,910  
 Deficiency Description: *The load center is past its expected useful life.*

Description of Work: *Replace the existing load center with a new load center.*

Comments:



Record ID: 1297  
 System: D2010 - DOMESTIC WATER DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: - / 15 / -  
 Item No.: D2010.20.023  
 Floor/Room:  
**Priority:** 4  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$15,080  
 Deficiency Description: *Electric water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



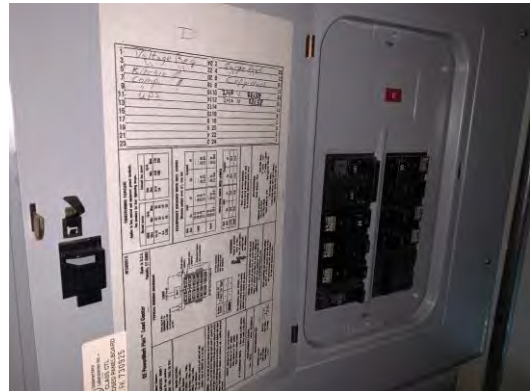
**City of Rohnert Park  
Facility Condition Assessment**

**Senior Center and Annex**

Record ID: 1298  
 System: D2010 - DOMESTIC WATER DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: - / 15 / -  
 Item No.: D2010.20.021  
 Floor/Room:  
**Priority:** 4  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$13,570  
 Deficiency Description: *Electric water heater is approaching the end of its expected useful life.*  
 Description of Work: *Provide equipment replacement and installation.*  
 Comments:



Record ID: 1300  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1990 / 30 / -2  
 Item No.: D5020.30.4001  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$4,910  
 Deficiency Description: *The load center is past its expected useful life.*  
 Description of Work: *Replace the existing load center with a new load center.*  
 Comments:



Record ID: 1301  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1990 / 30 / -2  
 Item No.: D5020.30.4001  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$4,910  
 Deficiency Description: *The load center is past its expected useful life.*  
 Description of Work: *Replace the existing load center with a new load center.*  
 Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Senior Center and Annex**

Record ID: 1302  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1990 / 30 / -2  
 Item No.: D5020.30.4001  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$4,910  
 Deficiency Description: *The load center is past its expected useful life.*

Description of Work: *Replace the existing load center with a new load center.*

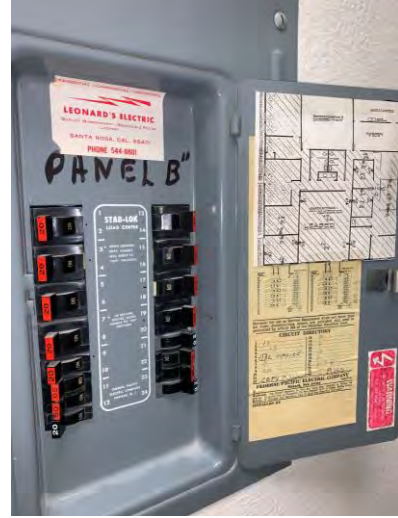
Comments:



Record ID: 1303  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1990 / 30 / -2  
 Item No.: D5020.30.4001  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$4,910  
 Deficiency Description: *The load center is past its expected useful life.*

Description of Work: *Replace the existing load center with a new load center.*

Comments:



Record ID: 1304  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1990 / 30 / -2  
 Item No.: D5020.30.4001  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$4,910  
 Deficiency Description: *The load center is past its expected useful life.*

Description of Work: *Replace the existing load center with a new load center.*

Comments:



## City of Rohnert Park Facility Condition Assessment

### Senior Center and Annex

Record ID: 1395  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2016 / 15 / 9

Item No.: D3030.10.018

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$59,340

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1396  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2018 / 15 / 11

Item No.: D3030.10.017

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$19,810

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1397  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2006 / 15 / -1

Item No.: D3030.10.017

Floor/Room:

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$17,580

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



## City of Rohnert Park Facility Condition Assessment

### Senior Center and Annex

Record ID: 1398  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2018 / 15 / 11

Item No.: D3030.10.018

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$59,340

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1399  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2018 / 15 / 11

Item No.: D3030.10.017

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$19,810

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1400  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2018 / 15 / 11

Item No.: D3030.10.018

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$59,340

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Senior Center and Annex**

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Record ID: 1401  
System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2018 / 15 / 11

Item No.: D3030.10.018

Floor/Room:

Priority: 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$59,340

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1402  
System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D3060.30.011

Floor/Room:

Priority: 2

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$16,830

Deficiency Description: *Utility exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1403  
System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2015 / 15 / 8

Item No.: D3030.10.018

Floor/Room:

Priority: 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$59,340

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Senior Center and Annex**

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Record ID 1404  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life 2014 / 15 / 7

Item No. D3030.10.018

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$59,340  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID 1405  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life 2018 / 15 / 11

Item No. D3030.10.018

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$59,340  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID 1406  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life 2014 / 15 / 7

Item No. D3030.10.018

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$59,340  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Senior Center and Annex**

Record ID: 1407  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2018 / 15 / 11

Item No.: D3030.10.018

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$59,340

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1408  
 System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2018 / 15 / 11

Item No.: D3030.10.017

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$19,810

Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 1488  
 System: B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life: - / 45 / -

Item No.: B2050.10.002

Floor/Room: 1 / Entrance

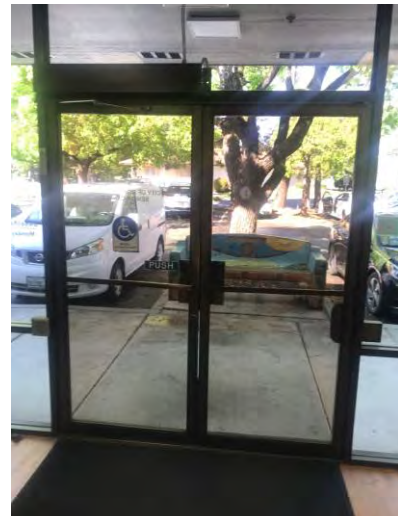
**Priority:** 3

Quantity/Unit of Measure: 2/EA  
 Total Deficiency Cost: \$18,960

Deficiency Description: *Exterior aluminum (storefront) entrance door is approaching the end of its useful life.*

Description of Work: *Replace aluminum door (storefront).*

Comments:





**City of Rohnert Park  
Facility Condition Assessment**

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**Senior Center and Annex**

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Record ID 1489  
System C1030 - INTERIOR DOORS  
  
Year Installed / Industry Life / Remaining Useful Life - / 30 / -  
Item No. C1030.10.008  
Floor/Room: 1  
**Priority:** 3  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$1,090  
Deficiency Description: *Interior wood door is in visual need of refurbishment.*



Description of Work: *Refurbish and restain the wood door.*

Comments:

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Record ID 1490  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 1 / Waiting Area  
**Priority:** 3  
Quantity/Unit of Measure: 400/SF  
Total Deficiency Cost: \$6,590  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*



Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:

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Record ID 1491  
System C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life - / 20 / -  
Item No. C2030.75.001  
Floor/Room: 1 / Office  
**Priority:** 3  
Quantity/Unit of Measure: 400/SF  
Total Deficiency Cost: \$11,250  
Deficiency Description: *Carpet tile is missing or damaged.*



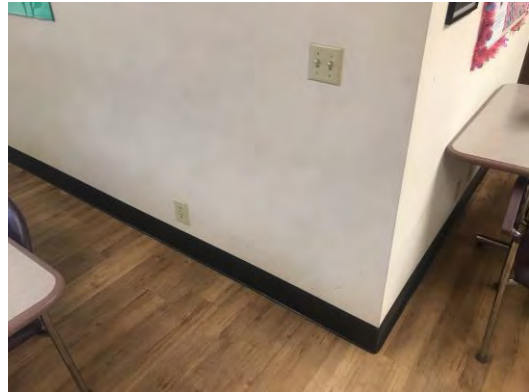
Description of Work: *Replace carpet tile.*

Comments:

**City of Rohnert Park  
Facility Condition Assessment**

**Senior Center and Annex**

Record ID: 1492  
 System: C2010 - WALL FINISHES  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: C2010.70.001  
 Floor/Room: 1 / Reception  
**Priority:** 3  
 Quantity/Unit of Measure: 1,000/SF  
 Total Deficiency Cost: \$21,950  
 Deficiency Description: *Painted gypsum wallboard is showing signs of wear.*  
 Description of Work: *Patch and paint the gypsum wallboard.*  
 Comments:



Record ID: 1494  
 System: G2020 - PARKING LOTS  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: G2020.10.002  
 Floor/Room: Site / Parking Lot  
**Priority:** 5  
 Quantity/Unit of Measure: 2,000/SF  
 Total Deficiency Cost: \$66,210  
 Deficiency Description: *AC paving shows evidence of fatigue cracking.*  
 Description of Work: *Replace AC pavement section.*  
 Comments:



Record ID: 1496  
 System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: G2030.10.005  
 Floor/Room: Site / Pavement  
**Priority:** 2  
 Quantity/Unit of Measure: 100/SF  
 Total Deficiency Cost: \$3,640  
 Deficiency Description: *Concrete pavement has major damage / structural failure.*  
 Description of Work: *Replace concrete and base to match existing.*  
 Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Senior Center and Annex**

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Record ID 1499  
System C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. C1030.10.001

Floor/Room: 1 / Senior Center

**Priority:** 3

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$7,750

Deficiency Description: *Interior wood door is at or approaching the end of its useful life.*

Description of Work: *Replace with new wood door.*

Comments:



Record ID 1502  
System C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. C1030.10.001

Floor/Room: 1 / Senior Center

**Priority:** 3

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$7,750

Deficiency Description: *Interior wood door is at or approaching the end of its useful life.*

Description of Work: *Replace with new wood door.*

Comments:



Record ID 1504  
System C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. C2050.80.001

Floor/Room: 1 / Office

**Priority:** 3

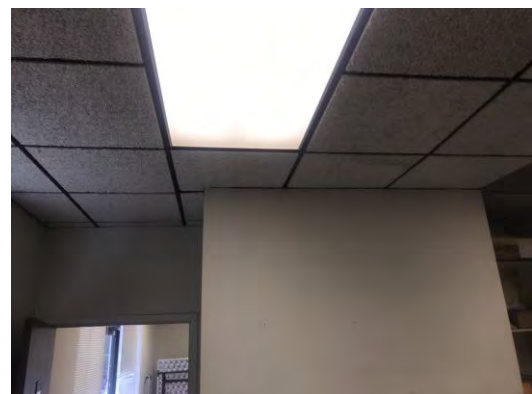
Quantity/Unit of Measure: 200/SF

Total Deficiency Cost: \$3,310

Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Senior Center and Annex**

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Record ID 1506  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.50.001

Floor/Room: 1 / Classroom

Priority: 3

Quantity/Unit of Measure: 600/SF

Total Deficiency Cost: \$15,810

Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



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Record ID 1507  
System E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. E2010.30.009

Floor/Room: 1 / Kitchen

Priority: 5

Quantity/Unit of Measure: 10/LF

Total Deficiency Cost: \$25,590

Deficiency Description: *Plastic laminate casework is at or will be approaching the end of its expected useful life.*

Description of Work: *Provide new plastic laminate casework (upper, lower, and countertop)*

Comments:



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Record ID 1508  
System C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. C2050.10.001

Floor/Room: 1 / Kitchen

Priority: 2

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$2,120

Deficiency Description: *Painted gypsum wallboard ceiling is approaching the end of its useful life.*

Description of Work: *Remove the existing gypsum board ceiling and replace. Tape and paint.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Senior Center and Annex**

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Record ID 1509  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.50.001

Floor/Room: 1 / Storage

Priority: 3

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$2,650

Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



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Record ID 1510  
System E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. E2010.30.005

Floor/Room: 1 / Storage

Priority: 3

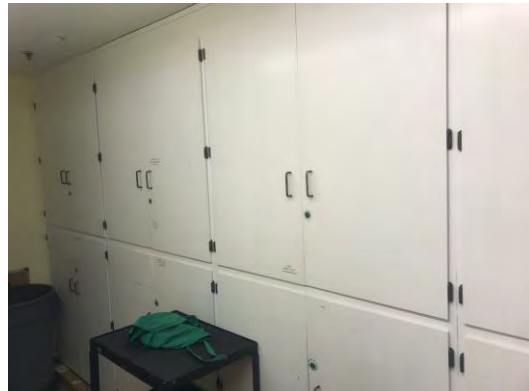
Quantity/Unit of Measure: 15/LF

Total Deficiency Cost: \$10,550

Deficiency Description: *The existing casework is in need of refurbishment.*

Description of Work: *Repair, refurbish, and refinish the existing wood casework.*

Comments:



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Record ID 1511  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D5040.50.403

Floor/Room: 1

Priority: 1

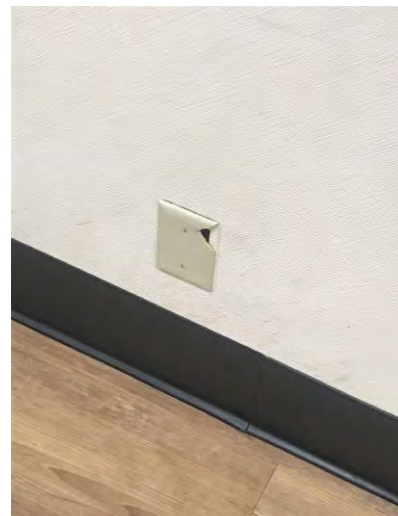
Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$120

Deficiency Description: *An outlet cover is missing or damaged and should be replaced.*

Description of Work: *Replace the damaged or missing outlet cover.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Senior Center and Annex**

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Record ID 1512  
System C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C1030.90.002

Floor/Room: 1

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$900

Deficiency Description: *Wood door frames are in fair to poor condition.*

Description of Work: *Replace the door frames with a wood frame.*

Comments:



Record ID 1514  
System C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. C1030.10.001

Floor/Room: 1 / Custodial

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$7,750

Deficiency Description: *Interior wood door is at or approaching the end of its useful life.*

Description of Work: *Replace with new wood door.*

Comments:



Record ID 1516  
System C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. C1030.10.008

Floor/Room: 1 / Closet

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$1,090

Deficiency Description: *Interior wood door is in visual need of refurbishment.*

Description of Work: *Refurbish and restain the wood door.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Senior Center and Annex**

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Record ID 1517  
System C1010 - INTERIOR PARTITIONS  
  
Year Installed / Industry Life / Remaining Useful Life - / 20 / -  
Item No. C1010.10.001  
Floor/Room: 1 / Storage  
**Priority: 1**  
Quantity/Unit of Measure: 200/SF  
Total Deficiency Cost: \$1,370  
Deficiency Description: *Painted gypsum wallboard is in poor condition with several cracks.*



Description of Work: *Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.*

Comments:

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Record ID 1518  
System C1010 - INTERIOR PARTITIONS  
  
Year Installed / Industry Life / Remaining Useful Life - / 20 / -  
Item No. C1010.10.001  
Floor/Room: 1  
**Priority: 3**  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$750  
Deficiency Description: *Painted gypsum wallboard is in poor condition with several cracks.*



Description of Work: *Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.*

Comments:

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Record ID 1520  
System C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life - / 60 / -  
Item No. C2030.50.001  
Floor/Room: 1 / Kitchen  
**Priority: 4**  
Quantity/Unit of Measure: 800/SF  
Total Deficiency Cost: \$21,950  
Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*



Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:

**City of Rohnert Park  
Facility Condition Assessment**

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**Senior Center and Annex**

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Record ID 1523  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -  
Item No. C2030.50.001  
Floor/Room: 1 / Classroom  
**Priority: 1**  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$2,420  
Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



Record ID 1524  
System E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life - / - / -  
Item No. E2010.30.008  
Floor/Room: 1 / Classroom  
**Priority: 4**  
Quantity/Unit of Measure: 10/LF  
Total Deficiency Cost: \$14,630  
Deficiency Description: *Plastic laminate base cabinet (with countertop) is in poor condition.*

Description of Work: *Remove and replace with new plastic laminate base cabinet and countertop.*

Comments:



Record ID 1525  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -  
Item No. C2030.75.001  
Floor/Room: 1 / Lounge  
**Priority: 2**  
Quantity/Unit of Measure: 200/SF  
Total Deficiency Cost: \$5,410  
Deficiency Description: *Carpet flooring is worn.*

Description of Work: *Replace carpet flooring.*

Comments:





# City of Rohnert Park Facility Condition Assessment

## Senior Center and Annex

Record ID: 1526  
System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: G2030.10.005  
Floor/Room: Site / Exterior  
**Priority:** 2  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$3,640  
Deficiency Description: *Concrete pavement has major damage / structural failure.*

Description of Work: *Replace concrete and base to match existing.*

Comments:



Record ID: 1527  
System: G2020 - PARKING LOTS  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: G2020.10.002  
Floor/Room: Site / Exterior  
**Priority:** 2  
Quantity/Unit of Measure: 400/SF  
Total Deficiency Cost: \$11,700  
Deficiency Description: *AC paving shows evidence of potholing.*

Description of Work: *Replace AC pavement section.*

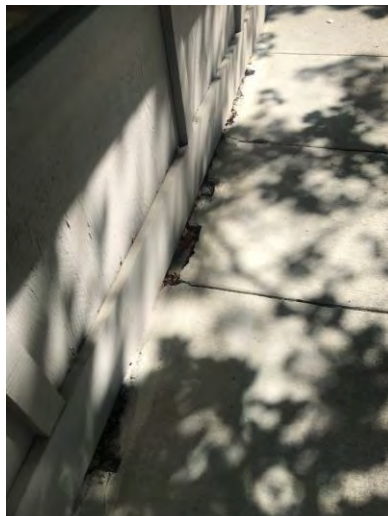
Comments:



Record ID: 1531  
System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: G2030.10.005  
Floor/Room: Site / Pavement  
**Priority:** 1  
Quantity/Unit of Measure: 200/SF  
Total Deficiency Cost: \$6,950  
Deficiency Description: *Concrete pavement has major damage / structural failure.*

Description of Work: *Replace concrete and base to match existing.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Senior Center and Annex**

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Record ID: 1532  
System: G2020 - PARKING LOTS  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: G2020.10.002  
Floor/Room: Site / Parking Lot  
**Priority:** 3  
Quantity/Unit of Measure: 1,000/SF  
Total Deficiency Cost: \$30,520  
Deficiency Description: *AC paving shows evidence of potholing.*



Description of Work: *Replace AC pavement section.*

Comments:

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Record ID: 1776  
System: D5040 - LIGHTING  
Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
Item No.: D5040.50.302  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 30/EA  
Total Deficiency Cost: \$68,120  
Deficiency Description: *The exterior light fixture is past its expected useful life.*

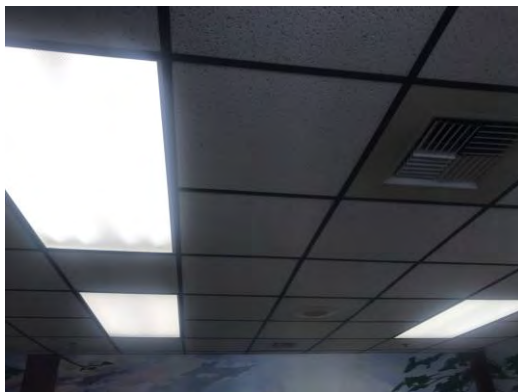
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Description of Work: *Replace the existing light fixture with an LED lighting fixture.*

Comments:

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Record ID: 1777  
System: D5040 - LIGHTING  
Year Installed / Industry Life / Remaining Useful Life: 1990 / 20 / -12  
Item No.: D5040.50.411  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 14,977/SF  
Total Deficiency Cost: \$856,960  
Deficiency Description: *Interior lighting system is past its expected useful life but operational.*



Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments:

# Sewer Pump Sanitation Lift Station I Detailed Report

**Address: 201 J. Rogers Lane, Rohnert Park, CA 94928**

## Statistics

Year Built:	1957
Building Additions:	N/A
Building Area:	525 SF

## FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$114,000</b>
FCI:	0.141
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$806,000
Replacement Cost/SF:	\$1,534



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## Assessment Descriptions

### Architectural Elements

Built in 1957, the 525 SF, concrete masonry block Sewer Pump Station Lift Station I building is located on J. Rogers Lane, adjacent to the other Sewer Pump Station buildings and used to store equipment servicing the lift station.

The interior finish materials consist of epoxy flooring, painted gypsum board wall and ceiling, painted concrete masonry block, and ceramic tile. Overall, the interior finish materials appear to be in fair condition.

The exterior finish materials consist of concrete masonry block and single-ply roofing which appear to be in fair condition.

The site surfaces surrounding the building consist primarily of landscaping and concrete pavement. Areas of the concrete pavement and retaining wall show signs of damage and should be considered for replacement.

### Mechanical Systems

The mechanical systems consist of inline exhaust fans. Overall, the mechanical systems appear to be in operable condition.

### Electrical Systems

Electrical power is distributed via a single panelboard that appears to be past its expected useful life. The emergency generator appears to be within its expected useful life.

The interior lighting system appears to be past its expected useful life. Exterior lighting is provided by site lighting.

### Plumbing Elements

The plumbing systems consist of domestic cold-water piping, vent piping, and sanitary waste piping with lift station pumps and controls. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

No fire sprinkler systems have been identified on site.

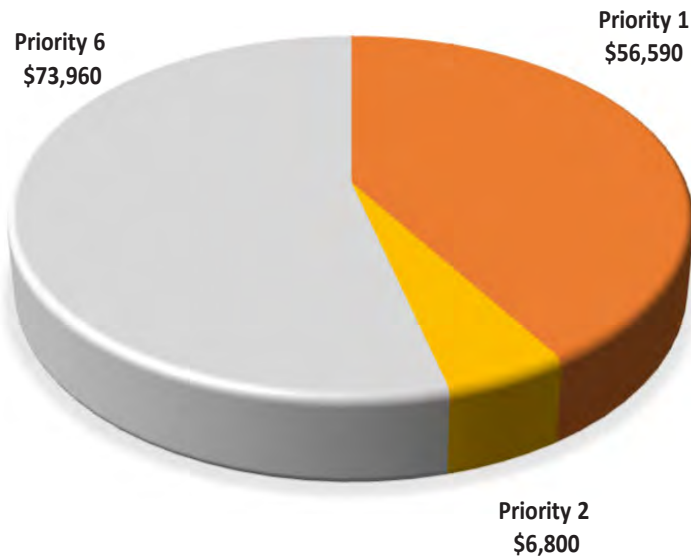
## Conclusion

For the Sewer Pump Sanitation Lift Station I, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Sewer Pump Sanitation Lift Station I						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$56,590	\$6,800	\$0	\$0	\$0	\$73,960	\$137,350
41.20%	4.95%	0.00%	0.00%	0.00%	53.85%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Sewer Pump Station Lift Station I

<b>Capital Renewal Cost:</b>	<b>\$114,000</b>	FCI:	<b>0.141</b>
Replacement Cost:	<b>\$806,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,534</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Unifomat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
D3060	VENTILATION	\$55,600	-	-	-	-	-	\$73,960
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$24,550	\$26,520	-	-	-	-	-
D5040	LIGHTING	\$27,840	\$30,070	-	-	-	-	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	\$4,030	-	\$4,560	-	-	-	-
G2060	SITE DEVELOPMENT	\$1,980	-	\$2,240	-	-	-	-
<b>TOTALS</b>		<b>\$114,000</b>	<b>\$56,590</b>	<b>\$6,800</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>\$73,960</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$114,000</b>	<b>\$137,350</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

**Sewer Pump Station Lift Station I**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
47	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1001		The 100A panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$3,510	\$8,230	1
49	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1002		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,800	\$18,290	1
1781	D5040 - LIGHTING	D5040.50.411		Interior lighting system is past its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	525	SF	\$12,830	\$30,070	1
46	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Pavement	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	100	SF	\$1,480	\$3,640	2
44	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Pavement	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	25	SF	\$370	\$920	2
45	G2060 - SITE DEVELOPMENT	G2060.60.012	Retaining Wall	Retaining wall is cracked.	Replace portion of concrete wall.	10	SF	\$910	\$2,240	2
296	D3060 - VENTILATION	D3060.30.009		In-Line building exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$12,810	\$36,980	6
295	D3060 - VENTILATION	D3060.30.009		In-Line building exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$12,810	\$36,980	6



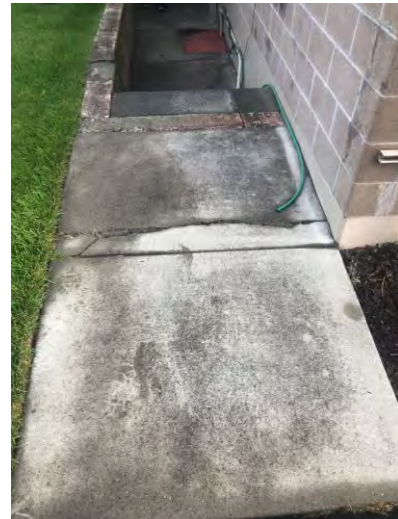
**City of Rohnert Park  
Facility Condition Assessment**

**Sewer Pump Station Lift Station I**

Record ID: 44  
 System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: G2030.10.005  
 Floor/Room: Site / Pavement  
**Priority:** 2  
 Quantity/Unit of Measure: 25/SF  
 Total Deficiency Cost: \$920  
 Deficiency Description: *Concrete pavement has major damage / structural failure.*

Description of Work: *Replace concrete and base to match existing.*

Comments:



Record ID: 45  
 System: G2060 - SITE DEVELOPMENT  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: G2060.60.012  
 Floor/Room: Site / Retaining Wall  
**Priority:** 2  
 Quantity/Unit of Measure: 10/SF  
 Total Deficiency Cost: \$2,240  
 Deficiency Description: *Retaining wall is cracked.*

Description of Work: *Replace portion of concrete wall.*

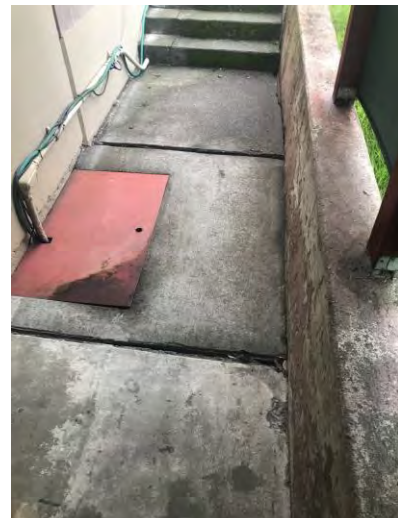
Comments:



Record ID: 46  
 System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: G2030.10.005  
 Floor/Room: Site / Pavement  
**Priority:** 2  
 Quantity/Unit of Measure: 100/SF  
 Total Deficiency Cost: \$3,640  
 Deficiency Description: *Concrete pavement has major damage / structural failure.*

Description of Work: *Replace concrete and base to match existing.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Sewer Pump Station Lift Station I**

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Record ID 47  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 1990 / 30 / -2  
Item No. D5020.30.1001  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$8,230  
Deficiency Description: *The 100A panelboard is past its expected useful life.*  
  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
  
Comments:



Record ID 49  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 1976 / 30 / -16  
Item No. D5020.30.1002  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$18,290  
Deficiency Description: *The panelboard is past its expected useful life.*  
  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
  
Comments:



Record ID 295  
System D3060 - VENTILATION  
Year Installed / Industry Life / Remaining Useful Life - / 25 / -  
Item No. D3060.30.009  
Floor/Room:  
**Priority:** 7  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$36,980  
Deficiency Description: *In-Line building exhaust fan is approaching the end of its expected useful life.*  
  
Description of Work: *Provide equipment replacement and installation.*  
  
Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Sewer Pump Station Lift Station I**

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Record ID: 296  
System: D3060 - VENTILATION  
  
Year Installed / Industry Life / Remaining Useful Life: - / 25 / -  
Item No.: D3060.30.009  
Floor/Room:  
**Priority:** 7  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$36,980  
Deficiency Description: *In-Line building exhaust fan is approaching the end of its expected useful life.*  
  
Description of Work: *Provide equipment replacement and installation.*  
  
Comments:



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Record ID: 1781  
System: D5040 - LIGHTING  
  
Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
Item No.: D5040.50.411  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 525/SF  
Total Deficiency Cost: \$30,070  
Deficiency Description: *Interior lighting system is past its expected useful life.*  
  
Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*  
  
Comments:

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# Sewer Pump Sanitation Lift Station II Detailed Report

**Address: 201 J. Rogers Lane, Rohnert Park, CA 94928**

## Statistics

Year Built:	1992
Building Additions:	N/A
Building Area:	1,152 SF

## FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$1,484,540</b>
FCI:	0.840
Condition Score:	D
Condition Rating:	Critical
Replacement Cost:	\$1,767,000
Replacement Cost/SF:	\$1,534



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## Assessment Descriptions

### Architectural Elements

Built in 1992, the Sewer Pump Station Lift Station II building is located on J. Rogers Lane, adjacent to the other Sewer Pump Station buildings. The building is a 1,152 SF, concrete masonry block structure that is used to store electrical and mechanical equipment to service the lift station.

The interior finish materials consist of epoxy flooring, painted gypsum board wall and ceiling, painted concrete masonry block, and quarry tile. Overall, the interior finish materials appear to be in fair condition.

The exterior finish materials consist of concrete masonry block, metal siding, and single-ply roofing. The metal parapet cap is showing signs of deterioration throughout the roof. Additionally, there is evidence of ponding and debris accumulation in several areas of the single-ply TPO roofing membrane. It is recommended the roofing membrane be replaced within the next 10 years.

The site surfaces primarily consist of concrete-paved walkways and AC-paved parking lots and driveways, which appear to be in fair condition.

### Mechanical Systems

The mechanical systems consist of roof exhaust fans. Overall, the fans are approaching the end of their expected useful life and should be replaced.

### Electrical Systems

Electrical power is distributed by a 1600-amp switchboard, 1200-amp switchboard and several panelboards. The electrical system appears to be past its expected useful life. The emergency generator also appears to be past its expected useful life.

Interior lighting appears to be past their expected useful life. Exterior lighting is provided by site lighting.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, compressed air piping, and sanitary waste piping with lift station pumps, grinders, and controls. The domestic hot water is provided by electric water heater. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

No fire sprinkler systems have been identified on site.

A fire alarm system was observed on site and appears to be in operable condition.

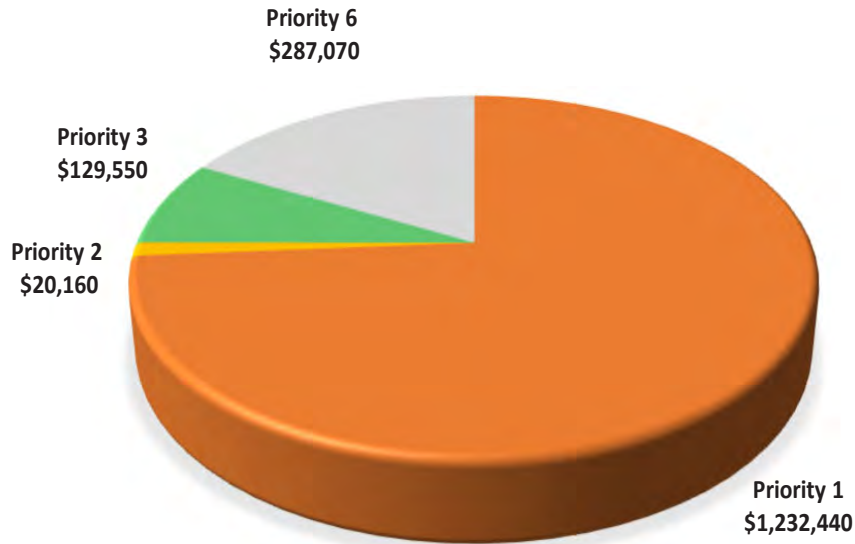
## Conclusion

For the Sewer Pump Sanitation Lift Station II, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Sewer Pump Sanitation Lift Station II						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$1,232,440	\$20,160	\$129,550	\$0	\$0	\$287,070	\$1,669,220
73.83%	1.21%	7.76%	0.00%	0.00%	17.20%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Sewer Pump Station Lift Station II

<b>Capital Renewal Cost:</b>	<b>\$1,484,540</b>	FCI:	<b>0.840</b>
Replacement Cost:	<b>\$1,767,000</b>	Condition Score:	<b>D</b>
Replacement Cost/SF:	<b>\$1,534</b>	Condition Rating:	<b>CRITICAL</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$17,840	-	\$20,160	-	-	-	-
B3010	ROOFING	\$85,460	-	-	-	-	-	\$113,670
D2010	DOMESTIC WATER DISTRIBUTION	\$12,260	\$13,250	-	-	-	-	-
D2030	BUILDING SUPPORT PLUMBING SYSTEMS	\$90,080	-	-	\$106,300	-	-	-
D2060	PROCESS SUPPORT PLUMBING SYSTEMS	\$14,890	-	-	-	-	-	\$19,810
D3060	VENTILATION	\$32,800	\$14,180	-	\$23,250	-	-	-
D5010	FACILITY POWER GENERATION	\$922,860	\$996,690	-	-	-	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$131,820	\$142,380	-	-	-	-	-
D5040	LIGHTING	\$61,050	\$65,940	-	-	-	-	-
D7050	DETECTION AND ALARM	\$115,480	-	-	-	-	-	\$153,590
<b>TOTALS</b>		<b>\$1,484,540</b>	<b>\$1,232,440</b>	<b>\$20,160</b>	<b>\$129,550</b>	<b>-</b>	<b>-</b>	<b>\$287,070</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$1,484,540</b>	<b>\$1,669,220</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

**Sewer Pump Station Lift Station II**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
282	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.023		Electric water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,650	\$13,250	1
288	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$7,090	1
284	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$7,090	1
51	D5010 - FACILITY POWER GENERATION	D5010.10.019		The existing diesel generator is past its expected useful life.	Replace the existing generator with a new generator.	600	KW	\$425,390	\$996,690	1
38	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.0012		The 1200A switchboard is past its expected useful life.	Replace the existing switchboard with a new switchboard.	1	EA	\$18,120	\$42,470	1
39	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.0013		The 1600A switchboard is past its expected useful life.	Replace the existing switchboard with a new switchboard.	1	EA	\$26,790	\$62,770	1
40	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
41	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
1782	D5040 - LIGHTING	D5040.50.411		Interior lighting system is past its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	1,152	SF	\$28,140	\$65,940	1
43	B2010 - EXTERIOR WALLS	B2010.50.001	Upper Roof	Metal parapet cap is deteriorating.	Replace sheet metal cap.	300	LF	\$8,220	\$20,160	2
279	D2030 - BUILDING SUPPORT PLUMBING SYSTEMS	D2030.10.002		Pump requires rebuild or replacement.	Rebuild or replace existing pump.	1	EA	\$20,760	\$53,150	3
278	D2030 - BUILDING SUPPORT PLUMBING SYSTEMS	D2030.10.002		Pump requires rebuild or replacement.	Rebuild or replace existing pump.	1	EA	\$20,760	\$53,150	3
285	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$7,750	3
286	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$7,750	3
287	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$7,750	3

**City of Rohnert Park  
Facility Condition Assessment**

**Sewer Pump Station Lift Station II**

**DEFICIENCY TABLE**

*(1) Deficiency Cost = Qty x Unit Cost*

*(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)*

*General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds*

*City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location*

*Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.*

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1794	B3010 - ROOFING	B3010.50.002	Entire Roof	Single-ply roofing is beyond its expected useful service life and needs replacement.	Remove and replace single-ply roofing.	2,500	SF	\$39,390	\$113,670	6
277	D2060 - PROCESS SUPPORT PLUMBING SYSTEMS	D2060.10.001		Air compressor is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6
42	D7050 - DETECTION AND ALARM	D7050.10.022		The existing fire alarm system is nearing its expected useful life	Provide a fully addressable fire alarm control panel with associated initiating and signaling devices.	5,197	SF	\$53,230	\$153,590	6

**City of Rohnert Park  
Facility Condition Assessment**

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**Sewer Pump Station Lift Station II**

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Record ID: 38  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1992 / 20 / -10  
Item No.: D5020.30.0012  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$42,470  
Deficiency Description: *The 1200A switchboard is past its expected useful life.*

Description of Work: *Replace the existing switchboard with a new switchboard.*

Comments:



Record ID: 39  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1992 / 20 / -10  
Item No.: D5020.30.0013  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$62,770  
Deficiency Description: *The 1600A switchboard is past its expected useful life.*

Description of Work: *Replace the existing switchboard with a new switchboard.*

Comments:



Record ID: 40  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1992 / 30 / 0  
Item No.: D5020.30.1008  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$18,570  
Deficiency Description: *The panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



## City of Rohnert Park Facility Condition Assessment

### Sewer Pump Station Lift Station II

Record ID: 41  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1992 / 30 / 0  
 Item No.: D5020.30.1008  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,570  
 Deficiency Description: *The panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID: 42  
 System: D7050 - DETECTION AND ALARM  
 Year Installed / Industry Life / Remaining Useful Life: 2012 / 15 / 5  
 Item No.: D7050.10.022  
 Floor/Room:  
**Priority:** 7  
 Quantity/Unit of Measure: 5,197/SF  
 Total Deficiency Cost: \$153,590  
 Deficiency Description: *The existing fire alarm system is nearing its expected useful life*

Description of Work: *Provide a fully addressable fire alarm control panel with associated initiating and signaling devices.*

Comments:



Record ID: 43  
 System: B2010 - EXTERIOR WALLS  
 Year Installed / Industry Life / Remaining Useful Life: - / 40 / -  
 Item No.: B2010.50.001  
 Floor/Room: Roof / Upper Roof  
**Priority:** 2  
 Quantity/Unit of Measure: 300/LF  
 Total Deficiency Cost: \$20,160  
 Deficiency Description: *Metal parapet cap is deteriorating.*

Description of Work: *Replace sheet metal cap.*

Comments:



## City of Rohnert Park Facility Condition Assessment

### Sewer Pump Station Lift Station II

Record ID: 51  
System: D5010 - FACILITY POWER GENERATION

Year Installed / Industry Life / Remaining Useful Life: 1992 / 25 / -5

Item No.: D5010.10.019

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 600/KW

Total Deficiency Cost: \$996,690

Deficiency Description: *The existing diesel generator is past its expected useful life.*

Description of Work: *Replace the existing generator with a new generator.*

Comments:



Record ID: 277  
System: D2060 - PROCESS SUPPORT PLUMBING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D2060.10.001

Floor/Room:

Priority: 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$19,810

Deficiency Description: *Air compressor is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 278  
System: D2030 - BUILDING SUPPORT PLUMBING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: D2030.10.002

Floor/Room:

Priority: 3

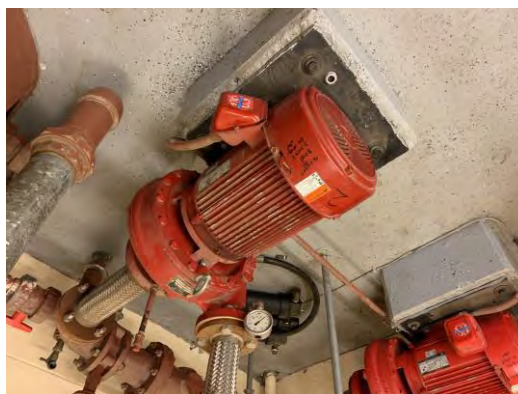
Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$53,150

Deficiency Description: *Pump requires rebuild or replacement.*

Description of Work: *Rebuild or replace existing pump.*

Comments: *Leak on pump - Warren issued rebuilding*



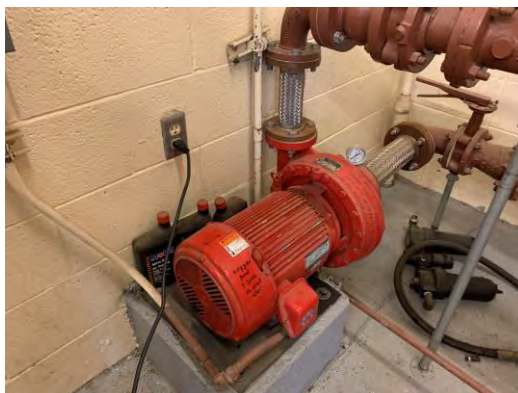
**City of Rohnert Park  
Facility Condition Assessment**

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**Sewer Pump Station Lift Station II**

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Record ID: 279  
System: D2030 - BUILDING SUPPORT PLUMBING SYSTEMS  
Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
Item No.: D2030.10.002  
Floor/Room:  
**Priority:** 3  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$53,150  
Deficiency Description: *Pump requires rebuild or replacement.*

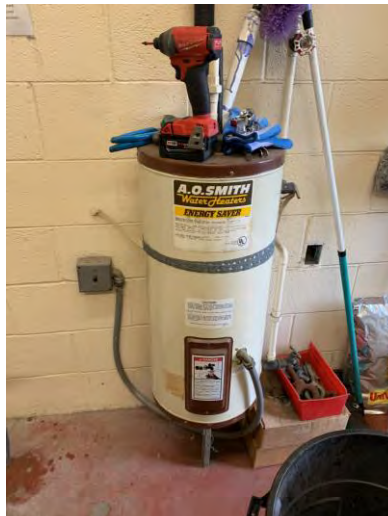


Description of Work: *Rebuild or replace existing pump.*

Comments: *Model no longer made, being rebuilt instead*

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Record ID: 282  
System: D2010 - DOMESTIC WATER DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: - / 15 / -  
Item No.: D2010.20.023  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$13,250  
Deficiency Description: *Electric water heater is approaching the end of its expected useful life.*



Description of Work: *Provide equipment replacement and installation.*

Comments:

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Record ID: 284  
System: D3060 - VENTILATION  
Year Installed / Industry Life / Remaining Useful Life: - / 25 / -  
Item No.: D3060.30.005  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$7,090  
Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*



Description of Work: *Provide equipment replacement and installation.*

Comments: *Replacement needed*

**City of Rohnert Park  
Facility Condition Assessment**

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**Sewer Pump Station Lift Station II**

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Record ID: 285  
System: D3060 - VENTILATION  
  
Year Installed / Industry Life / Remaining Useful Life: - / 25 / -  
Item No.: D3060.30.005  
Floor/Room:  
**Priority:** 3  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$7,750  
Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*  
  
Description of Work: *Provide equipment replacement and installation.*  
  
Comments:



Record ID: 286  
System: D3060 - VENTILATION  
  
Year Installed / Industry Life / Remaining Useful Life: - / 25 / -  
Item No.: D3060.30.005  
Floor/Room:  
**Priority:** 3  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$7,750  
Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*  
  
Description of Work: *Provide equipment replacement and installation.*  
  
Comments:



Record ID: 287  
System: D3060 - VENTILATION  
  
Year Installed / Industry Life / Remaining Useful Life: - / 25 / -  
Item No.: D3060.30.005  
Floor/Room:  
**Priority:** 3  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$7,750  
Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*  
  
Description of Work: *Provide equipment replacement and installation.*  
  
Comments:





**City of Rohnert Park  
Facility Condition Assessment**

**Sewer Pump Station Lift Station II**

Record ID: 288  
 System: D3060 - VENTILATION  
 Year Installed / Industry Life / Remaining Useful Life: - / 25 / -  
 Item No.: D3060.30.005  
 Floor/Room:  
 Priority: 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$7,090  
 Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*  
 Description of Work: *Provide equipment replacement and installation.*  
 Comments: *Replacement needed*



Record ID: 1782  
 System: D5040 - LIGHTING  
 Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
 Item No.: D5040.50.411  
 Floor/Room:  
 Priority: 1  
 Quantity/Unit of Measure: 1,152/SF  
 Total Deficiency Cost: \$65,940  
 Deficiency Description: *Interior lighting system is past its expected useful life.*  
 Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*  
 Comments:

PHOTO  
NOT  
APPLICABLE

Record ID: 1794  
 System: B3010 - ROOFING  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: B3010.50.002  
 Floor/Room: Roof / Entire Roof  
 Priority: 7  
 Quantity/Unit of Measure: 2,500/SF  
 Total Deficiency Cost: \$113,670  
 Deficiency Description: *Single-ply roofing is beyond its expected useful service life and needs replacement.*  
 Description of Work: *Remove and replace single-ply roofing.*  
 Comments: *Ponding throughout.*



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# Sewer Pump Station Maintenance Building Detailed Report

**Address: 201 J. Rogers Lane, Rohnert Park, CA 94928**

## Statistics

Year Built:	1992
Building Additions:	N/A
Building Area:	3,520 SF

## FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$272,980</b>
FCI:	0.092
Condition Score:	B
Condition Rating:	Fair
Replacement Cost:	\$2,977,000
Replacement Cost/SF:	\$846



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## Assessment Descriptions

### Architectural Elements

Built in 1992, the Sewer Pump Station – Maintenance Building is located on J. Rogers Lane, adjacent to the other Sewer Pump Station buildings. The building is a 3,520 SF, concrete masonry block structure with interior spaces consisting of a maintenance shop and equipment storage area.

The interior finish materials consist of painted concrete flooring and painted gypsum board walls and ceilings. The concrete flooring finish appears to be deteriorating and is recommended for refinishing within the next few years. Overall, the interior finish materials are in fair condition.

The exterior finish materials consist of split-face concrete masonry block, metal siding, and single-ply roofing which was replaced eight years ago. Overall, the exterior finish materials are in fair condition.

The site surfaces primarily consist of concrete-paved walkways and AC-paved parking lots and driveways, which appear to be in fair condition.

### Mechanical Systems

The mechanical systems consist of radiant heaters and rooftop ventilator. Overall, the mechanical systems appear to be in operable condition.

### Electrical Systems

Electrical power is distributed by a single panelboard. The electrical system appears to be past its expected useful life.

Interior lighting also appears to be past their expected useful life. Exterior lighting is provided by site lighting.

### Plumbing Elements

The plumbing systems consists of an air compressor system. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

The building is not equipped with a fire sprinkler system; however, portable fire extinguishers were observed at key points in the building.

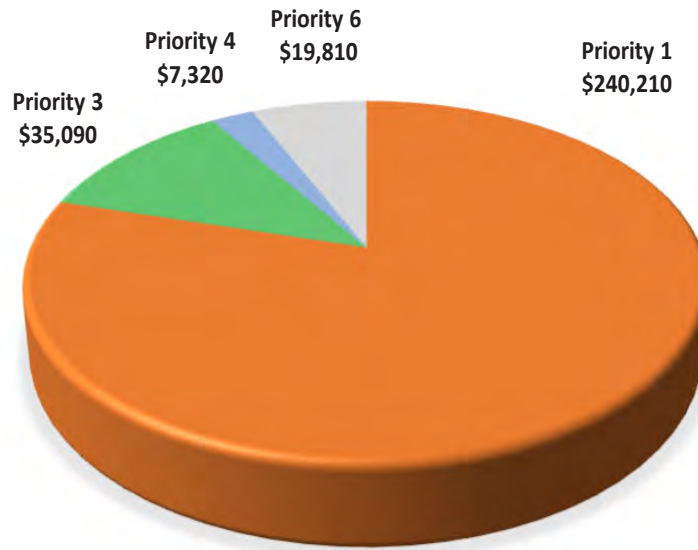
## Conclusion

For the Sewer Pump Station Maintenance Building, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Sewer Pump Station Maintenance Building						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$240,210	\$0	\$35,090	\$7,320	\$0	\$19,810	\$302,430
79.43%	0.00%	11.60%	2.42%	0.00%	6.55%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Sewer Pump Station - Maintenance Building

<b>Capital Renewal Cost:</b>	<b>\$272,980</b>	FCI:	<b>0.092</b>
Replacement Cost:	<b>\$2,977,000</b>	Condition Score:	<b>B</b>
Replacement Cost/SF:	<b>\$846</b>	Condition Rating:	<b>FAIR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
C2030	FLOORING	\$29,730	-	-	\$35,090	-	-	-
D2060	PROCESS SUPPORT PLUMBING SYSTEMS	\$14,890	-	-	-	-	-	\$19,810
D3060	VENTILATION	\$5,950	-	-	-	\$7,320	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$35,920	\$38,800	-	-	-	-	-
D5040	LIGHTING	\$186,490	\$201,410	-	-	-	-	-
<b>TOTALS</b>		<b>\$272,980</b>	<b>\$240,210</b>	<b>-</b>	<b>\$35,090</b>	<b>\$7,320</b>	<b>-</b>	<b>\$19,810</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$272,980</b>	<b>\$302,430</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

**Sewer Pump Station - Maintenance Building**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
261	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.207		The 50kVA transformer is past expected useful life.	Replace the existing transformer with a new transformer.	1	EA	\$8,630	\$20,230	1
262	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
1778	D5040 - LIGHTING	D5040.50.411		Interior lighting system is past its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	3,520	SF	\$85,960	\$201,410	1
26	C2030 - FLOORING	C2030.10.001	Equipment Storage	Concrete floor finish is approaching the end of its useful life.	Repair and refinish the concrete floor.	2,000	SF	\$13,700	\$35,090	3
264	D3060 - VENTILATION	D3060.30.007		Ventilator is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$2,740	\$7,320	4
265	D2060 - PROCESS SUPPORT PLUMBING SYSTEMS	D2060.10.001		Air compressor is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6



**City of Rohnert Park  
Facility Condition Assessment**

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**Sewer Pump Station - Maintenance Building**

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Record ID: 26  
System: C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life: - / 50 / -  
Item No.: C2030.10.001  
Floor/Room: 1 / Equipment Storage  
**Priority:** 3  
Quantity/Unit of Measure: 2,000/SF  
Total Deficiency Cost: \$35,090  
Deficiency Description: *Concrete floor finish is approaching the end of its useful life.*

Description of Work: *Repair and refinish the concrete floor.*

Comments:



Record ID: 261  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
  
Year Installed / Industry Life / Remaining Useful Life: 1992 / 30 / 0  
Item No.: D5020.10.207  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$20,230  
Deficiency Description: *The 50kVA transformer is past expected useful life.*

Description of Work: *Replace the existing transformer with a new transformer.*

Comments:



Record ID: 262  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
  
Year Installed / Industry Life / Remaining Useful Life: 1992 / 30 / 0  
Item No.: D5020.30.1008  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$18,570  
Deficiency Description: *The panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Sewer Pump Station - Maintenance Building**

Record ID: 264  
 System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: D3060.30.007

Floor/Room:

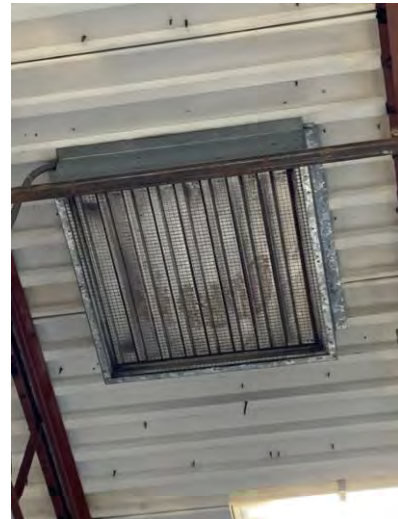
Priority: 4

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$7,320

Deficiency Description: *Ventilator is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Only rooftop equipment*



Record ID: 265  
 System: D2060 - PROCESS SUPPORT PLUMBING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D2060.10.001

Floor/Room:

Priority: 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$19,810

Deficiency Description: *Air compressor is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Only rooftop equipment*



Record ID: 1778  
 System: D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: D5040.50.411

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 3,520/SF  
 Total Deficiency Cost: \$201,410

Deficiency Description: *Interior lighting system is past its expected useful life.*

Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments:



# Sewer Pump Station Office

## Detailed Report

**Address: 201 J. Rogers Lane, Rohnert Park, CA 94928**

### Statistics

Year Built:	1972
Building Additions:	N/A
Building Area:	972 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$92,300</b>
FCI:	0.079
Condition Score:	B
Condition Rating:	Fair
Replacement Cost:	\$1,171,000
Replacement Cost/SF:	\$1,204



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## Assessment Descriptions

### Architectural Elements

Built in 1972, the Sewer Pump Station – Office is located on J. Rogers Lane, adjacent to the other Sewer Pump Station buildings. The building is a 972 SF, pre-engineered structure with exterior finish materials consisting of plywood exterior panels, stucco, and standing seam metal roofing which was installed in 2004. Overall, the building is in fair condition.

The site surfaces primarily consist of concrete-paved walkways and AC-paved parking lots and driveways, which appear to be in fair condition.

### Mechanical Systems

The mechanical systems consist of split system air conditioning units. Overall, the mechanical systems appear to be in operable condition.

### Electrical Systems

Electrical power is distributed by a single panelboard. The electrical system appears to be past its expected useful life.

Interior and exterior lighting also appears to be past its expected useful life.

### Plumbing Elements

No plumbing systems identified at the building.

### Fire Protection

The building is not equipped with a fire sprinkler system; however, portable fire extinguishers were observed at key points in the building.

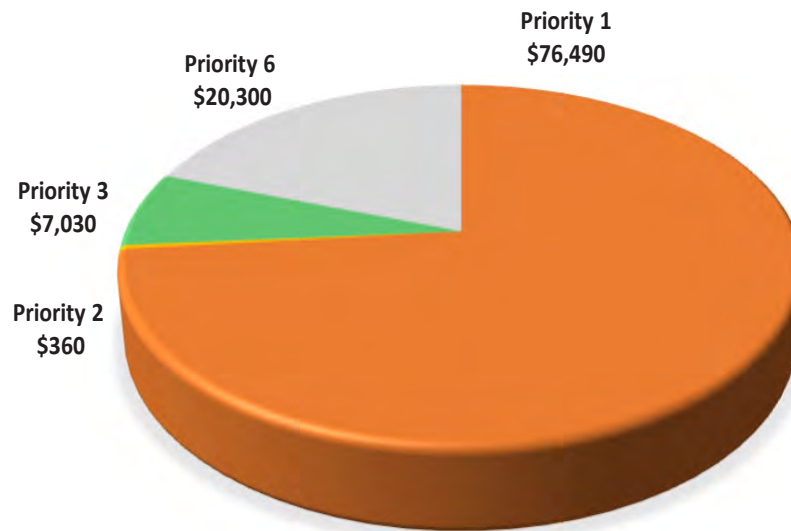
## Conclusion

For the Sewer Pump Station Office, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Sewer Pump Station Office						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$76,490	\$360	\$7,030	\$0	\$0	\$20,300	\$104,180
73.42%	0.35%	6.75%	0.00%	0.00%	19.49%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Sewer Pump Station - Office

<b>Capital Renewal Cost:</b>	<b>\$92,330</b>	FCI:	<b>0.079</b>
Replacement Cost:	<b>\$1,171,000</b>	Condition Score:	<b>B</b>
Replacement Cost/SF:	<b>\$1,204</b>	Condition Rating:	<b>FAIR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B3010	ROOFING	\$310	-	\$360	-	-	-	-
D3030	COOLING SYSTEMS	\$21,210	-	-	\$7,030	-	-	\$20,300
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$17,190	\$18,570	-	-	-	-	-
D5040	LIGHTING	\$53,620	\$57,920	-	-	-	-	-
<b>TOTALS</b>		<b>\$92,330</b>	<b>\$76,490</b>	<b>\$360</b>	<b>\$7,030</b>	<b>-</b>	<b>-</b>	<b>\$20,300</b>
TOTAL (Priority 1-6 without escalation)		<b>\$92,330</b>	<b>\$104,180</b>					
			TOTAL (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

Sewer Pump Station - Office

DEFICIENCY TABLE

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
268	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
1784	D5040 - LIGHTING	D5040.50.302		The exterior light fixture is past its expected useful life.	Replace the existing light fixture with an LED lighting fixture.	1	EA	\$970	\$2,280	1
1783	D5040 - LIGHTING	D5040.50.411		Interior lighting system is past its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	972	SF	\$23,740	\$55,640	1
32	B3010 - ROOFING	B3010.90.010	Exterior	The 2' fascia is appears deteriorated.	Selectively remove deteriorated fascia and replace with new material to match.	10	LF	\$140	\$360	2
267	D3030 - COOLING SYSTEMS	D3030.70.032		Window mounted AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$2,740	\$7,030	3
271	D3030 - COOLING SYSTEMS	D3030.70.002		Split system with wall mounted AC and outdoor condensing unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$7,030	\$20,300	6



## City of Rohnert Park Facility Condition Assessment

### Sewer Pump Station - Office

Record ID: 32  
 System: B3010 - ROOFING  
 Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
 Item No.: B3010.90.010  
 Floor/Room: Roof / Exterior  
**Priority:** 2  
 Quantity/Unit of Measure: 10/LF  
 Total Deficiency Cost: \$360  
 Deficiency Description: *The 2' fascia is appears deteriorated.*

Description of Work: *Selectively remove deteriorated fascia and replace with new material to match.*

Comments:



Record ID: 267  
 System: D3030 - COOLING SYSTEMS  
 Year Installed / Industry Life / Remaining Useful Life: 2006 / 10 / -6  
 Item No.: D3030.70.032  
 Floor/Room:  
**Priority:** 3  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$7,030  
 Deficiency Description: *Window mounted AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 268  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1972 / 30 / -20  
 Item No.: D5020.30.1008  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,570  
 Deficiency Description: *The panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Sewer Pump Station - Office**

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Record ID 271  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life 2019 / 15 / 12

Item No. D3030.70.002

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$20,300

Deficiency Description: *Split system with wall mounted AC and outdoor condensing unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID 1783  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D5040.50.411

Floor/Room:

**Priority:** 1

Quantity/Unit of Measure: 972/SF  
Total Deficiency Cost: \$55,640

Deficiency Description: *Interior lighting system is past its expected useful life.*

Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments:

PHOTO  
NOT  
APPLICABLE

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Record ID 1784  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D5040.50.302

Floor/Room:

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$2,280

Deficiency Description: *The exterior light fixture is past its expected useful life.*

Description of Work: *Replace the existing light fixture with an LED lighting fixture.*

Comments:

PHOTO  
NOT  
APPLICABLE

# Spreckels Performing Arts Center

## Detailed Report

**Address: 5409 Snyder Lane, Rohnert Park, CA 94928**

### Statistics

Year Built:	1991
Building Additions:	N/A
Building Area:	42,940 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$4,463,440</b>
FCI:	0.058
Condition Score:	B
Condition Rating:	Fair
Replacement Cost:	\$76,315,000
Replacement Cost/SF:	\$1,777



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## Assessment Descriptions

### Architectural Elements

Built in 1991, the Spreckels Performing Arts Center is a 43,000 SF, wood-frame and concrete structure located on Snyder Lane, adjacent to the Callinan Sports & Fitness Center and Rohnert Park Community Center. The interior finish materials consist of carpet flooring, painted gypsum board wall and ceiling, ceramic tile, and vinyl composition tile. The interior finish materials are in fair condition; however, the carpet flooring and vinyl composition tile flooring are recommended for replacement within the next five to ten years.

The exterior finish materials consist of wood board siding, aluminum windows, and standing seam metal roofing which was installed five years ago. Roof leaks were reported by staff at the time of the assessment. Overall, the exterior finish materials are in good condition, with exception to the wood board siding which shows signs of minor weathering and is recommended for replacing within the next ten years.

The site surfaces consist of AC pavement and concrete walkways and plaza. The plaza to the north of the building consists of concrete pavement that is showing signs of cracking and damaged. The pavement is recommended for replacement within the next five years.

### Mechanical Systems

The mechanical systems consist of packaged air conditioning units and rooftop ventilators. The conditioned air is distributed to the spaces via concealed hard duct and diffusers. Overall, the mechanical systems appear to be in operable condition as the equipment is installed pre-pandemic and proper test and balance was performed. There are some reported issues of compressor failure due to intermittent use during the pandemic, but the equipment was covered via warranty.

### Electrical Systems

Electrical power is provided by a 1600-amp metered main switchboard, 2000-amp switchboard and several panelboards throughout the building. The electrical equipment appears to be past its expected useful life.

The interior and exterior lighting system also appears to be past its expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, gas piping, sanitary waste piping and vent piping. The domestic hot water is provided by gas-fired water heater. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

The building is equipped with a fire sprinkler system throughout. Portable fire extinguishers were observed at key points in the building.

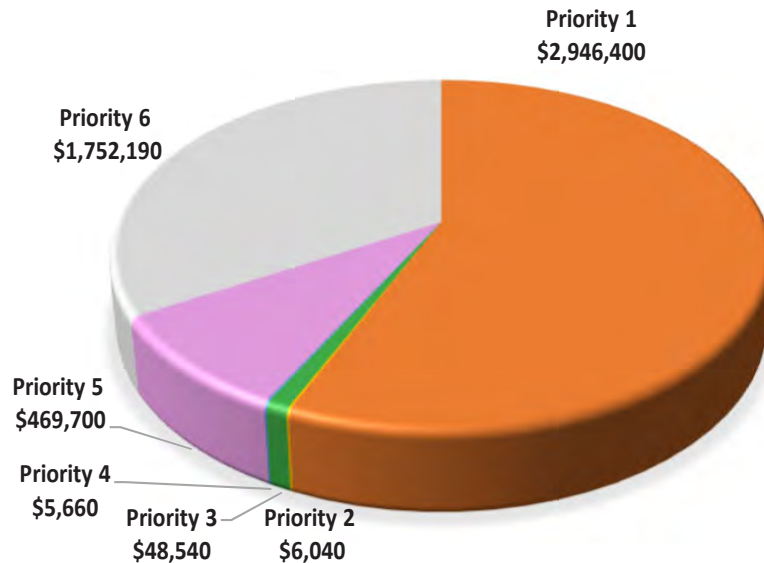
## Conclusion

For the Spreckels Performing Arts Center, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

Spreckels Performing Arts Center						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$2,946,400	\$6,040	\$48,540	\$5,660	\$469,700	\$1,752,190	\$5,228,530
56.35%	0.12%	0.93%	0.11%	8.98%	33.51%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

Spreckels Performing Arts Center

<b>Capital Renewal Cost:</b>	<b>\$4,463,440</b>	FCI:	<b>0.058</b>
Replacement Cost:	<b>\$76,315,000</b>	Condition Score:	<b>B</b>
Replacement Cost/SF:	<b>\$1,777</b>	Condition Rating:	<b>FAIR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$118,890	-	-	-	-	-	\$158,130
B2050	EXTERIOR DOORS AND GRILLES	\$460	-	\$520	-	-	-	-
B2080	EXTERIOR WALL APPURTENANCES	\$1,500	-	-	\$1,780	-	-	-
C1010	INTERIOR PARTITIONS	\$630	-	-	\$750	-	-	-
C1030	INTERIOR DOORS	\$1,680	-	-	\$1,990	-	-	-
C2030	FLOORING	\$306,930	\$1,620	\$3,400	\$20,200	-	-	\$379,490
C2050	CEILING FINISHES	\$5,610	-	\$2,120	\$4,420	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$12,220	\$13,200	-	-	-	-	-
D3030	COOLING SYSTEMS	\$906,610	-	-	-	-	-	\$1,205,840
D3060	VENTILATION	\$6,560	-	-	-	-	-	\$8,730
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$354,220	\$382,600	-	-	-	-	-
D5040	LIGHTING	\$2,360,150	\$2,548,980	-	-	-	-	-
E2010	FIXED FURNISHINGS	\$50,550	-	-	-	\$5,660	\$58,820	-
G2020	PARKING LOTS	\$10,350	-	-	\$12,220	-	-	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	\$321,000	-	-	-	-	\$410,880	-
G2060	SITE DEVELOPMENT	\$6,080	-	-	\$7,180	-	-	-
<b>TOTALS</b>		<b>\$4,463,440</b>	<b>\$2,946,400</b>	<b>\$6,040</b>	<b>\$48,540</b>	<b>\$5,660</b>	<b>\$469,700</b>	<b>\$1,752,190</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$4,463,440</b>	<b>\$5,228,530</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

Spreckels Performing Arts Center

DEFICIENCY TABLE

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
848	C2030 - FLOORING	C2030.10.001	1	Concrete floor is approaching the end of its useful life.	Repair and refinish the concrete floor.	100	SF	\$690	\$1,620	1
507	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.40.006		Booster pump serving water heater is at the end of its expected useful service life.	Provide equipment replacement and installation.	1	EA	\$5,630	\$13,200	1
499	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.218		The 112.5kVA transformer is past its expected useful life.	Replace the existing transformer with a new transformer.	1	EA	\$9,020	\$21,140	1
506	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.222		The 500kVA transformer is past its expected useful life.	Replace the existing transformer with a new transformer.	1	EA	\$28,210	\$66,100	1
495	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.314		The 1600A metered main switchboard is past its expected useful life.	Replace the existing metered main switchboard with a new metered main switchboard.	1	EA	\$26,790	\$62,770	1
503	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.0014		The 2000A switchboard is past its expected useful life.	Replace the existing switchboard with a new switchboard.	1	EA	\$28,680	\$67,200	1
520	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1007		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$4,890	\$11,460	1
521	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1007		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$4,890	\$11,460	1
821	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1007		The 100A (30 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$4,890	\$11,460	1
497	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1007		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$4,890	\$11,460	1
519	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1007		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$4,890	\$11,460	1
843	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1007		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$4,890	\$11,460	1
498	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
522	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
500	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1011		The panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,570	\$17,750	1



**City of Rohnert Park  
Facility Condition Assessment**

Spreckels Performing Arts Center

DEFICIENCY TABLE

(1) Deficiency Cost = Qty x Unit Cost

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Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
514	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1014		The 600A panelboard is past expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$17,810	\$41,740	1
504	D5040 - LIGHTING	D5040.10.003		The existing lighting controls are at or are approaching end of their expected useful life.	Replace the existing switches and provide a new lighting control system.	1	EA	\$480	\$1,140	1
1787	D5040 - LIGHTING	D5040.50.302		The exterior light fixture is past its expected useful life.	Replace the existing light fixture with an LED lighting fixture.	40	EA	\$38,760	\$90,820	1
814	D5040 - LIGHTING	D5040.50.403	Exterior	An outlet cover is missing or damaged and should be replaced.	Replace the damaged or missing outlet cover.	1	EA	\$50	\$120	1
1785	D5040 - LIGHTING	D5040.50.411		Interior lighting system is past its expected useful life.	Provide new interior lighting and control system throughout building per current CEC T24 code.	42,940	SF	\$1,048,610	\$2,456,900	1
832	B2050 - EXTERIOR DOORS AND GRILLES	B2050.90.003	Exit	Door is showing signs of wear.	Refinish exit doors.	1	LS	\$210	\$520	2
851	C2030 - FLOORING	C2030.10.001	1	Concrete floor is showing signs of damage and cracking.	Repair and refinish the concrete floor.	200	SF	\$1,380	\$3,400	2
818	C2050 - CEILING FINISHES	C2050.10.001	Star Dressing East	Painted gypsum wallboard ceiling is approaching the end of its useful life.	Remove the existing gypsum board ceiling and replace. Tape and paint.	100	SF	\$860	\$2,120	2
810	B2080 - EXTERIOR WALL APPURTENANCES	B2080.30.002	Box Office	Awning (fabric) is approaching the end of its useful life.	Replace fabric awning.	1	LS	\$690	\$1,780	3
837	C1010 - INTERIOR PARTITIONS	C1010.10.001	Orchestra Pit	Painted gypsum wallboard is in poor condition with several cracks.	Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.	100	SF	\$290	\$750	3
840	C1030 - INTERIOR DOORS	C1030.10.008	Lobby	Interior wood door is in visual need of refurbishment.	Refurbish and restain the wood door.	1	EA	\$420	\$1,090	3
850	C1030 - INTERIOR DOORS	C1030.90.003	Hallway	Metal door and frames are showing signs of wear.	Repair and refinish the metal door and frames.	1	EA	\$350	\$900	3
825	C2030 - FLOORING	C2030.20.001	Chorus Dressing West	Ceramic tile floor is approaching the end of its useful life.	Remove the existing ceramic tile flooring and replace.	50	SF	\$1,360	\$3,500	3
830	C2030 - FLOORING	C2030.20.001	Chorus Dressing East	Ceramic tile floor is approaching the end of its useful life.	Remove the existing ceramic tile flooring and replace.	50	SF	\$1,360	\$3,500	3

**City of Rohnert Park  
Facility Condition Assessment**

**Spreckels Performing Arts Center**

**DEFICIENCY TABLE**

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Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
846	C2030 - FLOORING	C2030.50.001	Dimmer Room	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	100	SF	\$1,030	\$2,650	3
824	C2030 - FLOORING	C2030.50.001	Chorus Dressing West	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	400	SF	\$4,120	\$10,550	3
816	C2050 - CEILING FINISHES	C2050.10.001	1	Painted gypsum wallboard ceiling is approaching the end of its useful life.	Remove the existing gypsum board ceiling and replace. Tape and paint.	100	SF	\$860	\$2,210	3
829	C2050 - CEILING FINISHES	C2050.10.001	Chorus Dressing West	Painted gypsum wallboard ceiling is approaching the end of its useful life.	Remove the existing gypsum board ceiling and replace. Tape and paint.	100	SF	\$860	\$2,210	3
1018	G2020 - PARKING LOTS	G2020.10.002	AC Paving	AC paving is showing signs of wear.	Replace AC pavement section.	400	SF	\$4,770	\$12,220	3
807	G2060 - SITE DEVELOPMENT	G2060.20.004	Electrical Enclosure	Wood fence is deteriorated or at end-of-life.	Replace wood fencing, including slats and posts.	200	SF	\$2,800	\$7,180	3
853	E2010 - FIXED FURNISHINGS	E2010.30.002	Restroom	Solid Surface countertops are at or are approaching the end of their useful life.	Remove and replace the solid surface countertops.	15	LF	\$1,060	\$2,830	4
849	E2010 - FIXED FURNISHINGS	E2010.30.002	Restroom	Solid Surface countertops are at or are approaching the end of their useful life.	Remove and replace the solid surface countertops.	15	LF	\$1,060	\$2,830	4
838	E2010 - FIXED FURNISHINGS	E2010.30.009	Kitchen	Plastic laminate casework is at or will be approaching the end of its expected useful life.	Provide new plastic laminate casework (upper, lower, and countertop)	15	LF	\$13,810	\$38,350	5
817	E2010 - FIXED FURNISHINGS	E2010.30.009	Kitchenette	Plastic laminate casework is at or will be approaching the end of its expected useful life.	Provide new plastic laminate casework (upper, lower, and countertop)	8	LF	\$7,370	\$20,470	5
806	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Pavement	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	10,000	SF	\$147,960	\$410,880	5
811	B2010 - EXTERIOR WALLS	B2010.10.003	Exterior	Wood board siding is approaching the end of its useful life.	Replace or repair the existing wood siding.	5,000	SF	\$54,800	\$158,130	6
813	C2030 - FLOORING	C2030.75.001	Throughout	Carpet flooring is approaching the end of its useful life.	Replace carpet flooring.	12,000	SF	\$131,520	\$379,490	6
510	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$59,340	6
508	D3030 - COOLING SYSTEMS	D3030.10.019		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$34,260	\$98,860	6

**City of Rohnert Park  
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**DEFICIENCY TABLE**

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Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
513	D3030 - COOLING SYSTEMS	D3030.10.019		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$34,260	\$98,860	6
516	D3030 - COOLING SYSTEMS	D3030.10.020		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$54,800	\$158,130	6
509	D3030 - COOLING SYSTEMS	D3030.10.020		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$54,800	\$158,130	6
511	D3030 - COOLING SYSTEMS	D3030.10.020		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$54,800	\$158,130	6
512	D3030 - COOLING SYSTEMS	D3030.10.020		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$54,800	\$158,130	6
515	D3030 - COOLING SYSTEMS	D3030.10.020		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$54,800	\$158,130	6
524	D3030 - COOLING SYSTEMS	D3030.10.020		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$54,800	\$158,130	6
517	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$8,730	6

**City of Rohnert Park  
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**Spreckels Performing Arts Center**

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Record ID 495  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 1991 / 20 / -11  
Item No. D5020.10.314  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$62,770  
Deficiency Description: *The 1600A metered main switchboard is past its expected useful life.*  
  
Description of Work: *Replace the existing metered main switchboard with a new metered main switchboard.*  
  
Comments:



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Record ID 497  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 1991 / 30 / -1  
Item No. D5020.30.1007  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$11,460  
Deficiency Description: *The panelboard is past its expected useful life.*  
  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
  
Comments:



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Record ID 498  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 1991 / 30 / -1  
Item No. D5020.30.1008  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$18,570  
Deficiency Description: *The panelboard is past its expected useful life.*  
  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
  
Comments:



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**Spreckels Performing Arts Center**

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Record ID: 499  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1991 / 30 / -1  
Item No.: D5020.10.218  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$21,140  
Deficiency Description: *The 112.5kVA transformer is past its expected useful life.*  
  
Description of Work: *Replace the existing transformer with a new transformer.*  
  
Comments:



Record ID: 500  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1991 / 30 / -1  
Item No.: D5020.30.1011  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$17,750  
Deficiency Description: *The panelboard is past its expected useful life.*  
  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
  
Comments:



Record ID: 503  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1991 / 20 / -11  
Item No.: D5020.30.0014  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$67,200  
Deficiency Description: *The 2000A switchboard is past its expected useful life.*  
  
Description of Work: *Replace the existing switchboard with a new switchboard.*  
  
Comments:



**City of Rohnert Park  
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**Spreckels Performing Arts Center**

Record ID: 504  
 System: D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life: 1991 / 20 / -11

Item No.: D5040.10.003

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$1,140

Deficiency Description: *The existing lighting controls are at or are approaching end of their expected useful life.*

Description of Work: *Replace the existing switches and provide a new lighting control system.*

Comments: *Functional, but 30 years old, several dead circuits, system on last legs, dimmer system, company no longer in service (100k?+)*



Record ID: 506  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1991 / 30 / -1

Item No.: D5020.10.222

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$66,100

Deficiency Description: *The 500kVA transformer is past its expected useful life.*

Description of Work: *Replace the existing transformer with a new transformer.*

Comments:



Record ID: 507  
 System: D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 2016 / 15 / 9

Item No.: D2010.40.006

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$13,200

Deficiency Description: *Booster pump serving water heater is at the end of its expected useful service life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Issues due to no use during the COVID season. Booster pump fails often.*



**City of Rohnert Park  
Facility Condition Assessment**

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**Spreckels Performing Arts Center**

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Record ID 508  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life 2017 / 15 / 10

Item No. D3030.10.019

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$98,860  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID 509  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life 2017 / 15 / 10

Item No. D3030.10.020

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$158,130  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID 510  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life 2017 / 15 / 10

Item No. D3030.10.018

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$59,340  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Spreckels Performing Arts Center**

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Record ID: 511  
System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2017 / 15 / 10

Item No.: D3030.10.020

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$158,130  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 512  
System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2017 / 15 / 10

Item No.: D3030.10.020

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$158,130  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 513  
System: D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: 2017 / 15 / 10

Item No.: D3030.10.019

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$98,860  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:





**City of Rohnert Park  
Facility Condition Assessment**

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**Spreckels Performing Arts Center**

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Record ID: 514  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1991 / 30 / -1  
Item No.: D5020.30.1014  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$41,740  
Deficiency Description: *The 600A panelboard is past expected useful life.*  
  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
  
Comments:



Record ID: 515  
System: D3030 - COOLING SYSTEMS  
Year Installed / Industry Life / Remaining Useful Life: 2017 / 15 / 10  
Item No.: D3030.10.020  
Floor/Room:  
**Priority:** 7  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$158,130  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*  
  
Description of Work: *Provide equipment replacement and installation.*  
  
Comments:



Record ID: 516  
System: D3030 - COOLING SYSTEMS  
Year Installed / Industry Life / Remaining Useful Life: 2017 / 15 / 10  
Item No.: D3030.10.020  
Floor/Room:  
**Priority:** 7  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$158,130  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*  
  
Description of Work: *Provide equipment replacement and installation.*  
  
Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Spreckels Performing Arts Center**

Record ID: 517  
 System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D3060.30.005

Floor/Room:

Priority: 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$8,730

Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 519  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1991 / 30 / -1

Item No.: D5020.30.1007

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$11,460

Deficiency Description: *The panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID: 520  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1991 / 30 / -1

Item No.: D5020.30.1007

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$11,460

Deficiency Description: *The panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Spreckels Performing Arts Center**

Record ID: 521  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1991 / 30 / -1  
 Item No.: D5020.30.1007  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$11,460  
 Deficiency Description: *The panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID: 522  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1991 / 30 / -1  
 Item No.: D5020.30.1008  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,570  
 Deficiency Description: *The panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments: *Panel accessibility 1LE*



Record ID: 524  
 System: D3030 - COOLING SYSTEMS  
 Year Installed / Industry Life / Remaining Useful Life: 2017 / 15 / 10  
 Item No.: D3030.10.020  
 Floor/Room:  
**Priority:** 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$158,130  
 Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Spreckels Performing Arts Center**

Record ID: 806  
 System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: G2030.10.005  
 Floor/Room: Site / Pavement  
**Priority:** 5  
 Quantity/Unit of Measure: 10,000/SF  
 Total Deficiency Cost: \$410,880  
 Deficiency Description: *Concrete pavement has major damage / structural failure.*

Description of Work: *Replace concrete and base to match existing.*

Comments:



Record ID: 807  
 System: G2060 - SITE DEVELOPMENT  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: G2060.20.004  
 Floor/Room: Site / Electrical Enclosure  
**Priority:** 3  
 Quantity/Unit of Measure: 200/SF  
 Total Deficiency Cost: \$7,180  
 Deficiency Description: *Wood fence is deteriorated or at end-of-life.*

Description of Work: *Replace wood fencing, including slats and posts.*

Comments:



Record ID: 810  
 System: B2080 - EXTERIOR WALL APPURTENANCES  
 Year Installed / Industry Life / Remaining Useful Life: - / 15 / -  
 Item No.: B2080.30.002  
 Floor/Room: 1 / Box Office  
**Priority:** 3  
 Quantity/Unit of Measure: 1/LS  
 Total Deficiency Cost: \$1,780  
 Deficiency Description: *Awning (fabric) is approaching the end of its useful life.*

Description of Work: *Replace fabric awning.*

Comments: *Awning is faded.*



**City of Rohnert Park  
Facility Condition Assessment**

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**Spreckels Performing Arts Center**

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Record ID: 811  
System: B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: B2010.10.003

Floor/Room: 1 / Exterior

Priority: 7

Quantity/Unit of Measure: 5,000/SF

Total Deficiency Cost: \$158,130

Deficiency Description: *Wood board siding is approaching the end of its useful life.*

Description of Work: *Replace or repair the existing wood siding.*

Comments:



Record ID: 813  
System: C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: C2030.75.001

Floor/Room: 1 / Throughout

Priority: 7

Quantity/Unit of Measure: 12,000/SF

Total Deficiency Cost: \$379,490

Deficiency Description: *Carpet flooring is approaching the end of its useful life.*

Description of Work: *Replace carpet flooring.*

Comments:



Record ID: 814  
System: D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: D5040.50.403

Floor/Room: / Exterior

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$120

Deficiency Description: *An outlet cover is missing or damaged and should be replaced.*

Description of Work: *Replace the damaged or missing outlet cover.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Spreckels Performing Arts Center**

Record ID 816  
System C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. C2050.10.001

Floor/Room: 1

Priority: 3

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$2,210

Deficiency Description: *Painted gypsum wallboard ceiling is approaching the end of its useful life.*

Description of Work: *Remove the existing gypsum board ceiling and replace. Tape and paint.*

Comments:



Record ID 817  
System E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. E2010.30.009

Floor/Room: 1 / Kitchenette

Priority: 5

Quantity/Unit of Measure: 8/LF

Total Deficiency Cost: \$20,470

Deficiency Description: *Plastic laminate casework is at or will be approaching the end of its expected useful life.*

Description of Work: *Provide new plastic laminate casework (upper, lower, and countertop)*

Comments:



Record ID 818  
System C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. C2050.10.001

Floor/Room: 1 / Star Dressing East

Priority: 2

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$2,120

Deficiency Description: *Painted gypsum wallboard ceiling is approaching the end of its useful life.*

Description of Work: *Remove the existing gypsum board ceiling and replace. Tape and paint.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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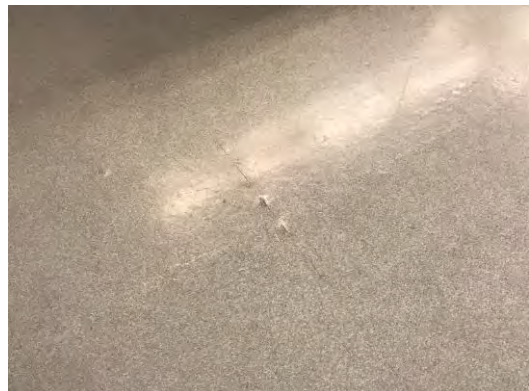
**Spreckels Performing Arts Center**

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Record ID 821  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 1991 / 30 / -1  
Item No. D5020.30.1007  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$11,460  
Deficiency Description: *The 100A (30 ckts, 120/208, 3P) panelboard is approaching the end of its expected useful life.*  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
Comments:



Record ID 824  
System C2030 - FLOORING  
Year Installed / Industry Life / Remaining Useful Life - / 60 / -  
Item No. C2030.50.001  
Floor/Room: 1 / Chorus Dressing West  
**Priority:** 3  
Quantity/Unit of Measure: 400/SF  
Total Deficiency Cost: \$10,550  
Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*  
Description of Work: *Remove the existing vinyl composition tile and replace.*  
Comments:



Record ID 825  
System C2030 - FLOORING  
Year Installed / Industry Life / Remaining Useful Life - / 60 / -  
Item No. C2030.20.001  
Floor/Room: 1 / Chorus Dressing West  
**Priority:** 3  
Quantity/Unit of Measure: 50/SF  
Total Deficiency Cost: \$3,500  
Deficiency Description: *Ceramic tile floor is approaching the end of its useful life.*  
Description of Work: *Remove the existing ceramic tile flooring and replace.*  
Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Spreckels Performing Arts Center**

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Record ID 829  
System C2050 - CEILING FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. C2050.10.001  
Floor/Room: 1 / Chorus Dressing West

**Priority:** 3  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$2,210  
Deficiency Description: *Painted gypsum wallboard ceiling is approaching the end of its useful life.*

Description of Work: *Remove the existing gypsum board ceiling and replace. Tape and paint.*

Comments:



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Record ID 830  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C2030.20.001  
Floor/Room: 1 / Chorus Dressing East

**Priority:** 3  
Quantity/Unit of Measure: 50/SF  
Total Deficiency Cost: \$3,500  
Deficiency Description: *Ceramic tile floor is approaching the end of its useful life.*

Description of Work: *Remove the existing ceramic tile flooring and replace.*

Comments:



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Record ID 832  
System B2050 - EXTERIOR DOORS AND GRILLES

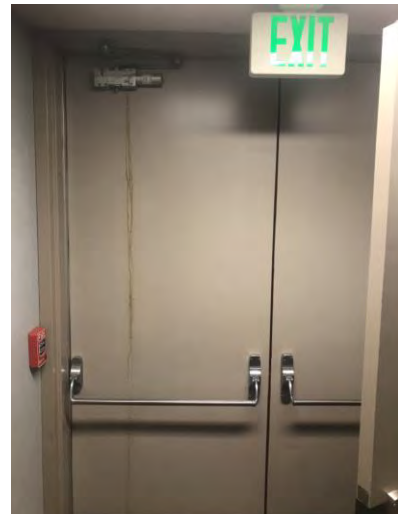
Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. B2050.90.003  
Floor/Room: 1 / Exit

**Priority:** 2  
Quantity/Unit of Measure: 1/LS  
Total Deficiency Cost: \$520  
Deficiency Description: *Door is showing signs of wear.*

Description of Work: *Refinish exit doors.*

Comments:





**City of Rohnert Park  
Facility Condition Assessment**

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**Spreckels Performing Arts Center**

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Record ID 837  
System C1010 - INTERIOR PARTITIONS

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. C1010.10.001

Floor/Room: 1 / Orchestra Pit

**Priority:** 3

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$750

Deficiency Description: *Painted gypsum wallboard is in poor condition with several cracks.*

Description of Work: *Remove and replace existing gypsum board with a new gypsum board and expansion joints. Tape and paint.*

Comments:



Record ID 838  
System E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. E2010.30.009

Floor/Room: 1 / Kitchen

**Priority:** 5

Quantity/Unit of Measure: 15/LF

Total Deficiency Cost: \$38,350

Deficiency Description: *Plastic laminate casework is at or will be approaching the end of its expected useful life.*

Description of Work: *Provide new plastic laminate casework (upper, lower, and countertop)*

Comments:



Record ID 840  
System C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. C1030.10.008

Floor/Room: 1 / Lobby

**Priority:** 3

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$1,090

Deficiency Description: *Interior wood door is in visual need of refurbishment.*

Description of Work: *Refurbish and restrain the wood door.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Spreckels Performing Arts Center**

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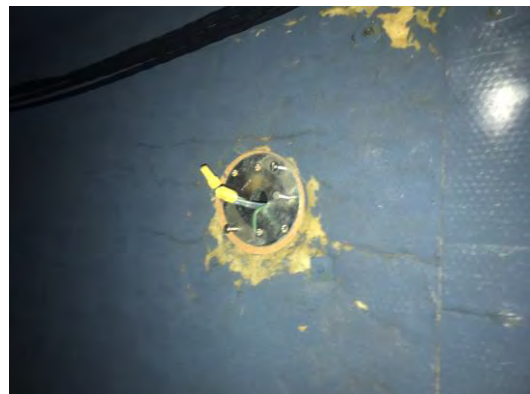
Record ID: 843  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1991 / 30 / -1  
Item No.: D5020.30.1007  
Floor/Room: 1  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$11,460  
Deficiency Description: *The panelboard is past its expected useful life.*  
  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
  
Comments:



Record ID: 846  
System: C2030 - FLOORING  
Year Installed / Industry Life / Remaining Useful Life: - / 60 / -  
Item No.: C2030.50.001  
Floor/Room: 1 / Dimmer Room  
**Priority:** 3  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$2,650  
Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*  
  
Description of Work: *Remove the existing vinyl composition tile and replace.*  
  
Comments:



Record ID: 848  
System: C2030 - FLOORING  
Year Installed / Industry Life / Remaining Useful Life: - / 50 / -  
Item No.: C2030.10.001  
Floor/Room: 1  
**Priority:** 1  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$1,620  
Deficiency Description: *Concrete floor is approaching the end of its useful life.*  
  
Description of Work: *Repair and refinish the concrete floor.*  
  
Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Spreckels Performing Arts Center**

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Record ID 849  
System E2010 - FIXED FURNISHINGS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. E2010.30.002  
Floor/Room: 1 / Restroom  
**Priority:** 4  
Quantity/Unit of Measure: 15/LF  
Total Deficiency Cost: \$2,830  
Deficiency Description: *Solid Surface countertops are at or are approaching the end of their useful life.*

Description of Work: *Remove and replace the solid surface countertops.*

Comments:



Record ID 850  
System C1030 - INTERIOR DOORS

Year Installed / Industry Life / Remaining Useful Life - / 60 / -

Item No. C1030.90.003  
Floor/Room: 1 / Hallway  
**Priority:** 3  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$900  
Deficiency Description: *Metal door and frames are showing signs of wear.*

Description of Work: *Repair and refinish the metal door and frames.*

Comments:



Record ID 851  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. C2030.10.001  
Floor/Room: 1  
**Priority:** 2  
Quantity/Unit of Measure: 200/SF  
Total Deficiency Cost: \$3,400  
Deficiency Description: *Concrete floor is showing signs of damage and cracking.*

Description of Work: *Repair and refinish the concrete floor.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Spreckels Performing Arts Center**

Record ID: 853  
 System: E2010 - FIXED FURNISHINGS  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: E2010.30.002  
 Floor/Room: 1 / Restroom  
 Priority: 4  
 Quantity/Unit of Measure: 15/LF  
 Total Deficiency Cost: \$2,830  
 Deficiency Description: *Solid Surface countertops are at or are approaching the end of their useful life.*  
 Description of Work: *Remove and replace the solid surface countertops.*  
 Comments:



Record ID: 1018  
 System: G2020 - PARKING LOTS  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: G2020.10.002  
 Floor/Room: Site / AC Paving  
 Priority: 3  
 Quantity/Unit of Measure: 400/SF  
 Total Deficiency Cost: \$12,220  
 Deficiency Description: *AC paving is showing signs of wear.*  
 Description of Work: *Replace AC pavement section.*  
 Comments:



Record ID: 1785  
 System: D5040 - LIGHTING  
 Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
 Item No.: D5040.50.411  
 Floor/Room:  
 Priority: 1  
 Quantity/Unit of Measure: 42,940/SF  
 Total Deficiency Cost: \$2,456,900  
 Deficiency Description: *Interior lighting system is past its expected useful life.*  
 Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*  
 Comments:

PHOTO  
NOT  
APPLICABLE

**City of Rohnert Park  
Facility Condition Assessment**

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**Spreckels Performing Arts Center**

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Record ID: 1787  
System: D5040 - LIGHTING  
  
Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
Item No.: D5040.50.302  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 40/EA  
Total Deficiency Cost: \$90,820  
Deficiency Description: *The exterior light fixture is past its expected useful life.*  
  
Description of Work: *Replace the existing light fixture with an LED lighting fixture.*  
  
Comments:

PHOTO  
NOT  
APPLICABLE

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# State Farm Building

## Detailed Report

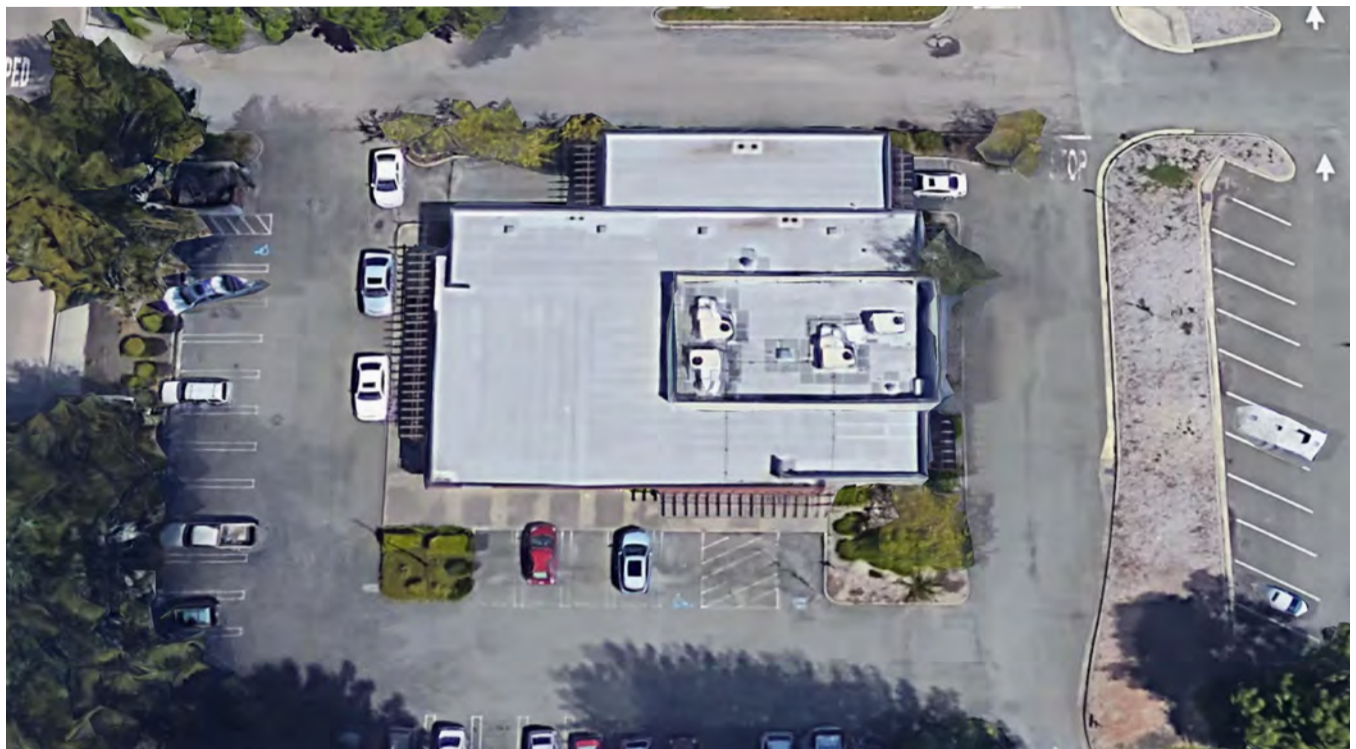
**Address: 6250 State Farm Drive, Rohnert Park, CA 94928**

### Statistics

Year Built:	1980
Building Additions:	N/A
Building Area:	6,488 SF

### FCA Summary

<b>Capital Renewal Cost:</b>	<b>\$1,104,480</b>
FCI:	0.179
Condition Score:	C
Condition Rating:	Poor
Replacement Cost:	\$6,184,000
Replacement Cost/SF:	\$953



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## Assessment Descriptions

### Architectural Elements

Built in 1980, the 6,500 SF, wood-frame State Farm Building includes interior spaces consisting of offices, meeting rooms, break room, and restrooms.

The interior finish materials consist of carpet flooring, ceramic tile, painted gypsum board wall and ceiling, vinyl composition tile flooring, and lay-in acoustical ceiling tiles. It is recommended the carpet and vinyl composition tile flooring surfaces be replaced along with the ceiling tiles. Overall, the interior finish materials are in fair condition.

The exterior finish materials consist of stucco, aluminum windows, wood trellises, and single-ply roofing. Overall, the exterior finish materials are in fair to good condition, however, the single-ply roofing contains areas where ponding and debris build-up are evident.

The site surfaces consist of concrete-paved walkways and AC-paved parking lots. The AC pavement is showing signs of minor weathering and is recommended to be resealed within the next few years. Overall, the site surfaces are in fair condition.

### Mechanical Systems

The mechanical systems consist of packaged air conditioning units and rooftop ventilators. The conditioned air is distributed to the spaces via concealed hard duct and diffusers. Overall, the mechanical systems appear to be in operable condition.

### Electrical Systems

Electrical power is provided by a 400-amp metered main switchboard and several panelboards throughout the building. The electrical equipment appears to be past its expected useful life.

The interior and exterior lighting system also appears to be past its expected useful life.

### Plumbing Elements

The plumbing systems consist of domestic cold and hot water piping, sanitary waste piping and vent piping. The domestic hot water is provided by electric water heater. Overall, the plumbing systems appear to be in operable condition.

### Fire Protection

The building is equipped with a fire sprinkler system throughout. Portable fire extinguishers were observed at key points in the building.

A fire alarm system was observed on site and appears to be in operable condition.



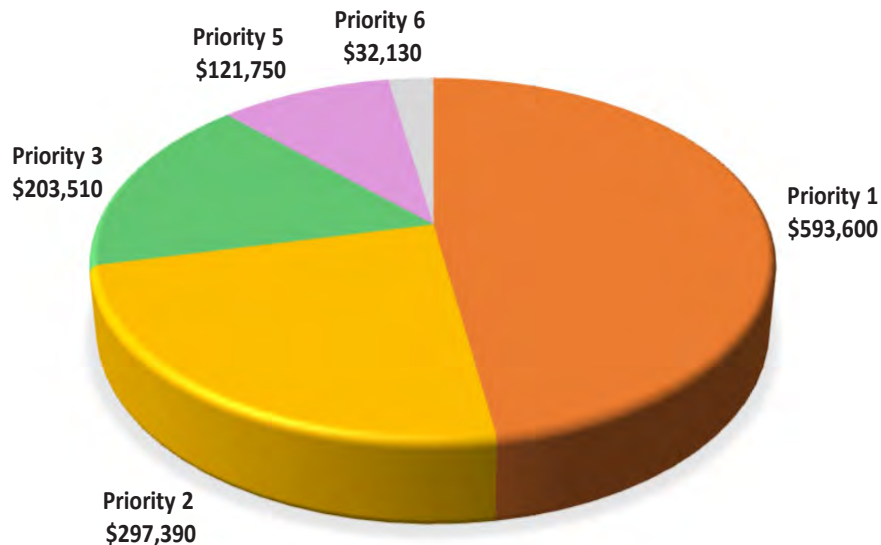
## Conclusion

For the State Farm Building, these charts summarize the Capital Renewal Costs by Priority with their associated costs and escalation based on the time period anticipated for implementation.

Detailed Capital Renewal Costs by Priority, broken down by Building System Class, are included in the following CIP Deficiency Cost Summary. This chart summarizes all of the more detailed information from the subsequent Deficiency Table. To supplement the Deficiency Table, representative photographs and descriptions are included.

State Farm Building						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$593,600	\$297,390	\$203,510	\$0	\$121,750	\$32,130	\$1,248,380
47.55%	23.82%	16.30%	0.00%	9.75%	2.57%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**



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**City of Rohnert Park  
Facility Condition Assessment**

**State Farm Building**

**Capital Renewal Cost: \$1,104,480**

FCI: **0.179**

Replacement Cost: **\$6,184,000**

Condition Score: **C**

Replacement Cost/SF: **\$953**

Condition Rating: **POOR**

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$77,280	-	\$87,330	-	-	-	-
B3010	ROOFING	\$7,450	-	\$8,420	-	-	-	-
C2010	WALL FINISHES	\$1,870	-	-	\$2,210	-	-	-
C2030	FLOORING	\$107,420	-	-	\$14,530	-	\$121,750	-
C2050	CEILING FINISHES	\$42,070	\$400	-	\$49,210	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$11,030	-	-	-	-	-	\$14,670
D3030	COOLING SYSTEMS	\$178,440	-	\$201,640	-	-	-	-
D3060	VENTILATION	\$13,120	-	-	-	-	-	\$17,460
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$50,810	\$54,890	-	-	-	-	-
D5040	LIGHTING	\$354,260	\$382,610	-	-	-	-	-
D7050	DETECTION AND ALARM	\$144,160	\$155,700	-	-	-	-	-
G2020	PARKING LOTS	\$115,940	-	-	\$136,810	-	-	-
G2060	SITE DEVELOPMENT	\$630	-	-	\$750	-	-	-
<b>TOTALS</b>		<b>\$1,104,480</b>	<b>\$593,600</b>	<b>\$297,390</b>	<b>\$203,510</b>	<b>-</b>	<b>\$121,750</b>	<b>\$32,130</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$1,104,480</b>	<b>\$1,248,380</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

**State Farm Building**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1039	C2050 - CEILING FINISHES	C2050.80.001	Ceiling	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	25	SF	\$170	\$400	1
685	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.302		The 400A metered main switchboard is past its expected useful life.	Replace the existing metered main switchboard with a new metered main switchboard.	1	EA	\$7,570	\$17,750	1
676	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008		The 225A panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
677	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1008		The 225A panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$7,920	\$18,570	1
1789	D5040 - LIGHTING	D5040.50.302		The exterior light fixture is past its expected useful life but operational.	Replace the existing light fixture with an LED lighting fixture.	5	EA	\$4,850	\$11,380	1
1788	D5040 - LIGHTING	D5040.50.411		Interior lighting system is past its expected useful life but operational.	Provide new interior lighting and control system throughout building per current CEC T24 code.	6,488	SF	\$158,440	\$371,230	1
674	D7050 - DETECTION AND ALARM	D7050.10.022		The existing fire alarm system is past its expected useful life	Provide a fully addressable fire alarm control panel with associated initiating and signaling devices.	6,488	SF	\$66,450	\$155,700	1
1049	B2010 - EXTERIOR WALLS	B2010.60.001	Equipment Screen	Rooftop mechanical equipment screen is damaged and showing signs of wear.	Provide an equipment replacement and installation.	400	SF	\$35,620	\$87,330	2
1048	B3010 - ROOFING	B3010.90.007	Roof	The roof is covered with debris which will shorten its useful life.	Clean off debris regularly.	100	SF	\$3,430	\$8,420	2
680	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$50,410	2
681	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$50,410	2
682	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$50,410	2
686	D3030 - COOLING SYSTEMS	D3030.10.018		Packaged AC unit is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$20,560	\$50,410	2

**City of Rohnert Park  
Facility Condition Assessment**

**State Farm Building**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1038	C2010 - WALL FINISHES	C2010.70.001	Meeting Room	Painted gypsum wallboard is showing signs of wear.	Patch and paint the gypsum wallboard.	100	SF	\$860	\$2,210	3
1041	C2030 - FLOORING	C2030.50.001	Storage	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	150	SF	\$1,550	\$3,980	3
1046	C2030 - FLOORING	C2030.50.001	Break Room	Vinyl composition tile is approaching the end of its useful life.	Remove the existing vinyl composition tile and replace.	400	SF	\$4,120	\$10,550	3
1045	C2050 - CEILING FINISHES	C2050.80.001	Throughout	Lay-in Acoustical Tile is in poor condition.	Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.	3,000	SF	\$19,220	\$49,210	3
1054	G2020 - PARKING LOTS	G2020.10.001	Parking Lot	AC paving has faded or has minor weathering.	Reseal parking lot.	10,000	SF	\$53,440	\$136,810	3
1053	G2060 - SITE DEVELOPMENT	G2060.40.003	Exterior	Wood trellis has minor damage.	Repaint wood trellis.	100	SF	\$290	\$750	3
1042	C2030 - FLOORING	C2030.75.001	Throughout	Carpet flooring is showing signs of wear.	Replace carpet flooring.	4,000	SF	\$43,840	\$121,750	5
675	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.021		Electric water heater is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$5,080	\$14,670	6
683	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$8,730	6
679	D3060 - VENTILATION	D3060.30.005		Roof exhaust fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$3,020	\$8,730	6

**City of Rohnert Park  
Facility Condition Assessment**

**State Farm Building**

Record ID: 674  
 System: D7050 - DETECTION AND ALARM

Year Installed / Industry Life / Remaining Useful Life: 1980 / 15 / -27

Item No.: D7050.10.022

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 6,488/SF  
 Total Deficiency Cost: \$155,700

Deficiency Description: *The existing fire alarm system is past its expected useful life*

Description of Work: *Provide a fully addressable fire alarm control panel with associated initiating and signaling devices.*

Comments:



Record ID: 675  
 System: D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 2002 / 15 / -5

Item No.: D2010.20.021

Floor/Room:

Priority: 7

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$14,670

Deficiency Description: *Electric water heater is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 676  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1980 / 30 / -12

Item No.: D5020.30.1008

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$18,570

Deficiency Description: *The 225A panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**State Farm Building**

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Record ID 677  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life 1980 / 30 / -12  
Item No. D5020.30.1008  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$18,570  
Deficiency Description: *The 225A panelboard is past its expected useful life.*  
  
Description of Work: *Replace the existing panelboard with a new panelboard.*  
  
Comments:



Record ID 679  
System D3060 - VENTILATION  
Year Installed / Industry Life / Remaining Useful Life - / 25 / -  
Item No. D3060.30.005  
Floor/Room:  
**Priority:** 7  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$8,730  
Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*  
  
Description of Work: *Provide equipment replacement and installation.*  
  
Comments:



Record ID 680  
System D3030 - COOLING SYSTEMS  
Year Installed / Industry Life / Remaining Useful Life - / 15 / -  
Item No. D3030.10.018  
Floor/Room:  
**Priority:** 2  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$50,410  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*  
  
Description of Work: *Provide equipment replacement and installation.*  
  
Comments: R-22 Unit



**City of Rohnert Park  
Facility Condition Assessment**

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**State Farm Building**

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Record ID 681  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 15 / -  
Item No. D3030.10.018  
Floor/Room:  
**Priority:** 2  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$50,410  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID 682  
System D3030 - COOLING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 15 / -  
Item No. D3030.10.018  
Floor/Room:  
**Priority:** 2  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$50,410  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



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Record ID 683  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 25 / -  
Item No. D3060.30.005  
Floor/Room:  
**Priority:** 7  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$8,730  
Deficiency Description: *Roof exhaust fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:





# City of Rohnert Park Facility Condition Assessment

## State Farm Building

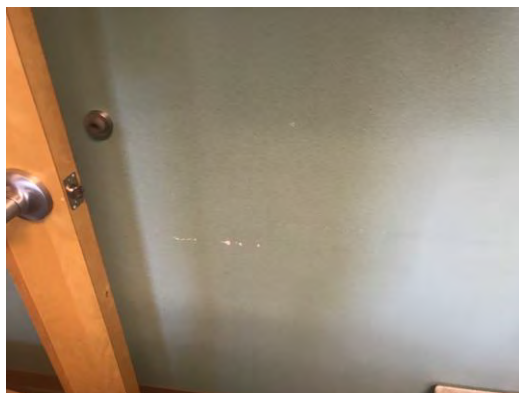
Record ID: 685  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1980 / 20 / -22  
Item No.: D5020.10.302  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$17,750  
Deficiency Description: *The 400A metered main switchboard is past its expected useful life.*  
  
Description of Work: *Replace the existing metered main switchboard with a new metered main switchboard.*  
  
Comments:



Record ID: 686  
System: D3030 - COOLING SYSTEMS  
Year Installed / Industry Life / Remaining Useful Life: - / 15 / -  
Item No.: D3030.10.018  
Floor/Room:  
**Priority:** 2  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$50,410  
Deficiency Description: *Packaged AC unit is approaching the end of its expected useful life.*  
  
Description of Work: *Provide equipment replacement and installation.*  
  
Comments:



Record ID: 1038  
System: C2010 - WALL FINISHES  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: C2010.70.001  
Floor/Room: 1 / Meeting Room  
**Priority:** 3  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$2,210  
Deficiency Description: *Painted gypsum wallboard is showing signs of wear.*  
  
Description of Work: *Patch and paint the gypsum wallboard.*  
  
Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**State Farm Building**

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Record ID 1039  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 1 / Ceiling  
**Priority: 1**  
Quantity/Unit of Measure: 25/SF  
Total Deficiency Cost: \$400  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*



Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments: *Further investigation recommended to determine source of water damage.*

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Record ID 1041  
System C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life - / 60 / -  
Item No. C2030.50.001  
Floor/Room: 1 / Storage  
**Priority: 3**  
Quantity/Unit of Measure: 150/SF  
Total Deficiency Cost: \$3,980  
Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*



Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:

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Record ID 1042  
System C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life - / 20 / -  
Item No. C2030.75.001  
Floor/Room: 1 / Throughout  
**Priority: 5**  
Quantity/Unit of Measure: 4,000/SF  
Total Deficiency Cost: \$121,750  
Deficiency Description: *Carpet flooring is showing signs of wear.*



Description of Work: *Replace carpet flooring.*

Comments:

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**City of Rohnert Park  
Facility Condition Assessment**

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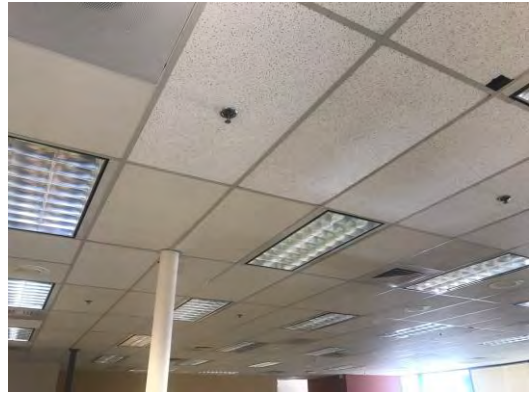
**State Farm Building**

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Record ID 1045  
System C2050 - CEILING FINISHES  
  
Year Installed / Industry Life / Remaining Useful Life - / 50 / -  
Item No. C2050.80.001  
Floor/Room: 1 / Throughout  
**Priority:** 3  
Quantity/Unit of Measure: 3,000/SF  
Total Deficiency Cost: \$49,210  
Deficiency Description: *Lay-in Acoustical Tile is in poor condition.*

Description of Work: *Remove existing lay-in Acoustical Tiles and replace with new lay-in Acoustical Tiles.*

Comments:



Record ID 1046  
System C2030 - FLOORING  
  
Year Installed / Industry Life / Remaining Useful Life - / 60 / -  
Item No. C2030.50.001  
Floor/Room: 1 / Break Room  
**Priority:** 3  
Quantity/Unit of Measure: 400/SF  
Total Deficiency Cost: \$10,550  
Deficiency Description: *Vinyl composition tile is approaching the end of its useful life.*

Description of Work: *Remove the existing vinyl composition tile and replace.*

Comments:



Record ID 1048  
System B3010 - ROOFING  
  
Year Installed / Industry Life / Remaining Useful Life - / 30 / -  
Item No. B3010.90.007  
Floor/Room: Roof / Roof  
**Priority:** 2  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$8,420  
Deficiency Description: *The roof is covered with debris which will shorten its useful life.*

Description of Work: *Clean off debris regularly.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**State Farm Building**

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Record ID 1049  
System B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. B2010.60.001

Floor/Room: Roof / Equipment Screen

**Priority:** 2

Quantity/Unit of Measure: 400/SF

Total Deficiency Cost: \$87,330

Deficiency Description: *Rooftop mechanical equipment screen is damaged and showing signs of wear.*

Description of Work: *Provide an equipment replacement and installation.*

Comments:



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Record ID 1053  
System G2060 - SITE DEVELOPMENT

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. G2060.40.003

Floor/Room: Roof / Exterior

**Priority:** 3

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$750

Deficiency Description: *Wood trellis has minor damage.*

Description of Work: *Repaint wood trellis.*

Comments:



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Record ID 1054  
System G2020 - PARKING LOTS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. G2020.10.001

Floor/Room: Site / Parking Lot

**Priority:** 3

Quantity/Unit of Measure: 10,000/SF

Total Deficiency Cost: \$136,810

Deficiency Description: *AC paving has faded or has minor weathering.*

Description of Work: *Reseal parking lot.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**State Farm Building**

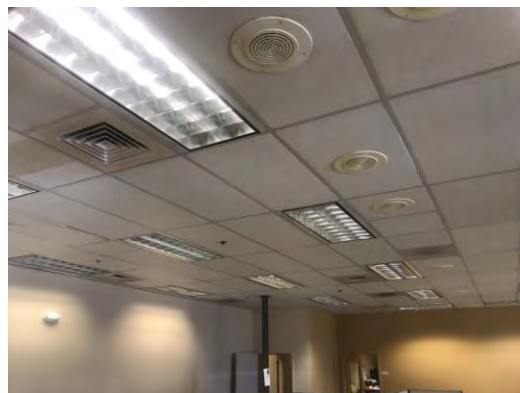
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Record ID 1788  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life 1980 / 20 / -22  
Item No. D5040.50.411  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 6,488/SF  
Total Deficiency Cost: \$371,230  
Deficiency Description: *Interior lighting system is past its expected useful life but operational.*

Description of Work: *Provide new interior lighting and control system throughout building per current CEC T24 code.*

Comments:



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Record ID 1789  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life 1980 / 20 / -22  
Item No. D5040.50.302  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 5/EA  
Total Deficiency Cost: \$11,380  
Deficiency Description: *The exterior light fixture is past its expected useful life but operational.*

Description of Work: *Replace the existing light fixture with an LED lighting fixture.*

Comments:



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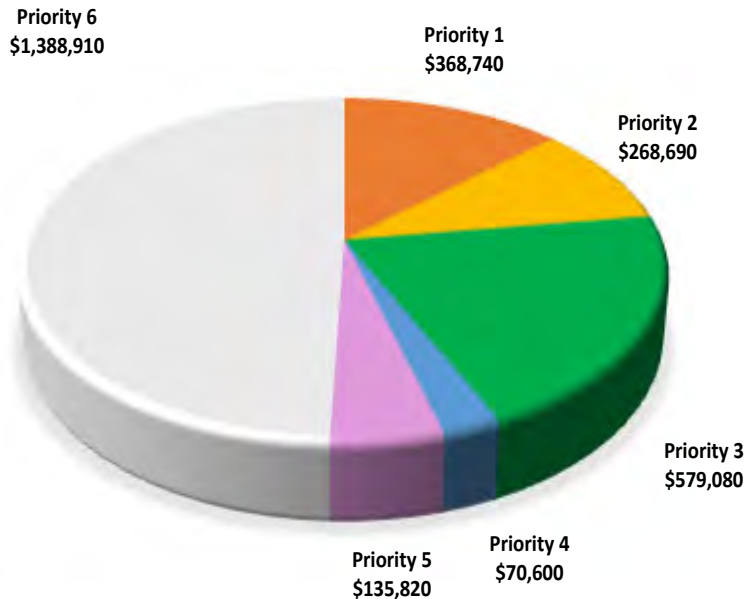
# Tank and Well Reports

As part of the assessment, Kitchell evaluated (22) tank and well facilities throughout the City of Rohnert Park. The buildings at both the well and tank facilities are non-standard and vary in condition from site to site. The buildings vary from a concrete masonry block building with plywood siding and metal roofing, a prefabricated cylindrical metal building, and a plywood panel wall building with single-ply PVC roofing and epoxy flooring.

The equipment within the buildings appears to be around 30 years of age. From an equipment perspective, tank buildings vary by location, but primarily consist of an above ground tank, tank pump control system, wall mounted ventilation system, and electrical systems supporting the tank building equipment. While the well buildings consist of an underground well, above ground hydropneumatic tank, air compressor, water treatment system, and electrical systems supporting the well building equipment. There are no fire alarm or fire sprinkler systems identified at each of these buildings.

Tanks and Wells							
Capital Renewal Costs by Priority							
Building	Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
	8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
Tank 1	\$180	\$7,270	\$7,670	\$0	\$0	\$59,340	\$74,460
Tank 2 - Well 9	\$21,930	\$9,440	\$36,730	\$5,500	\$0	\$59,340	\$132,940
Tank 3	\$50,790	\$0	\$122,060	\$0	\$10,710	\$73,280	\$256,840
Tank 4 - Well 3	\$27,890	\$7,950	\$101,670	\$0	\$0	\$60,130	\$197,640
Tank 5 - Well 27	\$22,660	\$62,090	\$30,770	\$0	\$40,010	\$181,200	\$336,730
Well 1	\$4,910	\$13,480	\$3,540	\$0	\$0	\$19,810	\$41,740
Well 10	\$4,910	\$20,160	\$3,190	\$0	\$0	\$76,460	\$104,720
Well 12	\$48,380	\$49,630	\$29,050	\$7,320	\$0	\$0	\$134,380
Well 14	\$0	\$12,970	\$31,920	\$12,740	\$13,420	\$90,120	\$161,170
Well 15	\$37,260	\$3,400	\$18,730	\$0	\$0	\$0	\$59,390
Well 2 - Maintenance Garage	\$40,260	\$15,360	\$38,090	\$0	\$0	\$76,460	\$170,170
Well 22	\$8,230	\$0	\$29,770	\$0	\$0	\$62,520	\$100,520
Well 29	\$0	\$3,640	\$41,120	\$12,900	\$12,360	\$62,520	\$132,540
Well 31	\$0	\$11,850	\$0	\$0	\$0	\$33,750	\$45,600
Well 34	\$52,430	\$11,960	\$0	\$0	\$13,420	\$19,810	\$97,620
Well 35 - Pump Station 3	\$17,750	\$4,050	\$0	\$0	\$0	\$180,750	\$202,550
Well 41	\$21,340	\$11,780	\$9,820	\$6,340	\$32,480	\$42,710	\$124,470
Well 42	\$0	\$11,850	\$26,540	\$0	\$13,420	\$122,960	\$174,770
Well 5	\$4,910	\$1,700	\$5,280	\$12,900	\$0	\$42,710	\$67,500
Well 6	\$4,910	\$10,110	\$23,560	\$12,900	\$0	\$62,520	\$114,000
Well 8-8a	\$0	\$0	\$19,570	\$0	\$0	\$62,520	\$82,090
<b>Total</b>	<b>\$368,740</b>	<b>\$268,690</b>	<b>\$579,080</b>	<b>\$70,600</b>	<b>\$135,820</b>	<b>\$1,388,910</b>	<b>\$2,811,840</b>
	13.11%	9.56%	20.59%	2.51%	4.83%	49.40%	100.00%

CAPITAL RENEWAL COSTS BY PRIORITY CHART





## Tanks and Wells

### Facility Data

Building	Replacement Cost	Replacement Cost/SF	Capital Renewal Cost	FCI	Condition Score	Condition Rating
Tank 1	\$140,000	\$1,390	\$57,680	0.412	D	CRITICAL
Tank 2 - Well 9	\$369,000	\$1,390	\$108,840	0.295	C	POOR
Tank 3	\$330,000	\$1,534	\$213,900	0.648	D	CRITICAL
Tank 4 - Well 3	\$484,000	\$1,534	\$164,180	0.339	D	CRITICAL
Tank 5 - Well 27	\$890,000	\$1,534	\$269,450	0.303	D	CRITICAL
Well 1	\$154,000	\$1,534	\$34,350	0.223	C	POOR
Well 10	\$154,000	\$1,534	\$82,560	0.536	D	CRITICAL
Well 12	\$154,000	\$1,534	\$119,260	0.774	D	CRITICAL
Well 14	\$154,000	\$1,534	\$127,100	0.825	D	CRITICAL
Well 15	\$77,000	\$1,534	\$53,360	0.693	D	CRITICAL
Well 2 - Maintenance Garage	\$937,000	\$960	\$140,580	0.150	C	POOR
Well 22	\$154,000	\$1,534	\$79,840	0.518	D	CRITICAL
Well 29	\$154,000	\$1,534	\$105,180	0.683	D	CRITICAL
Well 31	\$154,000	\$1,534	\$35,850	0.233	C	POOR
Well 34	\$154,000	\$1,534	\$84,480	0.549	D	CRITICAL
Well 35 - Pump Station 3	\$705,000	\$1,247	\$155,900	0.221	C	POOR
Well 41	\$154,000	\$1,534	\$101,110	0.657	D	CRITICAL
Well 42	\$384,000	\$1,534	\$135,860	0.354	D	CRITICAL
Well 5	\$154,000	\$1,534	\$53,100	0.345	D	CRITICAL
Well 6	\$154,000	\$1,534	\$95,970	0.623	D	CRITICAL
Well 8-8a	\$154,000	\$1,534	\$63,570	0.413	D	CRITICAL
<b>Total</b>			<b>\$2,282,120</b>			

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**City of Rohnert Park  
Facility Condition Assessment**

Tank 1

**Capital Renewal Cost: \$57,680**

FCI: **0.412**

Replacement Cost: **\$140,000**

Condition Score: **D**

Replacement Cost/SF: **\$1,390**

Condition Rating: **CRITICAL**

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$160	\$180	-	-	-	-	-
B2050	EXTERIOR DOORS AND GRILLES	\$590	-	-	\$700	-	-	-
C2010	WALL FINISHES	\$1,500	-	-	\$1,780	-	-	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	\$6,430	-	\$7,270	-	-	-	-
G2060	SITE DEVELOPMENT	\$4,390	-	-	\$5,190	-	-	-
G3010	WATER UTILITIES	\$44,610	-	-	-	-	-	\$59,340
<b>TOTALS</b>		<b>\$57,680</b>	<b>\$180</b>	<b>\$7,270</b>	<b>\$7,670</b>	<b>-</b>	<b>-</b>	<b>\$59,340</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$57,680</b>	<b>\$74,460</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

**Tank 1**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
144	B2010 - EXTERIOR WALLS	B2010.10.001	Exterior	Plywood siding is approaching the end of its useful life.	Remove and replace the existing plywood siding with new plywood siding. Prime and paint.	10	SF	\$70	\$180	1
70	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Concrete Walkway	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	200	SF	\$2,960	\$7,270	2
68	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.018	Exterior	Metal entrance door is damaged or deteriorating.	Refurbish/repair metal entrance door.	1	EA	\$270	\$700	3
71	C2010 - WALL FINISHES	C2010.20.002	Exterior	The existing veneer plywood is damaged or worn.	Clean, prepare, and paint the plywood paneling.	200	SF	\$690	\$1,780	3
73	G2060 - SITE DEVELOPMENT	G2060.20.020	Fencing	Chain link fencing (up to 6 ft high) shows heavy damage and requires full replacement.	Replace entire fence, including mesh, posts, and concrete bases.	50	LF	\$620	\$1,600	3
72	G2060 - SITE DEVELOPMENT	G2060.20.026	Fencing	Fencing is leaning.	Remove fencing and posts; install new concrete foundations and reinstall fencing.	100	SF	\$1,400	\$3,590	3
394	G3010 - WATER UTILITIES	G3010.10.056		Water supply pump system is approaching the end of its useful life.	Replace water supply pump system.	1	EA	\$20,560	\$59,340	6

**City of Rohnert Park  
Facility Condition Assessment**

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**Tank 1**

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Record ID 68  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. B2050.10.018

Floor/Room: 1 / Exterior

**Priority:** 3

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$700

Deficiency Description: *Metal entrance door is damaged or deteriorating.*

Description of Work: *Refurbish/repair metal entrance door.*

Comments:



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Record ID 70  
System G2030 - PEDESTRIAN PLAZAS AND WALKWAYS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. G2030.10.005

Floor/Room: Site / Concrete Walkway

**Priority:** 2

Quantity/Unit of Measure: 200/SF

Total Deficiency Cost: \$7,270

Deficiency Description: *Concrete pavement has major damage / structural failure.*

Description of Work: *Replace concrete and base to match existing.*

Comments:



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Record ID 71  
System C2010 - WALL FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. C2010.20.002

Floor/Room: 1 / Exterior

**Priority:** 3

Quantity/Unit of Measure: 200/SF

Total Deficiency Cost: \$1,780

Deficiency Description: *The existing veneer plywood is damaged or worn.*

Description of Work: *Clean, prepare, and paint the plywood paneling.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Tank 1

Record ID 72  
System G2060 - SITE DEVELOPMENT

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. G2060.20.026

Floor/Room: Site / Fencing

Priority: 3

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$3,590

Deficiency Description: *Fencing is leaning.*

Description of Work: *Remove fencing and posts; install new concrete foundations and reinstall fencing.*

Comments:



Record ID 73  
System G2060 - SITE DEVELOPMENT

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. G2060.20.020

Floor/Room: Site / Fencing

Priority: 3

Quantity/Unit of Measure: 50/LF

Total Deficiency Cost: \$1,600

Deficiency Description: *Chain link fencing (up to 6 ft high) shows heavy damage and requires full replacement.*

Description of Work: *Replace entire fence, including mesh, posts, and concrete bases.*

Comments:



Record ID 144  
System B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. B2010.10.001

Floor/Room: 1 / Exterior

Priority: 1

Quantity/Unit of Measure: 10/SF

Total Deficiency Cost: \$180

Deficiency Description: *Plywood siding is approaching the end of its useful life.*

Description of Work: *Remove and replace the existing plywood siding with new plywood siding. Prime and paint.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Tank 1**

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Record ID 394  
System G3010 - WATER UTILITIES

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. G3010.10.056

Floor/Room:

Priority: 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$59,340

Deficiency Description: *Water supply pump system is approaching the end of its useful life.*

Description of Work: *Replace water supply pump system.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

Tank 2-Well 9

<b>Capital Renewal Cost:</b>	<b>\$108,840</b>	FCI:	<b>0.295</b>
Replacement Cost:	<b>\$369,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,390</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Unifomat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$5,970	-	\$1,700	-	\$5,500	-	-
B2050	EXTERIOR DOORS AND GRILLES	\$10,420	-	-	\$12,300	-	-	-
B3010	ROOFING	\$760	-	\$860	-	-	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$20,300	\$21,930	-	-	-	-	-
G2020	PARKING LOTS	\$20,700	-	-	\$24,430	-	-	-
G2060	SITE DEVELOPMENT	\$6,080	-	\$6,880	-	-	-	-
G3010	WATER UTILITIES	\$44,610	-	-	-	-	-	\$59,340
<b>TOTALS</b>		<b>\$108,840</b>	<b>\$21,930</b>	<b>\$9,440</b>	<b>\$36,730</b>	<b>\$5,500</b>	<b>-</b>	<b>\$59,340</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$108,840</b>	<b>\$132,940</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					



**City of Rohnert Park  
Facility Condition Assessment**

**Tank 2-Well 9**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
1790	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.001		The all-in-one combination service entrance device is past its expected useful life.	Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.	1	EA	\$3,510	\$8,230	1
327	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.201		The 1 - 5kVA transformer (1P dry-type, 240/480-120/240V) is approaching the end of its expected useful life.	Replace the existing transformer with a new transformer.	1	EA	\$2,330	\$5,470	1
329	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1001		The 100A (20 ckts, 120/240V, 3P) panelboard is approaching the end of its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$3,510	\$8,230	1
87	B2010 - EXTERIOR WALLS	B2010.10.001	Exterior	Plywood siding is approaching the end of its useful life.	Remove and replace the existing plywood siding with new plywood siding. Prime and paint.	100	SF	\$690	\$1,700	2
91	B3010 - ROOFING	B3010.90.010	Exterior	The fascia is appears deteriorated.	Selectively remove deteriorated fascia and replace with new material to match.	25	LF	\$350	\$860	2
85	G2060 - SITE DEVELOPMENT	G2060.20.004	Fencing	Wood fence is deteriorated or at end-of-life.	Replace wood fencing, including slats and posts.	200	SF	\$2,800	\$6,880	2
88	B2050 - EXTERIOR DOORS AND GRILLES	B2050.20.001	Exterior	The exterior door is approaching the end of its useful life.	Replace metal door.	1	EA	\$4,800	\$12,300	3
86	G2020 - PARKING LOTS	G2020.10.002	AC Paving	AC paving is showing signs of damage.	Replace AC pavement section.	800	SF	\$9,540	\$24,430	3
89	B2010 - EXTERIOR WALLS	B2010.10.015	Exterior	Metal panels are showing signs of wear.	Refinish exterior metal panels.	300	SF	\$2,060	\$5,500	4
328	G3010 - WATER UTILITIES	G3010.10.056		Water supply pump system is approaching the end of its useful life.	Replace water supply pump system.	1	EA	\$20,560	\$59,340	6

# City of Rohnert Park Facility Condition Assessment

## Tank 2-Well 9

Record ID: 85  
System: G2060 - SITE DEVELOPMENT  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: G2060.20.004  
Floor/Room: Site / Fencing  
Priority: 2  
Quantity/Unit of Measure: 200/SF  
Total Deficiency Cost: \$6,880  
Deficiency Description: *Wood fence is deteriorated or at end-of-life.*

Description of Work: *Replace wood fencing, including slats and posts.*

Comments:



Record ID: 86  
System: G2020 - PARKING LOTS  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: G2020.10.002  
Floor/Room: Site / AC Paving  
Priority: 3  
Quantity/Unit of Measure: 800/SF  
Total Deficiency Cost: \$24,430  
Deficiency Description: *AC paving is showing signs of damage.*

Description of Work: *Replace AC pavement section.*

Comments:



Record ID: 87  
System: B2010 - EXTERIOR WALLS  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: B2010.10.001  
Floor/Room: 1 / Exterior  
Priority: 2  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$1,700  
Deficiency Description: *Plywood siding is approaching the end of its useful life.*

Description of Work: *Remove and replace the existing plywood siding with new plywood siding. Prime and paint.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Tank 2-Well 9

Record ID 88  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. B2050.20.001

Floor/Room: 1 / Exterior

Priority: 3

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$12,300

Deficiency Description: *The exterior door is approaching the end of its useful life.*

Description of Work: *Replace metal door.*

Comments:



Record ID 89  
System B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life - / 25 / -

Item No. B2010.10.015

Floor/Room: 1 / Exterior

Priority: 4

Quantity/Unit of Measure: 300/SF

Total Deficiency Cost: \$5,500

Deficiency Description: *Metal panels are showing signs of wear.*

Description of Work: *Refinish exterior metal panels.*

Comments:



Record ID 91  
System B3010 - ROOFING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. B3010.90.010

Floor/Room: 1 / Exterior

Priority: 2

Quantity/Unit of Measure: 25/LF

Total Deficiency Cost: \$860

Deficiency Description: *The fascia is appears deteriorated.*

Description of Work: *Selectively remove deteriorated fascia and replace with new material to match.*

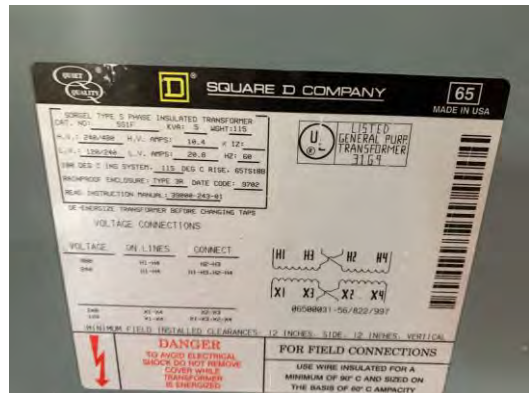
Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Tank 2-Well 9**

Record ID: 327  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1990 / 30 / -2  
 Item No.: D5020.10.201  
 Floor/Room:  
 Priority: 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$5,470  
 Deficiency Description: *The 1 - 5kVA transformer (1P dry-type, 240/480-120/240V) is approaching the end of its expected useful life.*  
 Description of Work: *Replace the existing transformer with a new transformer.*  
 Comments: *Age is estimated.*



Record ID: 328  
 System: G3010 - WATER UTILITIES  
 Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
 Item No.: G3010.10.056  
 Floor/Room:  
 Priority: 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$59,340  
 Deficiency Description: *Water supply pump system is approaching the end of its useful life.*  
 Description of Work: *Replace water supply pump system.*  
 Comments: *on VFD*



Record ID: 329  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1990 / 30 / -2  
 Item No.: D5020.30.1001  
 Floor/Room:  
 Priority: 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$8,230  
 Deficiency Description: *The 100A (20 ckt, 120/240V, 3P) panelboard is approaching the end of its expected useful life.*  
 Description of Work: *Replace the existing panelboard with a new panelboard.*  
 Comments: *Age is estimated.*



**City of Rohnert Park  
Facility Condition Assessment**

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**Tank 2-Well 9**

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Record ID	1790
System	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION
Year Installed / Industry Life / Remaining Useful Life	1990 / 30 / -2
Item No.	D5020.10.001
Floor/Room:	
Priority:	1
Quantity/Unit of Measure:	1/EA
Total Deficiency Cost:	\$8,230
Deficiency Description:	<i>The all-in-one combination service entrance device is past its expected useful life.</i>
Description of Work:	<i>Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.</i>
Comments:	<i>Age is estimated.</i>



**City of Rohnert Park  
Facility Condition Assessment**

**Tank 3**

**Capital Renewal Cost: \$213,900**

FCI: **0.648**

Replacement Cost: **\$330,000**

Condition Score: **D**

Replacement Cost/SF: **\$1,534**

Condition Rating: **CRITICAL**

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
C2010	WALL FINISHES	\$3,000	-	-	-	-	\$3,840	-
D3060	VENTILATION	\$10,480	-	-	-	-	-	\$13,940
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$46,720	\$50,470	-	-	-	-	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	\$103,440	-	-	\$122,060	-	-	-
G2060	SITE DEVELOPMENT	\$5,650	\$320	-	-	-	\$6,870	-
G3010	WATER UTILITIES	\$44,610	-	-	-	-	-	\$59,340
<b>TOTALS</b>		<b>\$213,900</b>	<b>\$50,790</b>	<b>-</b>	<b>\$122,060</b>	<b>-</b>	<b>\$10,710</b>	<b>\$73,280</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$213,900</b>	<b>\$256,840</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

**Tank 3**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
344	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.001	Pump House	The all-in-one combination service entrance device is past its expected useful life.	Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.	1	EA	\$3,510	\$8,230	1
348	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.217	Site	The 75kVA transformer is past its expected useful life.	Replace the existing transformer with a new transformer.	1	EA	\$7,060	\$16,550	1
1798	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.2001		The motor control center is at or is approaching end of its expected useful life.	Replace the existing motor control center with a new motor control center.	200	AMP	\$10,960	\$25,690	1
107	G2060 - SITE DEVELOPMENT	G2060.20.020	Fencing	Chain link fencing (up to 6 ft high) shows heavy damage and requires full replacement.	Replace entire fence, including mesh, posts, and concrete bases.	10	LF	\$130	\$320	1
105	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.002	AC Paving	AC paving has major damage and/or structure failure.	Replace AC pavement section.	4,000	SF	\$47,680	\$122,060	3
104	C2010 - WALL FINISHES	C2010.20.002	Exterior	The existing veneer plywood is damaged or worn.	Clean, prepare, and paint the plywood paneling.	400	SF	\$1,380	\$3,840	5
106	G2060 - SITE DEVELOPMENT	G2060.20.020	Fencing	Chain link fencing is showing signs of wear.	Replace entire fence, including mesh, posts, and concrete bases.	200	LF	\$2,470	\$6,870	5
347	D3060 - VENTILATION	D3060.30.030	Pump House	Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$13,940	6
343	G3010 - WATER UTILITIES	G3010.10.056	Pump House	Water supply pump system is approaching the end of its useful life.	Replace water supply pump system.	1	EA	\$20,560	\$59,340	6

**City of Rohnert Park  
Facility Condition Assessment**

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**Tank 3**

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Record ID: 104  
System: C2010 - WALL FINISHES

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: C2010.20.002  
Floor/Room: 1 / Exterior

**Priority:** 5

Quantity/Unit of Measure: 400/SF  
Total Deficiency Cost: \$3,840  
Deficiency Description: *The existing veneer plywood is damaged or worn.*

Description of Work: *Clean, prepare, and paint the plywood paneling.*

Comments:



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Record ID: 105  
System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: G2030.10.002  
Floor/Room: Site / AC Paving

**Priority:** 3

Quantity/Unit of Measure: 4,000/SF  
Total Deficiency Cost: \$122,060  
Deficiency Description: *AC paving has major damage and/or structure failure.*

Description of Work: *Replace AC pavement section.*

Comments:



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Record ID: 106  
System: G2060 - SITE DEVELOPMENT

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: G2060.20.020  
Floor/Room: Site / Fencing

**Priority:** 5

Quantity/Unit of Measure: 200/LF  
Total Deficiency Cost: \$6,870  
Deficiency Description: *Chain link fencing is showing signs of wear.*

Description of Work: *Replace entire fence, including mesh, posts, and concrete bases.*

Comments:





# City of Rohnert Park Facility Condition Assessment

## Tank 3

Record ID: 107  
System: G2060 - SITE DEVELOPMENT

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: G2060.20.020  
Floor/Room: Site / Fencing

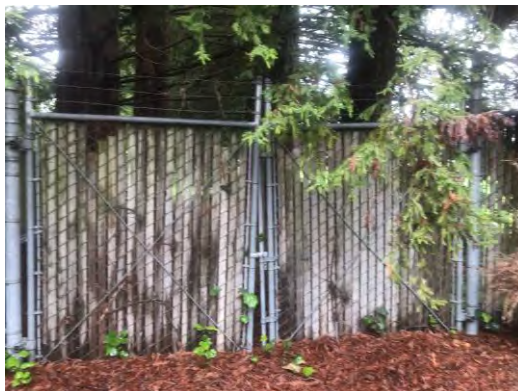
Priority: 1

Quantity/Unit of Measure: 10/LF  
Total Deficiency Cost: \$320

Deficiency Description: *Chain link fencing (up to 6 ft high) shows heavy damage and requires full replacement.*

Description of Work: *Replace entire fence, including mesh, posts, and concrete bases.*

Comments:



Record ID: 343  
System: G3010 - WATER UTILITIES

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: G3010.10.056  
Floor/Room: 1 / Pump House

Priority: 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$59,340

Deficiency Description: *Water supply pump system is approaching the end of its useful life.*

Description of Work: *Replace water supply pump system.*

Comments:



Record ID: 344  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1990 / 30 / -2

Item No.: D5020.10.001  
Floor/Room: 1 / Pump House

Priority: 1

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$8,230

Deficiency Description: *The all-in-one combination service entrance device is past its expected useful life.*

Description of Work: *Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.*

Comments: *Age is estimated.*



**City of Rohnert Park  
Facility Condition Assessment**

**Tank 3**

Record ID: 347  
 System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: D3060.30.030

Floor/Room: 1 / Pump House

Priority: 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$13,940

Deficiency Description: *Sidewall propeller fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 348  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: D5020.10.217

Floor/Room: Site

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$16,550

Deficiency Description: *The 75kVA transformer is past its expected useful life.*

Description of Work: *Replace the existing transformer with a new transformer.*

Comments:



Record ID: 1798  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1990 / 30 / -2

Item No.: D5020.30.2001

Floor/Room:

Priority: 1

Quantity/Unit of Measure: 200/AMP

Total Deficiency Cost: \$25,690

Deficiency Description: *The motor control center is at or is approaching end of its expected useful life.*

Description of Work: *Replace the existing motor control center with a new motor control center.*

Comments: *Age is estimated.*



**City of Rohnert Park  
Facility Condition Assessment**

Tank 4 - Well 3

**Capital Renewal Cost: \$164,180**

FCI: **0.339**

Replacement Cost: **\$484,000**

Condition Score: **D**

Replacement Cost/SF: **\$1,534**

Condition Rating: **CRITICAL**

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Unifomat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$3,000	-	\$3,400	-	-	-	-
B2050	EXTERIOR DOORS AND GRILLES	\$590	-	-	-	-	-	\$790
B3010	ROOFING	\$5,950	\$6,430	-	-	-	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$19,860	\$21,460	-	-	-	-	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	\$77,580	-	-	\$91,550	-	-	-
G2060	SITE DEVELOPMENT	\$12,590	-	\$4,550	\$10,120	-	-	-
G3010	WATER UTILITIES	\$44,610	-	-	-	-	-	\$59,340
<b>TOTALS</b>		<b>\$164,180</b>	<b>\$27,890</b>	<b>\$7,950</b>	<b>\$101,670</b>	<b>-</b>	<b>-</b>	<b>\$60,130</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$164,180</b>	<b>\$197,640</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

**Tank 4 - Well 3**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
146	B3010 - ROOFING	B3010.90.011	Exterior	Soffits and overhangs are approaching the end of their expected useful service life.	Selectively remove the existing exterior rafter tails and framing members. Install and replace them with new framing.	100	SF	\$2,740	\$6,430	1
398	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.217		The 75kVA transformer is past its expected useful life.	Replace the existing transformer with a new transformer.	1	EA	\$7,060	\$16,550	1
396	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001		The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
150	B2010 - EXTERIOR WALLS	B2010.10.001	Exterior	Plywood siding is approaching the end of its useful life.	Remove and replace the existing plywood siding with new plywood siding. Prime and paint.	200	SF	\$1,380	\$3,400	2
145	G2060 - SITE DEVELOPMENT	G2060.20.020	Fencing	Chain link fencing (up to 6 ft high) shows heavy damage and requires full replacement.	Replace entire fence, including mesh, posts, and concrete bases.	150	LF	\$1,850	\$4,550	2
148	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.002	AC Paving	AC paving has major damage and/or structure failure.	Replace AC pavement section.	3,000	SF	\$35,760	\$91,550	3
149	G2060 - SITE DEVELOPMENT	G2060.20.016	Vehicular Gate	Vehicular swing gate is showing signs of wear.	Replace double vehicular swing gate.	1	EA	\$3,950	\$10,120	3
156	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.018	Exterior	Metal entrance door is damaged or deteriorating.	Refurbish/repair metal entrance door.	1	EA	\$270	\$790	6
395	G3010 - WATER UTILITIES	G3010.10.056		Water supply pump system is approaching the end of its useful life.	Replace water supply pump system.	1	EA	\$20,560	\$59,340	6

# City of Rohnert Park Facility Condition Assessment

## Tank 4 - Well 3

Record ID: 145  
System: G2060 - SITE DEVELOPMENT

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: G2060.20.020  
Floor/Room: 1 / Fencing  
Priority: 2  
Quantity/Unit of Measure: 150/LF  
Total Deficiency Cost: \$4,550  
Deficiency Description: *Chain link fencing (up to 6 ft high) shows heavy damage and requires full replacement.*

Description of Work: *Replace entire fence, including mesh, posts, and concrete bases.*

Comments:



Record ID: 146  
System: B3010 - ROOFING

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: B3010.90.011  
Floor/Room: Roof / Exterior  
Priority: 1  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$6,430  
Deficiency Description: *Soffits and overhangs are approaching the end of their expected useful service life.*

Description of Work: *Selectively remove the existing exterior rafter tails and framing members. Install and replace them with new framing.*

Comments:



Record ID: 148  
System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: G2030.10.002  
Floor/Room: Site / AC Paving  
Priority: 3  
Quantity/Unit of Measure: 3,000/SF  
Total Deficiency Cost: \$91,550  
Deficiency Description: *AC paving has major damage and/or structure failure.*

Description of Work: *Replace AC pavement section.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Tank 4 - Well 3

Record ID: 149  
System: G2060 - SITE DEVELOPMENT

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: G2060.20.016  
Floor/Room: Site / Vehicular Gate

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$10,120  
Deficiency Description: *Vehicular swing gate is showing signs of wear.*

Description of Work: *Replace double vehicular swing gate.*

Comments:



Record ID: 150  
System: B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: B2010.10.001  
Floor/Room: 1 / Exterior

**Priority:** 2

Quantity/Unit of Measure: 200/SF  
Total Deficiency Cost: \$3,400  
Deficiency Description: *Plywood siding is approaching the end of its useful life.*

Description of Work: *Remove and replace the existing plywood siding with new plywood siding. Prime and paint.*

Comments:



Record ID: 156  
System: B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: B2050.10.018  
Floor/Room: 1 / Exterior

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$790  
Deficiency Description: *Metal entrance door is damaged or deteriorating.*

Description of Work: *Refurbish/repair metal entrance door.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Tank 4 - Well 3**

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Record ID: 395  
System: G3010 - WATER UTILITIES  
Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
Item No.: G3010.10.056  
Floor/Room:  
**Priority:** 7  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$59,340  
Deficiency Description: *Water supply pump system is approaching the end of its useful life.*  
Description of Work: *Replace water supply pump system.*  
Comments:



Record ID: 396  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1990 / 30 / -2  
Item No.: D5020.30.4001  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$4,910  
Deficiency Description: *The load center is past its expected useful life.*  
Description of Work: *Replace the existing load center with a new load center.*  
Comments: *Age is estimated.*



Record ID: 398  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1990 / 30 / -2  
Item No.: D5020.10.217  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$16,550  
Deficiency Description: *The 75kVA transformer is past its expected useful life.*  
Description of Work: *Replace the existing transformer with a new transformer.*  
Comments: *Age is estimated.*



**City of Rohnert Park  
Facility Condition Assessment**

Tank 5 - Well 27

**Capital Renewal Cost: \$269,450**

FCI: **0.303**

Replacement Cost: **\$890,000**

Condition Score: **D**

Replacement Cost/SF: **\$1,534**

Condition Rating: **CRITICAL**

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Unifomat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2050	EXTERIOR DOORS AND GRILLES	\$20,830	-	-	\$24,580	-	-	-
B3010	ROOFING	\$23,530	-	-	\$3,540	-	\$26,280	-
C2010	WALL FINISHES	\$2,240	-	-	\$2,650	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$32,110	-	-	-	-	-	\$42,710
D2060	PROCESS SUPPORT PLUMBING SYSTEMS	\$14,890	-	-	-	-	-	\$19,810
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$20,970	\$22,660	-	-	-	-	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	\$54,940	-	\$62,090	-	-	-	-
G2060	SITE DEVELOPMENT	\$10,720	-	-	-	-	\$13,730	-
G3010	WATER UTILITIES	\$89,220	-	-	-	-	-	\$118,680
<b>TOTALS</b>		<b>\$269,450</b>	<b>\$22,660</b>	<b>\$62,090</b>	<b>\$30,770</b>	<b>-</b>	<b>\$40,010</b>	<b>\$181,200</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$269,450</b>	<b>\$336,730</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					



**City of Rohnert Park  
Facility Condition Assessment**

Tank 5 - Well 27

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
364	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.302		The 400A metered main switchboard is past its expected useful life.	Replace the existing metered main switchboard with a new metered main switchboard.	1	EA	\$7,570	\$17,750	1
365	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001		The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
126	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.002	AC Paving	AC paving has major damage and/or structure failure.	Replace AC pavement section.	2,000	SF	\$23,840	\$58,450	2
125	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Well Area	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	100	SF	\$1,480	\$3,640	2
123	B2050 - EXTERIOR DOORS AND GRILLES	B2050.20.001	Exterior	The exterior door is approaching the end of its useful life.	Replace metal door.	2	EA	\$9,600	\$24,580	3
121	B3010 - ROOFING	B3010.90.011	Roof	Soffits and overhangs are approaching the end of their expected useful service life.	Selectively remove the existing exterior rafter tails and framing members. Install and replace them with new framing.	50	SF	\$1,380	\$3,540	3
122	C2010 - WALL FINISHES	C2010.20.002	Exterior	The existing veneer plywood is damaged or worn.	Clean, prepare, and paint the plywood paneling.	300	SF	\$1,030	\$2,650	3
120	B3010 - ROOFING	B3010.50.004	Roof	Single-ply (modified bitumen) roofing is at or approaching the end of its useful life.	Replace single-ply (modified bitumen) roofing.	600	SF	\$9,460	\$26,280	5
119	G2060 - SITE DEVELOPMENT	G2060.20.020	Exterior	Chain link fencing is showing signs of wear.	Replace entire fence, including mesh, posts, and concrete bases.	400	LF	\$4,940	\$13,730	5
369	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.012		Water treatment system is at the end of its expected useful service life.	Provide equipment replacement and installation.	1	EA	\$14,800	\$42,710	6
370	D2060 - PROCESS SUPPORT PLUMBING SYSTEMS	D2060.10.001		Air compressor is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6
362	G3010 - WATER UTILITIES	G3010.10.056		Water supply pump system is approaching the end of its useful life.	Replace water supply pump system.	1	EA	\$20,560	\$59,340	6
361	G3010 - WATER UTILITIES	G3010.10.056	1	Water supply pump system is approaching the end of its useful life.	Replace water supply pump system.	1	EA	\$20,560	\$59,340	6

**City of Rohnert Park  
Facility Condition Assessment**

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**Tank 5 - Well 27**

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Record ID: 119  
System: G2060 - SITE DEVELOPMENT  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: G2060.20.020  
Floor/Room: Site / Exterior  
**Priority:** 5  
Quantity/Unit of Measure: 400/LF  
Total Deficiency Cost: \$13,730  
Deficiency Description: *Chain link fencing is showing signs of wear.*



Description of Work: *Replace entire fence, including mesh, posts, and concrete bases.*

Comments:

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Record ID: 120  
System: B3010 - ROOFING  
Year Installed / Industry Life / Remaining Useful Life: - / 10 / -  
Item No.: B3010.50.004  
Floor/Room: Roof / Roof  
**Priority:** 5  
Quantity/Unit of Measure: 600/SF  
Total Deficiency Cost: \$26,280  
Deficiency Description: *Single-ply (modified bitumen) roofing is at or approaching the end of its useful life.*



Description of Work: *Replace single-ply (modified bitumen) roofing.*

Comments:

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Record ID: 121  
System: B3010 - ROOFING  
Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
Item No.: B3010.90.011  
Floor/Room: Roof / Roof  
**Priority:** 3  
Quantity/Unit of Measure: 50/SF  
Total Deficiency Cost: \$3,540  
Deficiency Description: *Soffits and overhangs are approaching the end of their expected useful service life.*



Description of Work: *Selectively remove the existing exterior rafter tails and framing members. Install and replace them with new framing.*

Comments:

**City of Rohnert Park  
Facility Condition Assessment**

**Tank 5 - Well 27**

Record ID: 122  
 System: C2010 - WALL FINISHES

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: C2010.20.002  
 Floor/Room: 1 / Exterior  
**Priority:** 3

Quantity/Unit of Measure: 300/SF  
 Total Deficiency Cost: \$2,650  
 Deficiency Description: *The existing veneer plywood is damaged or worn.*

Description of Work: *Clean, prepare, and paint the plywood paneling.*

Comments:



Record ID: 123  
 System: B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life: - / 15 / -

Item No.: B2050.20.001  
 Floor/Room: 1 / Exterior  
**Priority:** 3

Quantity/Unit of Measure: 2/EA  
 Total Deficiency Cost: \$24,580  
 Deficiency Description: *The exterior door is approaching the end of its useful life.*

Description of Work: *Replace metal door.*

Comments: *At two doors.*



Record ID: 125  
 System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: G2030.10.005  
 Floor/Room: Site / Well Area  
**Priority:** 2

Quantity/Unit of Measure: 100/SF  
 Total Deficiency Cost: \$3,640  
 Deficiency Description: *Concrete pavement has major damage / structural failure.*

Description of Work: *Replace concrete and base to match existing.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Tank 5 - Well 27**

Record ID: 126  
 System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: G2030.10.002  
 Floor/Room: Site / AC Paving  
**Priority:** 2  
 Quantity/Unit of Measure: 2,000/SF  
 Total Deficiency Cost: \$58,450  
 Deficiency Description: *AC paving has major damage and/or structure failure.*

Description of Work: *Replace AC pavement section.*

Comments:



Record ID: 361  
 System: G3010 - WATER UTILITIES  
 Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
 Item No.: G3010.10.056  
 Floor/Room: 1  
**Priority:** 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$59,340  
 Deficiency Description: *Water supply pump system is approaching the end of its useful life.*

Description of Work: *Replace water supply pump system.*

Comments:



Record ID: 362  
 System: G3010 - WATER UTILITIES  
 Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
 Item No.: G3010.10.056  
 Floor/Room: 1  
**Priority:** 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$59,340  
 Deficiency Description: *Water supply pump system is approaching the end of its useful life.*

Description of Work: *Replace water supply pump system.*

Comments:



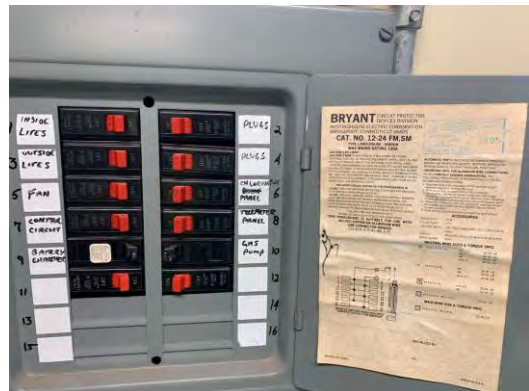
**City of Rohnert Park  
Facility Condition Assessment**

**Tank 5 - Well 27**

Record ID: 364  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1984 / 20 / -18  
 Item No.: D5020.10.302  
 Floor/Room:  
 Priority: 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$17,750  
 Deficiency Description: *The 400A metered main switchboard is past its expected useful life.*  
 Description of Work: *Replace the existing metered main switchboard with a new metered main switchboard.*  
 Comments:



Record ID: 365  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1984 / 30 / -8  
 Item No.: D5020.30.4001  
 Floor/Room:  
 Priority: 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$4,910  
 Deficiency Description: *The load center is past its expected useful life.*  
 Description of Work: *Replace the existing load center with a new load center.*  
 Comments:



Record ID: 369  
 System: D2010 - DOMESTIC WATER DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: D2010.20.012  
 Floor/Room:  
 Priority: 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$42,710  
 Deficiency Description: *Water treatment system is at the end of its expected useful service life.*  
 Description of Work: *Provide equipment replacement and installation.*  
 Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Tank 5 - Well 27**

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Record ID 370  
System D2060 - PROCESS SUPPORT PLUMBING SYSTEMS  
Year Installed / Industry Life / Remaining Useful Life - / 25 / -  
Item No. D2060.10.001  
Floor/Room:  
**Priority:** 7  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$19,810  
Deficiency Description: *Air compressor is approaching the end of its expected useful life.*  
  
Description of Work: *Provide equipment replacement and installation.*  
  
Comments:



**City of Rohnert Park  
Facility Condition Assessment**

Well 1

<b>Capital Renewal Cost:</b>	<b>\$34,350</b>	FCI:	<b>0.223</b>
Replacement Cost:	<b>\$154,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,534</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Unifomat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2050	EXTERIOR DOORS AND GRILLES	\$10,420	-	\$11,780	-	-	-	-
B3010	ROOFING	\$1,500	-	\$1,700	-	-	-	-
C2010	WALL FINISHES	\$3,000	-	-	\$3,540	-	-	-
D2060	PROCESS SUPPORT PLUMBING SYSTEMS	\$14,890	-	-	-	-	-	\$19,810
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$4,540	\$4,910	-	-	-	-	-
<b>TOTALS</b>		<b>\$34,350</b>	<b>\$4,910</b>	<b>\$13,480</b>	<b>\$3,540</b>	<b>-</b>	<b>-</b>	<b>\$19,810</b>
TOTAL (Priority 1-6 without escalation)		<b>\$34,350</b>	<b>\$41,740</b>					
			TOTAL (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

Well 1

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
332	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001		The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
95	B2050 - EXTERIOR DOORS AND GRILLES	B2050.20.001	Exterior	The exterior door is approaching the end of its useful life.	Replace metal door.	1	EA	\$4,800	\$11,780	2
93	B3010 - ROOFING	B3010.90.010	Exterior	The fascia is deteriorated.	Selectively remove deteriorated fascia and replace with new material to match.	50	LF	\$690	\$1,700	2
92	C2010 - WALL FINISHES	C2010.20.002	Exterior	The existing veneer plywood is damaged or worn.	Clean, prepare, and paint the plywood paneling.	400	SF	\$1,380	\$3,540	3
331	D2060 - PROCESS SUPPORT PLUMBING SYSTEMS	D2060.10.001		Air compressor is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6



# City of Rohnert Park Facility Condition Assessment

## Well 1

Record ID: 92  
System: C2010 - WALL FINISHES

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: C2010.20.002  
Floor/Room: 1 / Exterior  
**Priority:** 3  
Quantity/Unit of Measure: 400/SF  
Total Deficiency Cost: \$3,540  
Deficiency Description: *The existing veneer plywood is damaged or worn.*

Description of Work: *Clean, prepare, and paint the plywood paneling.*

Comments:



Record ID: 93  
System: B3010 - ROOFING

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: B3010.90.010  
Floor/Room: Roof / Exterior  
**Priority:** 2  
Quantity/Unit of Measure: 50/LF  
Total Deficiency Cost: \$1,700  
Deficiency Description: *The fascia is deteriorated.*

Description of Work: *Selectively remove deteriorated fascia and replace with new material to match.*

Comments:



Record ID: 95  
System: B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life: - / 15 / -

Item No.: B2050.20.001  
Floor/Room: 1 / Exterior  
**Priority:** 2  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$11,780  
Deficiency Description: *The exterior door is approaching the end of its useful life.*

Description of Work: *Replace metal door.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Well 1

Record ID: 331  
System: D2060 - PROCESS SUPPORT PLUMBING SYSTEMS  
Year Installed / Industry Life / Remaining Useful Life: - / 25 / -  
Item No.: D2060.10.001  
Floor/Room:  
**Priority:** 7  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$19,810  
Deficiency Description: *Air compressor is approaching the end of its expected useful life.*  
Description of Work: *Provide equipment replacement and installation.*  
Comments:



Record ID: 332  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1990 / 30 / -2  
Item No.: D5020.30.4001  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$4,910  
Deficiency Description: *The load center is past its expected useful life.*  
Description of Work: *Replace the existing load center with a new load center.*  
Comments: *Age is estimated.*



**City of Rohnert Park  
Facility Condition Assessment**

Well 6

**Capital Renewal Cost: \$90,910**

FCI: **0.590**

Replacement Cost: **\$154,000**

Condition Score: **D**

Replacement Cost/SF: **\$1,534**

Condition Rating: **CRITICAL**

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$8,940	-	\$10,110	-	-	-	-
B2050	EXTERIOR DOORS AND GRILLES	\$10,420	-	-	\$12,300	-	-	-
C2030	FLOORING	\$1,500	-	-	\$1,780	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$32,110	-	-	-	-	-	\$42,710
D2060	PROCESS SUPPORT PLUMBING SYSTEMS	\$14,890	-	-	-	-	-	\$19,810
D3060	VENTILATION	\$10,480	-	-	-	\$12,900	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$4,540	\$4,910	-	-	-	-	-
G2060	SITE DEVELOPMENT	\$8,030	-	-	\$9,480	-	-	-
<b>TOTALS</b>		<b>\$90,910</b>	<b>\$4,910</b>	<b>\$10,110</b>	<b>\$23,560</b>	<b>\$12,900</b>	<b>-</b>	<b>\$62,520</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$90,910</b>	<b>\$114,000</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

Well 6

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
338	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001	Pump House	The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
100	B2010 - EXTERIOR WALLS	B2010.20.004	Exterior	Concrete masonry units exterior walls are damaged and in need of repair.	Repair concrete masonry units exterior walls and repaint.	100	SF	\$4,120	\$10,110	2
103	B2050 - EXTERIOR DOORS AND GRILLES	B2050.20.001	Exterior	The exterior door is approaching the end of its useful life.	Replace metal door.	1	EA	\$4,800	\$12,300	3
101	C2030 - FLOORING	C2030.10.001	Pump House	Concrete floor finish is approaching the end of its useful life.	Repair and refinish the concrete floor.	100	SF	\$690	\$1,780	3
102	G2060 - SITE DEVELOPMENT	G2060.20.020	Fencing	Chain link fencing shows heavy damage and requires full replacement.	Replace entire fence, including mesh, posts, and concrete bases.	300	LF	\$3,700	\$9,480	3
337	D3060 - VENTILATION	D3060.30.030	Pump House	Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$12,900	4
336	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.012	Pump House	Water treatment system is at the end of its expected useful service life.	Provide equipment replacement and installation.	1	EA	\$14,800	\$42,710	6
335	D2060 - PROCESS SUPPORT PLUMBING SYSTEMS	D2060.10.001	Pump House	Air compressor is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6

# City of Rohnert Park Facility Condition Assessment

## Well 6

Record ID: 100  
System: B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life: - / 50 / -

Item No.: B2010.20.004  
Floor/Room: 1 / Exterior  
**Priority:** 2  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$10,110  
Deficiency Description: *Concrete masonry units exterior walls are damaged and in need of repair.*

Description of Work: *Repair concrete masonry units exterior walls and repaint.*

Comments:



Record ID: 101  
System: C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life: - / 50 / -

Item No.: C2030.10.001  
Floor/Room: 1 / Pump House  
**Priority:** 3  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$1,780  
Deficiency Description: *Concrete floor finish is approaching the end of its useful life.*

Description of Work: *Repair and refinish the concrete floor.*

Comments:



Record ID: 102  
System: G2060 - SITE DEVELOPMENT

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: G2060.20.020  
Floor/Room: Site / Fencing  
**Priority:** 3  
Quantity/Unit of Measure: 300/LF  
Total Deficiency Cost: \$9,480  
Deficiency Description: *Chain link fencing shows heavy damage and requires full replacement.*

Description of Work: *Replace entire fence, including mesh, posts, and concrete bases.*

Comments:



## City of Rohnert Park Facility Condition Assessment

### Well 6

Record ID: 103  
System: B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life: - / 15 / -

Item No.: B2050.20.001

Floor/Room: 1 / Exterior

Priority: 3

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$12,300

Deficiency Description: *The exterior door is approaching the end of its useful life.*

Description of Work: *Replace metal door.*

Comments:



Record ID: 335  
System: D2060 - PROCESS SUPPORT PLUMBING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D2060.10.001

Floor/Room: 1 / Pump House

Priority: 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$19,810

Deficiency Description: *Air compressor is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 336  
System: D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: D2010.20.012

Floor/Room: 1 / Pump House

Priority: 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$42,710

Deficiency Description: *Water treatment system is at the end of its expected useful service life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Well 6

Record ID 337  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D3060.30.030

Floor/Room: 1 / Pump House

Priority: 4

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$12,900

Deficiency Description: *Sidewall propeller fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 338  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life 1990 / 30 / -2

Item No. D5020.30.4001

Floor/Room: 1 / Pump House

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$4,910

Deficiency Description: *The load center is past its expected useful life.*

Description of Work: *Replace the existing load center with a new load center.*

Comments: *Age is estimated.*



**City of Rohnert Park  
Facility Condition Assessment**

Well 8-8a

**Capital Renewal Cost: \$63,570**

FCI: **0.413**

Replacement Cost: **\$154,000**

Condition Score: **D**

Replacement Cost/SF: **\$1,534**

Condition Rating: **CRITICAL**

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Unifomat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
C2010	WALL FINISHES	\$760	-	-	\$900	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$32,110	-	-	-	-	-	\$42,710
D2060	PROCESS SUPPORT PLUMBING SYSTEMS	\$14,890	-	-	-	-	-	\$19,810
G2020	PARKING LOTS	\$8,570	-	-	\$10,120	-	-	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	\$3,220	-	-	\$3,800	-	-	-
G2060	SITE DEVELOPMENT	\$4,020	-	-	\$4,750	-	-	-
<b>TOTALS</b>		<b>\$63,570</b>	<b>-</b>	<b>-</b>	<b>\$19,570</b>	<b>-</b>	<b>-</b>	<b>\$62,520</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$63,570</b>	<b>\$82,090</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					



**City of Rohnert Park  
Facility Condition Assessment**

Well 8-8a

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
63	C2010 - WALL FINISHES	C2010.20.002	Exterior	The existing veneer plywood is damaged or worn.	Clean, prepare, and paint the plywood paneling.	100	SF	\$350	\$900	3
65	G2020 - PARKING LOTS	G2020.80.018	Vehicular Gate	Vehicular swing gate is showing signs of damage.	Replace double vehicular swing gate.	1	EA	\$3,950	\$10,120	3
67	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Concrete Walkway	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	100	SF	\$1,480	\$3,800	3
66	G2060 - SITE DEVELOPMENT	G2060.20.020	Fencing	Chain link fencing shows heavy damage and requires full replacement.	Replace entire fence, including mesh, posts, and concrete bases.	150	LF	\$1,850	\$4,750	3
311	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.012	Pump House	Water treatment system is at the end of its expected useful service life.	Provide equipment replacement and installation.	1	EA	\$14,800	\$42,710	6
308	D2060 - PROCESS SUPPORT PLUMBING SYSTEMS	D2060.10.001	Pump House	Air compressor is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6

**City of Rohnert Park  
Facility Condition Assessment**

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**Well 8-8a**

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Record ID 63  
System C2010 - WALL FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. C2010.20.002

Floor/Room: 1 / Exterior

**Priority:** 3

Quantity/Unit of Measure: 100/SF

Total Deficiency Cost: \$900

Deficiency Description: *The existing veneer plywood is damaged or worn.*

Description of Work: *Clean, prepare, and paint the plywood paneling.*

Comments:



Record ID 65  
System G2020 - PARKING LOTS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. G2020.80.018

Floor/Room: Site / Vehicular Gate

**Priority:** 3

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$10,120

Deficiency Description: *Vehicular swing gate is showing signs of damage.*

Description of Work: *Replace double vehicular swing gate.*

Comments:



Record ID 66  
System G2060 - SITE DEVELOPMENT

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. G2060.20.020

Floor/Room: Site / Fencing

**Priority:** 3

Quantity/Unit of Measure: 150/LF

Total Deficiency Cost: \$4,750

Deficiency Description: *Chain link fencing shows heavy damage and requires full replacement.*

Description of Work: *Replace entire fence, including mesh, posts, and concrete bases.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Well 8-8a**

Record ID: 67  
 System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: G2030.10.005  
 Floor/Room: Site / Concrete Walkway  
**Priority:** 3  
 Quantity/Unit of Measure: 100/SF  
 Total Deficiency Cost: \$3,800  
 Deficiency Description: *Concrete pavement has major damage / structural failure.*

Description of Work: *Replace concrete and base to match existing.*

Comments:



Record ID: 308  
 System: D2060 - PROCESS SUPPORT PLUMBING SYSTEMS  
 Year Installed / Industry Life / Remaining Useful Life: - / 25 / -  
 Item No.: D2060.10.001  
 Floor/Room: 1 / Pump House  
**Priority:** 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$19,810  
 Deficiency Description: *Air compressor is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 311  
 System: D2010 - DOMESTIC WATER DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: D2010.20.012  
 Floor/Room: 1 / Pump House  
**Priority:** 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$42,710  
 Deficiency Description: *Water treatment system is at the end of its expected useful service life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

Well 10

**Capital Renewal Cost: \$82,560**

FCI: **0.536**

Replacement Cost: **\$154,000**

Condition Score: **D**

Replacement Cost/SF: **\$1,534**

Condition Rating: **CRITICAL**

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$17,840	-	\$20,160	-	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$32,110	-	-	-	-	-	\$42,710
D2060	PROCESS SUPPORT PLUMBING SYSTEMS	\$14,890	-	-	-	-	-	\$19,810
D3060	VENTILATION	\$10,480	-	-	-	-	-	\$13,940
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$4,540	\$4,910	-	-	-	-	-
G2060	SITE DEVELOPMENT	\$2,700	-	-	\$3,190	-	-	-
<b>TOTALS</b>		<b>\$82,560</b>	<b>\$4,910</b>	<b>\$20,160</b>	<b>\$3,190</b>	<b>-</b>	<b>-</b>	<b>\$76,460</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$82,560</b>	<b>\$104,720</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

Well 10

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
356	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001	Pump House	The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
116	B2010 - EXTERIOR WALLS	B2010.20.004	Exterior	Concrete masonry units exterior walls are damaged and in need of repair.	Repair concrete masonry units exterior walls and repaint.	200	SF	\$8,220	\$20,160	2
117	G2060 - SITE DEVELOPMENT	G2060.20.020	Fencing	Chain link fencing is showing signs of damage.	Replace entire fence, including mesh, posts, and concrete bases.	100	LF	\$1,240	\$3,190	3
358	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.012	Pump House	Water treatment system is at the end of its expected useful service life.	Provide equipment replacement and installation.	1	EA	\$14,800	\$42,710	6
354	D2060 - PROCESS SUPPORT PLUMBING SYSTEMS	D2060.10.001	Pump House	Air compressor is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6
359	D3060 - VENTILATION	D3060.30.030		Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$13,940	6

**City of Rohnert Park  
Facility Condition Assessment**

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**Well 10**

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Record ID 116  
System B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. B2010.20.004

Floor/Room: 1 / Exterior

**Priority:** 2

Quantity/Unit of Measure: 200/SF

Total Deficiency Cost: \$20,160

Deficiency Description: *Concrete masonry units exterior walls are damaged and in need of repair.*

Description of Work: *Repair concrete masonry units exterior walls and repaint.*

Comments:



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Record ID 117  
System G2060 - SITE DEVELOPMENT

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. G2060.20.020

Floor/Room: Site / Fencing

**Priority:** 3

Quantity/Unit of Measure: 100/LF

Total Deficiency Cost: \$3,190

Deficiency Description: *Chain link fencing is showing signs of damage.*

Description of Work: *Replace entire fence, including mesh, posts, and concrete bases.*

Comments:



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Record ID 354  
System D2060 - PROCESS SUPPORT PLUMBING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 25 / -

Item No. D2060.10.001

Floor/Room: 1 / Pump House

**Priority:** 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$19,810

Deficiency Description: *Air compressor is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



## City of Rohnert Park Facility Condition Assessment

### Well 10

Record ID: 356  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1990 / 30 / -2  
 Item No.: D5020.30.4001  
 Floor/Room: 1 / Pump House  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$4,910  
 Deficiency Description: *The load center is past its expected useful life.*

Description of Work: *Replace the existing load center with a new load center.*

Comments: *Age is estimated.*



Record ID: 358  
 System: D2010 - DOMESTIC WATER DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: D2010.20.012  
 Floor/Room: 1 / Pump House  
**Priority:** 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$42,710  
 Deficiency Description: *Water treatment system is at the end of its expected useful service life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 359  
 System: D3060 - VENTILATION  
 Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
 Item No.: D3060.30.030  
 Floor/Room:  
**Priority:** 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$13,940  
 Deficiency Description: *Sidewall propeller fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

Well 12

**Capital Renewal Cost: \$119,260**

FCI: **0.774**

Replacement Cost: **\$154,000**

Condition Score: **D**

Replacement Cost/SF: **\$1,534**

Condition Rating: **CRITICAL**

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$5,950	-	-	-	\$7,320	-	-
B2050	EXTERIOR DOORS AND GRILLES	\$10,420	-	-	\$12,300	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$32,110	\$34,680	-	-	-	-	-
D3060	VENTILATION	\$10,480	-	-	\$12,370	-	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$12,680	\$13,700	-	-	-	-	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	\$30,520	-	\$34,490	-	-	-	-
G2060	SITE DEVELOPMENT	\$13,390	-	\$15,140	-	-	-	-
G2080	LANDSCAPING	\$3,710	-	-	\$4,380	-	-	-
<b>TOTALS</b>		<b>\$119,260</b>	<b>\$48,380</b>	<b>\$49,630</b>	<b>\$29,050</b>	<b>\$7,320</b>	<b>-</b>	<b>-</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$119,260</b>	<b>\$134,380</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					



**City of Rohnert Park  
Facility Condition Assessment**

Well 12

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
411	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.012	Pump House	Water treatment system is at the end of its expected useful service life.	Provide equipment replacement and installation.	1	EA	\$14,800	\$34,680	1
1791	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.001	Pump House	The all-in-one combination service entrance device is past its expected useful life.	Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.	1	EA	\$3,510	\$8,230	1
414	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.201	Pump House	The 5kVA transformer is past its expected useful life.	Replace the existing transformer with a new transformer.	1	EA	\$2,330	\$5,470	1
173	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Driveway	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	800	SF	\$11,840	\$29,030	2
170	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Concrete Walkway	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	100	SF	\$1,480	\$3,640	2
169	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Concrete Walkway	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	50	SF	\$740	\$1,820	2
171	G2060 - SITE DEVELOPMENT	G2060.20.020	Fencing	Chain link fencing (up to 6 ft high) shows heavy damage and requires full replacement.	Replace entire fence, including mesh, posts, and concrete bases.	500	LF	\$6,170	\$15,140	2
167	B2050 - EXTERIOR DOORS AND GRILLES	B2050.20.001	Exterior	The exterior door is approaching the end of its useful life.	Replace the door.	1	EA	\$4,800	\$12,300	3
410	D3060 - VENTILATION	D3060.30.030	Pump House	Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$12,370	3
172	G2080 - LANDSCAPING	G2080.20.002	Landscaping	There are areas of dead grass and bare patches.	Recondition and install new grass seed.	1,000	SF	\$1,710	\$4,380	3
166	B2010 - EXTERIOR WALLS	B2010.10.001	Exterior	Plywood siding is approaching the end of its useful life.	Remove and replace the existing plywood siding with new plywood siding. Prime and paint.	400	SF	\$2,740	\$7,320	4

**City of Rohnert Park  
Facility Condition Assessment**

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**Well 12**

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Record ID 166  
System B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. B2010.10.001

Floor/Room: 1 / Exterior

Priority: 4

Quantity/Unit of Measure: 400/SF

Total Deficiency Cost: \$7,320

Deficiency Description: *Plywood siding is approaching the end of its useful life.*

Description of Work: *Remove and replace the existing plywood siding with new plywood siding. Prime and paint.*

Comments:



Record ID 167  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. B2050.20.001

Floor/Room: 1 / Exterior

Priority: 3

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$12,300

Deficiency Description: *The exterior door is approaching the end of its useful life.*

Description of Work: *Replace the door.*

Comments:



Record ID 169  
System G2030 - PEDESTRIAN PLAZAS AND WALKWAYS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. G2030.10.005

Floor/Room: Site / Concrete Walkway

Priority: 2

Quantity/Unit of Measure: 50/SF

Total Deficiency Cost: \$1,820

Deficiency Description: *Concrete pavement has major damage / structural failure.*

Description of Work: *Replace concrete and base to match existing.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Well 12**

Record ID: 170  
 System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: G2030.10.005  
 Floor/Room: Site / Concrete Walkway  
**Priority:** 2  
 Quantity/Unit of Measure: 100/SF  
 Total Deficiency Cost: \$3,640  
 Deficiency Description: *Concrete pavement has major damage / structural failure.*

Description of Work: *Replace concrete and base to match existing.*

Comments:



Record ID: 171  
 System: G2060 - SITE DEVELOPMENT  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: G2060.20.020  
 Floor/Room: Site / Fencing  
**Priority:** 2  
 Quantity/Unit of Measure: 500/LF  
 Total Deficiency Cost: \$15,140  
 Deficiency Description: *Chain link fencing (up to 6 ft high) shows heavy damage and requires full replacement.*

Description of Work: *Replace entire fence, including mesh, posts, and concrete bases.*

Comments:



Record ID: 172  
 System: G2080 - LANDSCAPING  
 Year Installed / Industry Life / Remaining Useful Life: - / - / -  
 Item No.: G2080.20.002  
 Floor/Room: Site / Landscaping  
**Priority:** 3  
 Quantity/Unit of Measure: 1,000/SF  
 Total Deficiency Cost: \$4,380  
 Deficiency Description: *There are areas of dead grass and bare patches.*

Description of Work: *Recondition and install new grass seed.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Well 12**

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Record ID: 173  
System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: G2030.10.005  
Floor/Room: Site / Driveway  
**Priority:** 2  
Quantity/Unit of Measure: 800/SF  
Total Deficiency Cost: \$29,030  
Deficiency Description: *Concrete pavement has major damage / structural failure.*

Description of Work: *Replace concrete and base to match existing.*

Comments:



Record ID: 410  
System: D3060 - VENTILATION  
Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
Item No.: D3060.30.030  
Floor/Room: 1 / Pump House  
**Priority:** 3  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$12,370  
Deficiency Description: *Sidewall propeller fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 411  
System: D2010 - DOMESTIC WATER DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: D2010.20.012  
Floor/Room: 1 / Pump House  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$34,680  
Deficiency Description: *Water treatment system is at the end of its expected useful service life.*

Description of Work: *Provide equipment replacement and installation.*

Comments: *Appears offline*



# City of Rohnert Park Facility Condition Assessment

## Well 12

Record ID: 414  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1990 / 30 / -2  
Item No.: D5020.10.201  
Floor/Room: 1 / Pump House  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$5,470  
Deficiency Description: *The 5kVA transformer is past its expected useful life.*  
Description of Work: *Replace the existing transformer with a new transformer.*  
Comments: *Age is estimated.*



Record ID: 1791  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1990 / 30 / -2  
Item No.: D5020.10.001  
Floor/Room: 1 / Pump House  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$8,230  
Deficiency Description: *The all-in-one combination service entrance device is past its expected useful life.*  
Description of Work: *Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.*  
Comments: *Age is estimated.*



**City of Rohnert Park  
Facility Condition Assessment**

Well 14

**Capital Renewal Cost: \$127,100**

FCI: **0.825**

Replacement Cost: **\$154,000**

Condition Score: **D**

Replacement Cost/SF: **\$1,534**

Condition Rating: **CRITICAL**

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2050	EXTERIOR DOORS AND GRILLES	\$20,830	-	-	\$24,580	-	-	-
B3010	ROOFING	\$10,270	-	-	-	-	-	\$13,660
B3020	ROOF APPURTENANCES	\$920	-	\$1,040	-	-	-	-
C2010	WALL FINISHES	\$3,000	-	-	\$3,540	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$32,110	-	-	-	-	-	\$42,710
D2060	PROCESS SUPPORT PLUMBING SYSTEMS	\$14,890	-	-	-	-	-	\$19,810
D3060	VENTILATION	\$20,960	-	-	-	-	\$13,420	\$13,940
G2020	PARKING LOTS	\$10,350	-	-	-	\$12,740	-	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	\$3,220	-	-	\$3,800	-	-	-
G2060	SITE DEVELOPMENT	\$10,550	-	\$11,930	-	-	-	-
<b>TOTALS</b>		<b>\$127,100</b>	<b>-</b>	<b>\$12,970</b>	<b>\$31,920</b>	<b>\$12,740</b>	<b>\$13,420</b>	<b>\$90,120</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$127,100</b>	<b>\$161,170</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

Well 14

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
131	B3020 - ROOF APPURTENANCES	B3020.70.001	Exterior	Rain leaders/gutters are damaged and leak.	Repair, replace rain leaders/gutters.	20	LF	\$420	\$1,040	2
135	G2060 - SITE DEVELOPMENT	G2060.20.007	Fencing	Privacy screening is missing or damaged.	Replace wood privacy slats.	100	SF	\$1,160	\$2,850	2
134	G2060 - SITE DEVELOPMENT	G2060.20.020	Fencing	Chain link fencing shows signs of wear.	Replace entire fence, including mesh, posts, and concrete bases.	300	LF	\$3,700	\$9,080	2
129	B2050 - EXTERIOR DOORS AND GRILLES	B2050.20.003	Exterior	Exterior doors, frames and hardware are approaching the end of their useful life.	Replace the exterior doors, frames and hardware.	2	EA	\$9,600	\$24,580	3
132	C2010 - WALL FINISHES	C2010.20.002	Exterior	The existing veneer plywood is damaged or worn.	Clean, prepare, and paint the plywood paneling.	400	SF	\$1,380	\$3,540	3
128	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Concrete Walkway	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	100	SF	\$1,480	\$3,800	3
136	G2020 - PARKING LOTS	G2020.10.002	AC Paving	AC paving shows evidence of weathering.	Replace AC pavement section.	400	SF	\$4,770	\$12,740	4
376	D3060 - VENTILATION	D3060.30.030		Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$13,420	5
127	B3010 - ROOFING	B3010.10.002	Roof	Metal roofing is approaching end of expected useful service life.	Remove and replace metal roofing.	300	SF	\$4,730	\$13,660	6
375	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.012		Water treatment system is at the end of its expected useful service life.	Provide equipment replacement and installation.	1	EA	\$14,800	\$42,710	6
377	D2060 - PROCESS SUPPORT PLUMBING SYSTEMS	D2060.10.001		Air compressor is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6
378	D3060 - VENTILATION	D3060.30.030		Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$13,940	6

# City of Rohnert Park Facility Condition Assessment

## Well 14

Record ID 127  
System B3010 - ROOFING

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. B3010.10.002  
Floor/Room: Roof / Roof  
**Priority:** 7  
Quantity/Unit of Measure: 300/SF  
Total Deficiency Cost: \$13,660  
Deficiency Description: *Metal roofing is approaching end of expected useful service life.*

Description of Work: *Remove and replace metal roofing.*



Comments:

Record ID 128  
System G2030 - PEDESTRIAN PLAZAS AND WALKWAYS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. G2030.10.005  
Floor/Room: Site / Concrete Walkway  
**Priority:** 3  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$3,800  
Deficiency Description: *Concrete pavement has major damage / structural failure.*

Description of Work: *Replace concrete and base to match existing.*



Comments:

Record ID 129  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. B2050.20.003  
Floor/Room: 1 / Exterior  
**Priority:** 3  
Quantity/Unit of Measure: 2/EA  
Total Deficiency Cost: \$24,580  
Deficiency Description: *Exterior doors, frames and hardware are approaching the end of their useful life.*

Description of Work: *Replace the exterior doors, frames and hardware.*



Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Well 14**

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Record ID 131  
System B3020 - ROOF APPURTENANCES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. B3020.70.001

Floor/Room: Roof / Exterior

**Priority:** 2

Quantity/Unit of Measure: 20/LF

Total Deficiency Cost: \$1,040

Deficiency Description: *Rain leaders/gutters are damaged and leak.*

Description of Work: *Repair, replace rain leaders/gutters.*

Comments:



Record ID 132  
System C2010 - WALL FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. C2010.20.002

Floor/Room: 1 / Exterior

**Priority:** 3

Quantity/Unit of Measure: 400/SF

Total Deficiency Cost: \$3,540

Deficiency Description: *The existing veneer plywood is damaged or worn.*

Description of Work: *Clean, prepare, and paint the plywood paneling.*

Comments:



Record ID 134  
System G2060 - SITE DEVELOPMENT

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. G2060.20.020

Floor/Room: Site / Fencing

**Priority:** 2

Quantity/Unit of Measure: 300/LF

Total Deficiency Cost: \$9,080

Deficiency Description: *Chain link fencing shows signs of wear.*

Description of Work: *Replace entire fence, including mesh, posts, and concrete bases.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Well 14

Record ID 135  
System G2060 - SITE DEVELOPMENT  
Year Installed / Industry Life / Remaining Useful Life - / - / -  
Item No. G2060.20.007  
Floor/Room: Site / Fencing  
**Priority: 2**  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$2,850  
Deficiency Description: *Privacy screening is missing or damaged.*

Description of Work: *Replace wood privacy slats.*

Comments:



Record ID 136  
System G2020 - PARKING LOTS  
Year Installed / Industry Life / Remaining Useful Life - / - / -  
Item No. G2020.10.002  
Floor/Room: Site / AC Paving  
**Priority: 4**  
Quantity/Unit of Measure: 400/SF  
Total Deficiency Cost: \$12,740  
Deficiency Description: *AC paving shows evidence of weathering.*

Description of Work: *Replace AC pavement section.*

Comments:



Record ID 375  
System D2010 - DOMESTIC WATER DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life - / 30 / -  
Item No. D2010.20.012  
Floor/Room:  
**Priority: 7**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$42,710  
Deficiency Description: *Water treatment system is at the end of its expected useful service life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Well 14**

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Record ID 376  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D3060.30.030

Floor/Room:

**Priority:** 5

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$13,420  
Deficiency Description: *Sidewall propeller fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 377  
System D2060 - PROCESS SUPPORT PLUMBING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 25 / -

Item No. D2060.10.001

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$19,810  
Deficiency Description: *Air compressor is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 378  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D3060.30.030

Floor/Room:

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$13,940  
Deficiency Description: *Sidewall propeller fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

Well 15

**Capital Renewal Cost: \$53,360**

FCI: **0.693**

Replacement Cost: **\$77,000**

Condition Score: **D**

Replacement Cost/SF: **\$1,534**

Condition Rating: **CRITICAL**

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Unifomat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$3,000	-	\$3,400	-	-	-	-
B2050	EXTERIOR DOORS AND GRILLES	\$14,280	\$15,430	-	-	-	-	-
B3010	ROOFING	\$5,150	-	-	\$6,080	-	-	-
D3060	VENTILATION	\$10,480	\$11,320	-	-	-	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$7,620	\$8,230	-	-	-	-	-
D5040	LIGHTING	\$2,110	\$2,280	-	-	-	-	-
G2060	SITE DEVELOPMENT	\$10,720	-	-	\$12,650	-	-	-
<b>TOTALS</b>		<b>\$53,360</b>	<b>\$37,260</b>	<b>\$3,400</b>	<b>\$18,730</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$53,360</b>	<b>\$59,390</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

Well 15

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
176	B2050 - EXTERIOR DOORS AND GRILLES	B2050.20.006	Exterior	Exterior wood utility door, frame and hardware are approaching the end of their useful life.	Replace exterior wood utility door, frame and hardware.	4	EA	\$6,580	\$15,430	1
418	D3060 - VENTILATION	D3060.30.030	Pump House	Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$11,320	1
417	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.001	Pump House	The all-in-one combination service entrance device is past its expected useful life.	Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.	1	EA	\$3,510	\$8,230	1
177	D5040 - LIGHTING	D5040.50.302	Exterior	The exterior light fixture is past its expected useful life and deteriorated.	Replace the existing light fixture with an LED lighting fixture.	1	EA	\$970	\$2,280	1
175	B2010 - EXTERIOR WALLS	B2010.10.001	Exterior	Plywood siding is approaching the end of its useful life.	Remove and replace the existing plywood siding with new plywood siding. Prime and paint.	200	SF	\$1,380	\$3,400	2
174	B3010 - ROOFING	B3010.10.002	Roof	Metal roofing is at or approaching end of expected useful service life.	Remove and replace metal roofing.	150	SF	\$2,370	\$6,080	3
178	G2060 - SITE DEVELOPMENT	G2060.20.020	Fencing	Chain link fencing shows signs of wear.	Replace entire fence, including mesh, posts, and concrete bases.	400	LF	\$4,940	\$12,650	3

## City of Rohnert Park Facility Condition Assessment

### Well 15

Record ID: 174  
 System: B3010 - ROOFING

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: B3010.10.002  
 Floor/Room: Roof / Roof

**Priority:** 3

Quantity/Unit of Measure: 150/SF  
 Total Deficiency Cost: \$6,080

Deficiency Description: *Metal roofing is at or approaching end of expected useful service life.*

Description of Work: *Remove and replace metal roofing.*



Comments:

Record ID: 175  
 System: B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

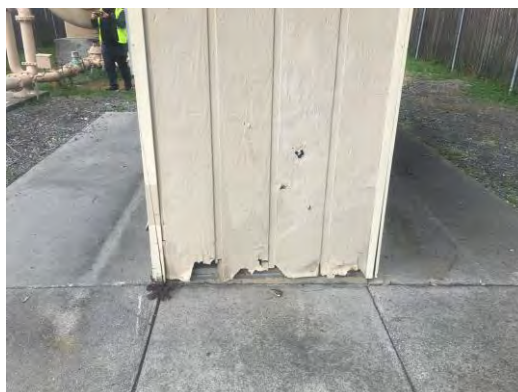
Item No.: B2010.10.001  
 Floor/Room: 1 / Exterior

**Priority:** 2

Quantity/Unit of Measure: 200/SF  
 Total Deficiency Cost: \$3,400

Deficiency Description: *Plywood siding is approaching the end of its useful life.*

Description of Work: *Remove and replace the existing plywood siding with new plywood siding. Prime and paint.*



Comments:

Record ID: 176  
 System: B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life: - / 45 / -

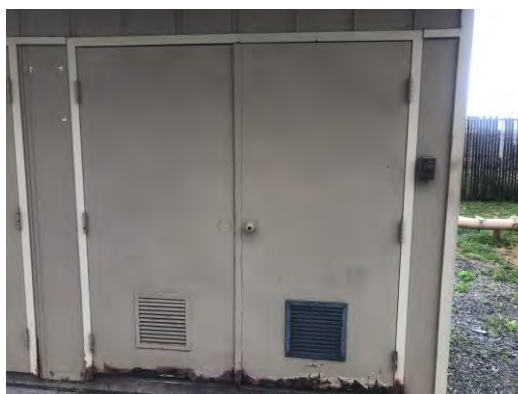
Item No.: B2050.20.006  
 Floor/Room: 1 / Exterior

**Priority:** 1

Quantity/Unit of Measure: 4/EA  
 Total Deficiency Cost: \$15,430

Deficiency Description: *Exterior wood utility door, frame and hardware are approaching the end of their useful life.*

Description of Work: *Replace exterior wood utility door, frame and hardware.*



Comments:

**City of Rohnert Park  
Facility Condition Assessment**

**Well 15**

Record ID 177  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life 1990 / 20 / -12

Item No. D5040.50.302

Floor/Room: 1 / Exterior

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$2,280

Deficiency Description: *The exterior light fixture is past its expected useful life and deteriorated.*

Description of Work: *Replace the existing light fixture with an LED lighting fixture.*

Comments:



Record ID 178  
System G2060 - SITE DEVELOPMENT

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. G2060.20.020

Floor/Room: Site / Fencing

Priority: 3

Quantity/Unit of Measure: 400/LF

Total Deficiency Cost: \$12,650

Deficiency Description: *Chain link fencing shows signs of wear.*

Description of Work: *Replace entire fence, including mesh, posts, and concrete bases.*

Comments:



Record ID 417  
System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life 1990 / 30 / -2

Item No. D5020.10.001

Floor/Room: 1 / Pump House

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$8,230

Deficiency Description: *The all-in-one combination service entrance device is past its expected useful life.*

Description of Work: *Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.*

Comments: *Age is estimated.*



**City of Rohnert Park  
Facility Condition Assessment**

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**Well 15**

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Record ID 418  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D3060.30.030

Floor/Room: 1 / Pump House

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$11,320

Deficiency Description: *Sidewall propeller fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:





**City of Rohnert Park  
Facility Condition Assessment**

Well 2-Maintenance Garage

<b>Capital Renewal Cost:</b>	<b>\$140,580</b>	FCI:	<b>0.150</b>
Replacement Cost:	<b>\$937,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$960</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	<b>\$15,780</b>	\$15,430	-	\$1,780	-	-	-
B2050	EXTERIOR DOORS AND GRILLES	<b>\$13,080</b>	\$7,070	\$7,400	-	-	-	-
B3010	ROOFING	<b>\$31,380</b>	-	\$690	\$36,310	-	-	-
C2030	FLOORING	<b>\$11,890</b>	\$12,850	-	-	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	<b>\$32,110</b>	-	-	-	-	-	\$42,710
D2060	PROCESS SUPPORT PLUMBING SYSTEMS	<b>\$14,890</b>	-	-	-	-	-	\$19,810
D3060	VENTILATION	<b>\$10,480</b>	-	-	-	-	-	\$13,940
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	<b>\$4,540</b>	\$4,910	-	-	-	-	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	<b>\$6,430</b>	-	\$7,270	-	-	-	-
<b>TOTALS</b>		<b>\$140,580</b>	<b>\$40,260</b>	<b>\$15,360</b>	<b>\$38,090</b>	<b>-</b>	<b>-</b>	<b>\$76,460</b>
TOTAL (Priority 1-6 without escalation)		<b>\$140,580</b>	<b>\$170,170</b>					
			TOTAL (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

**Well 2-Maintenance Garage**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engine Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
81	B2010 - EXTERIOR WALLS	B2010.10.012	Exterior	Metal siding panels damaged in several locations.	Replace damaged panels.	300	SF	\$6,580	\$15,430	1
75	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.006	Exterior	Exterior aluminum entrance door, frame and hardware is approaching the end of its useful life.	Replace aluminum door, frame, and hardware.	1	EA	\$3,010	\$7,070	1
79	C2030 - FLOORING	C2030.10.001	Storage	Concrete floor is cracked.	Repair and refinish the concrete floor.	800	SF	\$5,480	\$12,850	1
315	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001		The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$4,910	1
78	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.006	Exterior	Exterior aluminum entrance door, frame and hardware is approaching the end of its useful life.	Replace aluminum door, frame, and hardware.	1	EA	\$3,010	\$7,400	2
77	B3010 - ROOFING	B3010.90.010	Roof	The fascia appears to be deteriorated.	Selectively remove deteriorated fascia and replace with new material to match.	20	LF	\$280	\$690	2
74	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Driveway	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	200	SF	\$2,960	\$7,270	2
76	B2010 - EXTERIOR WALLS	B2010.10.001	Exterior	Plywood siding is approaching the end of its useful life.	Remove and replace the existing plywood siding with new plywood siding. Prime and paint.	100	SF	\$690	\$1,780	3
80	B3010 - ROOFING	B3010.10.002	Exterior	Metal roofing is at or approaching end of expected useful service life.	Remove and replace metal roofing.	900	SF	\$14,180	\$36,310	3
316	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.012		Water treatment system is at the end of its expected useful service life.	Provide equipment replacement and installation.	1	EA	\$14,800	\$42,710	6
314	D2060 - PROCESS SUPPORT PLUMBING SYSTEMS	D2060.10.001		Air compressor is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6
317	D3060 - VENTILATION	D3060.30.030		Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$13,940	6

**City of Rohnert Park  
Facility Condition Assessment**

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**Well 2-Maintenance Garage**

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Record ID: 74  
System: G2030 - PEDESTRIAN PLAZAS AND WALKWAYS  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: G2030.10.005  
Floor/Room: Site / Driveway  
**Priority:** 2  
Quantity/Unit of Measure: 200/SF  
Total Deficiency Cost: \$7,270  
Deficiency Description: *Concrete pavement has major damage / structural failure.*  
  
Description of Work: *Replace concrete and base to match existing.*  
  
Comments:



Record ID: 75  
System: B2050 - EXTERIOR DOORS AND GRILLES  
Year Installed / Industry Life / Remaining Useful Life: - / - / -  
Item No.: B2050.10.006  
Floor/Room: 1 / Exterior  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$7,070  
Deficiency Description: *Exterior aluminum entrance door, frame and hardware is approaching the end of its useful life.*  
  
Description of Work: *Replace aluminum door, frame, and hardware.*  
  
Comments:



Record ID: 76  
System: B2010 - EXTERIOR WALLS  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: B2010.10.001  
Floor/Room: 1 / Exterior  
**Priority:** 3  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$1,780  
Deficiency Description: *Plywood siding is approaching the end of its useful life.*  
  
Description of Work: *Remove and replace the existing plywood siding with new plywood siding. Prime and paint.*  
  
Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Well 2-Maintenance Garage**

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Record ID 77  
System B3010 - ROOFING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. B3010.90.010

Floor/Room: Roof / Roof

**Priority:** 2

Quantity/Unit of Measure: 20/LF

Total Deficiency Cost: \$690

Deficiency Description: *The fascia appears to be deteriorated.*

Description of Work: *Selectively remove deteriorated fascia and replace with new material to match.*

Comments:



Record ID 78  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. B2050.10.006

Floor/Room: 1 / Exterior

**Priority:** 2

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$7,400

Deficiency Description: *Exterior aluminum entrance door, frame and hardware is approaching the end of its useful life.*

Description of Work: *Replace aluminum door, frame, and hardware.*

Comments:



Record ID 79  
System C2030 - FLOORING

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. C2030.10.001

Floor/Room: 1 / Storage

**Priority:** 1

Quantity/Unit of Measure: 800/SF

Total Deficiency Cost: \$12,850

Deficiency Description: *Concrete floor is cracked.*

Description of Work: *Repair and refinish the concrete floor.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Well 2-Maintenance Garage**

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Record ID: 80  
System: B3010 - ROOFING

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: B3010.10.002  
Floor/Room: 1 / Exterior  
**Priority:** 3  
Quantity/Unit of Measure: 900/SF  
Total Deficiency Cost: \$36,310  
Deficiency Description: *Metal roofing is at or approaching end of expected useful service life.*

Description of Work: *Remove and replace metal roofing.*

Comments:



Record ID: 81  
System: B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life: - / 15 / -

Item No.: B2010.10.012  
Floor/Room: 1 / Exterior  
**Priority:** 1  
Quantity/Unit of Measure: 300/SF  
Total Deficiency Cost: \$15,430  
Deficiency Description: *Metal siding panels damaged in several locations.*

Description of Work: *Replace damaged panels.*

Comments:



Record ID: 314  
System: D2060 - PROCESS SUPPORT PLUMBING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D2060.10.001  
Floor/Room:  
**Priority:** 7  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$19,810  
Deficiency Description: *Air compressor is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Well 2-Maintenance Garage**

Record ID: 315  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1990 / 30 / -2  
 Item No.: D5020.30.4001  
 Floor/Room:  
**Priority:** 1  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$4,910  
 Deficiency Description: *The load center is past its expected useful life.*  
 Description of Work: *Replace the existing load center with a new load center.*  
 Comments: *Age is estimated.*



Record ID: 316  
 System: D2010 - DOMESTIC WATER DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
 Item No.: D2010.20.012  
 Floor/Room:  
**Priority:** 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$42,710  
 Deficiency Description: *Water treatment system is at the end of its expected useful service life.*  
 Description of Work: *Provide equipment replacement and installation.*  
 Comments:



Record ID: 317  
 System: D3060 - VENTILATION  
 Year Installed / Industry Life / Remaining Useful Life: - / 20 / -  
 Item No.: D3060.30.030  
 Floor/Room:  
**Priority:** 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$13,940  
 Deficiency Description: *Sidewall propeller fan is approaching the end of its expected useful life.*  
 Description of Work: *Provide equipment replacement and installation.*  
 Comments:



**City of Rohnert Park  
Facility Condition Assessment**

Well 22

**Capital Renewal Cost: \$79,840**

FCI: **0.518**

Replacement Cost: **\$154,000**

Condition Score: **D**

Replacement Cost/SF: **\$1,534**

Condition Rating: **CRITICAL**

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Unifomat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$3,000	-	-	\$3,540	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$32,110	-	-	-	-	-	\$42,710
D2060	PROCESS SUPPORT PLUMBING SYSTEMS	\$14,890	-	-	-	-	-	\$19,810
D3060	VENTILATION	\$10,480	-	-	\$12,370	-	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$7,620	\$8,230	-	-	-	-	-
G2060	SITE DEVELOPMENT	\$8,030	-	-	\$9,480	-	-	-
G2080	LANDSCAPING	\$3,710	-	-	\$4,380	-	-	-
<b>TOTALS</b>		<b>\$79,840</b>	<b>\$8,230</b>	<b>-</b>	<b>\$29,770</b>	<b>-</b>	<b>-</b>	<b>\$62,520</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$79,840</b>	<b>\$100,520</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

Well 22

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
349	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.001	Pump House	The all-in-one combination service entrance device is past its expected useful life.	Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.	1	EA	\$3,510	\$8,230	1
109	B2010 - EXTERIOR WALLS	B2010.10.001	Exterior	Plywood siding is approaching the end of its useful life.	Remove and replace the existing plywood siding with new plywood siding. Prime and paint.	200	SF	\$1,380	\$3,540	3
352	D3060 - VENTILATION	D3060.30.030	Pump House	Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$12,370	3
110	G2060 - SITE DEVELOPMENT	G2060.20.020	Fencing	Chain link fencing shows signs of wear.	Replace entire fence, including mesh, posts, and concrete bases.	300	LF	\$3,700	\$9,480	3
111	G2080 - LANDSCAPING	G2080.20.002	Site	There are dead areas and bare patches in the grass lawn.	Recondition and install new grass seed.	1,000	SF	\$1,710	\$4,380	3
351	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.012	Pump House	Water treatment system is at the end of its expected useful service life.	Provide equipment replacement and installation.	1	EA	\$14,800	\$42,710	6
350	D2060 - PROCESS SUPPORT PLUMBING SYSTEMS	D2060.10.001	Pump House	Air compressor is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6



**City of Rohnert Park  
Facility Condition Assessment**

**Well 22**

Record ID: 109  
 System: B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: B2010.10.001

Floor/Room: 1 / Exterior

Priority: 3

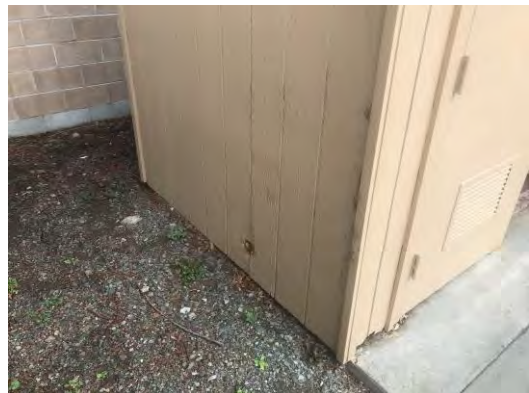
Quantity/Unit of Measure: 200/SF

Total Deficiency Cost: \$3,540

Deficiency Description: *Plywood siding is approaching the end of its useful life.*

Description of Work: *Remove and replace the existing plywood siding with new plywood siding. Prime and paint.*

Comments:



Record ID: 110  
 System: G2060 - SITE DEVELOPMENT

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: G2060.20.020

Floor/Room: Site / Fencing

Priority: 3

Quantity/Unit of Measure: 300/LF

Total Deficiency Cost: \$9,480

Deficiency Description: *Chain link fencing shows signs of wear.*

Description of Work: *Replace entire fence, including mesh, posts, and concrete bases.*

Comments:



Record ID: 111  
 System: G2080 - LANDSCAPING

Year Installed / Industry Life / Remaining Useful Life: - / - / -

Item No.: G2080.20.002

Floor/Room: Site

Priority: 3

Quantity/Unit of Measure: 1,000/SF

Total Deficiency Cost: \$4,380

Deficiency Description: *There are dead areas and bare patches in the grass lawn.*

Description of Work: *Recondition and install new grass seed.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Well 22**

Record ID 349  
 System D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life 1990 / 30 / -2  
 Item No. D5020.10.001  
 Floor/Room: 1 / Pump House  
**Priority: 1**  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$8,230  
 Deficiency Description: *The all-in-one combination service entrance device is past its expected useful life.*  
 Description of Work: *Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.*  
 Comments: *Age is estimated.*



Record ID 350  
 System D2060 - PROCESS SUPPORT PLUMBING SYSTEMS  
 Year Installed / Industry Life / Remaining Useful Life - / 25 / -  
 Item No. D2060.10.001  
 Floor/Room: 1 / Pump House  
**Priority: 7**  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$19,810  
 Deficiency Description: *Air compressor is approaching the end of its expected useful life.*  
 Description of Work: *Provide equipment replacement and installation.*  
 Comments:



Record ID 351  
 System D2010 - DOMESTIC WATER DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life - / 30 / -  
 Item No. D2010.20.012  
 Floor/Room: 1 / Pump House  
**Priority: 7**  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$42,710  
 Deficiency Description: *Water treatment system is at the end of its expected useful service life.*  
 Description of Work: *Provide equipment replacement and installation.*  
 Comments:





**City of Rohnert Park  
Facility Condition Assessment**

Well 29

**Capital Renewal Cost: \$105,180**

FCI: **0.683**

Replacement Cost: **\$154,000**

Condition Score: **D**

Replacement Cost/SF: **\$1,534**

Condition Rating: **CRITICAL**

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$3,000	-	-	-	-	\$3,840	-
B2050	EXTERIOR DOORS AND GRILLES	\$10,420	-	-	\$12,300	-	-	-
B3010	ROOFING	\$5,150	-	-	-	-	\$6,600	-
C1030	INTERIOR DOORS	\$1,500	-	-	-	-	\$1,920	-
D2010	DOMESTIC WATER DISTRIBUTION	\$32,110	-	-	-	-	-	\$42,710
D2060	PROCESS SUPPORT PLUMBING SYSTEMS	\$14,890	-	-	-	-	-	\$19,810
D3060	VENTILATION	\$20,960	-	-	\$12,370	\$12,900	-	-
G2030	PEDESTRIAN PLAZAS AND WALKWAYS	\$3,220	-	\$3,640	-	-	-	-
G2060	SITE DEVELOPMENT	\$13,930	-	-	\$16,450	-	-	-
<b>TOTALS</b>		<b>\$105,180</b>	<b>-</b>	<b>\$3,640</b>	<b>\$41,120</b>	<b>\$12,900</b>	<b>\$12,360</b>	<b>\$62,520</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$105,180</b>	<b>\$132,540</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

Well 29

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
139	G2030 - PEDESTRIAN PLAZAS AND WALKWAYS	G2030.10.005	Concrete Walkway	Concrete pavement has major damage / structural failure.	Replace concrete and base to match existing.	100	SF	\$1,480	\$3,640	2
140	B2050 - EXTERIOR DOORS AND GRILLES	B2050.20.001	Exterior	The exterior door is showing signs of wear.	Replace metal door.	1	EA	\$4,800	\$12,300	3
383	D3060 - VENTILATION	D3060.30.030	Pump House	Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$12,370	3
143	G2060 - SITE DEVELOPMENT	G2060.20.016	Vehicular Gate	Vehicular swing gate has major damage or missing portions.	Replace double vehicular swing gate.	1	EA	\$3,950	\$10,120	3
142	G2060 - SITE DEVELOPMENT	G2060.20.020	Fencing	Chain link fencing is showing signs of wear.	Replace entire fence, including mesh, posts, and concrete bases.	200	LF	\$2,470	\$6,330	3
385	D3060 - VENTILATION	D3060.30.030	Pump House	Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$12,900	4
138	B2010 - EXTERIOR WALLS	B2010.10.001	Exterior	Plywood siding is approaching the end of its useful life.	Remove and replace the existing plywood siding with new plywood siding. Prime and paint.	200	SF	\$1,380	\$3,840	5
137	B3010 - ROOFING	B3010.10.002	Roof	Metal roofing is at or approaching end of expected useful service life.	Remove and replace metal roofing.	150	SF	\$2,370	\$6,600	5
141	C1030 - INTERIOR DOORS	C1030.90.003	Exterior	Metal door and frames are showing signs of wear.	Repair and refinish the metal door and frames.	2	EA	\$690	\$1,920	5
382	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.012	Pump House	Water treatment system is at the end of its expected useful service life.	Provide equipment replacement and installation.	1	EA	\$14,800	\$42,710	6
386	D2060 - PROCESS SUPPORT PLUMBING SYSTEMS	D2060.10.001	Pump House	Air compressor is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6

**City of Rohnert Park  
Facility Condition Assessment**

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**Well 29**

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Record ID 137  
System B3010 - ROOFING

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. B3010.10.002  
Floor/Room: Roof / Roof  
**Priority:** 5  
Quantity/Unit of Measure: 150/SF  
Total Deficiency Cost: \$6,600  
Deficiency Description: *Metal roofing is at or approaching end of expected useful service life.*

Description of Work: *Remove and replace metal roofing.*

Comments:



Record ID 138  
System B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. B2010.10.001  
Floor/Room: 1 / Exterior  
**Priority:** 5  
Quantity/Unit of Measure: 200/SF  
Total Deficiency Cost: \$3,840  
Deficiency Description: *Plywood siding is approaching the end of its useful life.*

Description of Work: *Remove and replace the existing plywood siding with new plywood siding. Prime and paint.*

Comments:



Record ID 139  
System G2030 - PEDESTRIAN PLAZAS AND WALKWAYS

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. G2030.10.005  
Floor/Room: Site / Concrete Walkway  
**Priority:** 2  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$3,640  
Deficiency Description: *Concrete pavement has major damage / structural failure.*

Description of Work: *Replace concrete and base to match existing.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Well 29**

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Record ID 140  
System B2050 - EXTERIOR DOORS AND GRILLES  
  
Year Installed / Industry Life / Remaining Useful Life - / 15 / -  
Item No. B2050.20.001  
Floor/Room: 1 / Exterior  
**Priority:** 3  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$12,300  
Deficiency Description: *The exterior door is showing signs of wear.*

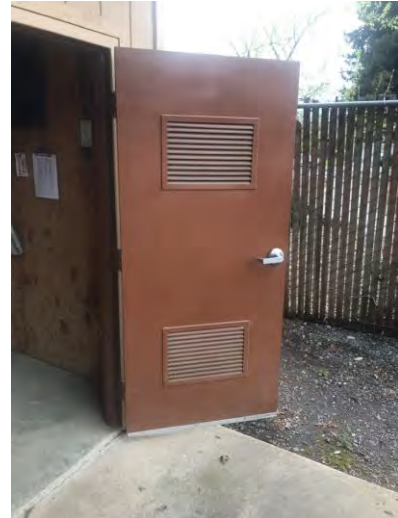


Description of Work: *Replace metal door.*

Comments:

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Record ID 141  
System C1030 - INTERIOR DOORS  
  
Year Installed / Industry Life / Remaining Useful Life - / 60 / -  
Item No. C1030.90.003  
Floor/Room: 1 / Exterior  
**Priority:** 5  
Quantity/Unit of Measure: 2/EA  
Total Deficiency Cost: \$1,920  
Deficiency Description: *Metal door and frames are showing signs of wear.*



Description of Work: *Repair and refinish the metal door and frames.*

Comments:

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Record ID 142  
System G2060 - SITE DEVELOPMENT  
  
Year Installed / Industry Life / Remaining Useful Life - / - / -  
Item No. G2060.20.020  
Floor/Room: Site / Fencing  
**Priority:** 3  
Quantity/Unit of Measure: 200/LF  
Total Deficiency Cost: \$6,330  
Deficiency Description: *Chain link fencing is showing signs of wear.*



Description of Work: *Replace entire fence, including mesh, posts, and concrete bases.*

Comments:

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**City of Rohnert Park  
Facility Condition Assessment**

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**Well 29**

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Record ID 143  
System G2060 - SITE DEVELOPMENT

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. G2060.20.016  
Floor/Room: Site / Vehicular Gate

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$10,120  
Deficiency Description: *Vehicular swing gate has major damage or missing portions.*



Description of Work: *Replace double vehicular swing gate.*

Comments:

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Record ID 382  
System D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. D2010.20.012  
Floor/Room: 1 / Pump House

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$42,710  
Deficiency Description: *Water treatment system is at the end of its expected useful service life.*



Description of Work: *Provide equipment replacement and installation.*

Comments:

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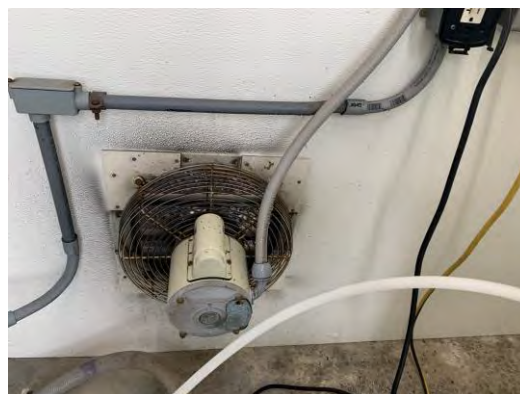
Record ID 383  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D3060.30.030  
Floor/Room: 1 / Pump House

**Priority:** 3

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$12,370  
Deficiency Description: *Sidewall propeller fan is approaching the end of its expected useful life.*



Description of Work: *Provide equipment replacement and installation.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Well 29

Record ID 385  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D3060.30.030

Floor/Room: 1 / Pump House

Priority: 4

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$12,900

Deficiency Description: *Sidewall propeller fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 386  
System D2060 - PROCESS SUPPORT PLUMBING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 25 / -

Item No. D2060.10.001

Floor/Room: 1 / Pump House

Priority: 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$19,810

Deficiency Description: *Air compressor is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

Well 31

<b>Capital Renewal Cost:</b>	<b>\$35,850</b>	FCI:	<b>0.233</b>
Replacement Cost:	<b>\$154,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,534</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
D2060	PROCESS SUPPORT PLUMBING SYSTEMS	<b>\$14,890</b>	-	-	-	-	-	\$19,810
D3060	VENTILATION	<b>\$20,960</b>	-	\$11,850	-	-	-	\$13,940
<b>TOTALS</b>		<b>\$35,850</b>	-	<b>\$11,850</b>	-	-	-	<b>\$33,750</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$35,850</b>	<b>\$45,600</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

Well 31

**DEFICIENCY TABLE**

*(1) Deficiency Cost = Qty x Unit Cost*

*(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)*

*General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds*

*City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location*

*Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.*

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
388	D3060 - VENTILATION	D3060.30.030	Pump House	Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$11,850	2
390	D2060 - PROCESS SUPPORT PLUMBING SYSTEMS	D2060.10.001	Pump House	Air compressor is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6
391	D3060 - VENTILATION	D3060.30.030	Pump House	Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$13,940	6

**City of Rohnert Park  
Facility Condition Assessment**

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**Well 31**

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Record ID 388  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D3060.30.030  
Floor/Room: 1 / Pump House

**Priority:** 2

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$11,850  
Deficiency Description: *Sidewall propeller fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 390  
System D2060 - PROCESS SUPPORT PLUMBING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 25 / -

Item No. D2060.10.001  
Floor/Room: 1 / Pump House

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$19,810  
Deficiency Description: *Air compressor is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 391  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D3060.30.030  
Floor/Room: 1 / Pump House

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$13,940  
Deficiency Description: *Sidewall propeller fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

Well 34

**Capital Renewal Cost: \$84,480**

FCI: **0.549**

Replacement Cost: **\$154,000**

Condition Score: **D**

Replacement Cost/SF: **\$1,534**

Condition Rating: **CRITICAL**

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$90	-	\$110	-	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$32,110	\$34,680	-	-	-	-	-
D2060	PROCESS SUPPORT PLUMBING SYSTEMS	\$14,890	-	-	-	-	-	\$19,810
D3060	VENTILATION	\$20,960	-	\$11,850	-	-	\$13,420	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$16,430	\$17,750	-	-	-	-	-
<b>TOTALS</b>		<b>\$84,480</b>	<b>\$52,430</b>	<b>\$11,960</b>	<b>-</b>	<b>-</b>	<b>\$13,420</b>	<b>\$19,810</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$84,480</b>	<b>\$97,620</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

Well 34

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
307	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.012	Pump House	Water treatment system is missing from building.	Provide equipment replacement and installation.	1	EA	\$14,800	\$34,680	1
303	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.302	Pump House	The metered main switchboard is past its expected useful life.	Replace the existing metered main switchboard with a new metered main switchboard.	1	EA	\$7,570	\$17,750	1
61	B2010 - EXTERIOR WALLS	B2010.10.001	Exterior	Plywood siding is approaching the end of its useful life.	Remove and replace the existing plywood siding with new plywood siding. Prime and paint.	5	SF	\$40	\$110	2
306	D3060 - VENTILATION	D3060.30.030	Pump House	Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$11,850	2
305	D3060 - VENTILATION	D3060.30.030	Pump House	Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$13,420	5
304	D2060 - PROCESS SUPPORT PLUMBING SYSTEMS	D2060.10.001	Pump House	Air compressor is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6

**City of Rohnert Park  
Facility Condition Assessment**

**Well 34**

Record ID: 61  
 System: B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: B2010.10.001

Floor/Room: 1 / Exterior

Priority: 2

Quantity/Unit of Measure: 5/SF

Total Deficiency Cost: \$110

Deficiency Description: *Plywood siding is approaching the end of its useful life.*

Description of Work: *Remove and replace the existing plywood siding with new plywood siding. Prime and paint.*

Comments:



Record ID: 303  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1990 / 20 / -12

Item No.: D5020.10.302

Floor/Room: 1 / Pump House

Priority: 1

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$17,750

Deficiency Description: *The metered main switchboard is past its expected useful life.*

Description of Work: *Replace the existing metered main switchboard with a new metered main switchboard.*

Comments: *Age is estimated.*



Record ID: 304  
 System: D2060 - PROCESS SUPPORT PLUMBING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life: - / 25 / -

Item No.: D2060.10.001

Floor/Room: 1 / Pump House

Priority: 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$19,810

Deficiency Description: *Air compressor is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Well 34**

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Record ID 305  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D3060.30.030

Floor/Room: 1 / Pump House

**Priority:** 5

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$13,420

Deficiency Description: *Sidewall propeller fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 306  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D3060.30.030

Floor/Room: 1 / Pump House

**Priority:** 2

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$11,850

Deficiency Description: *Sidewall propeller fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 307  
System D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. D2010.20.012

Floor/Room: 1 / Pump House

**Priority:** 1

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$34,680

Deficiency Description: *Water treatment system is missing from building.*

Description of Work: *Provide equipment replacement and installation.*

Comments:





**City of Rohnert Park  
Facility Condition Assessment**

**Well 35-Pump Station 3**

<b>Capital Renewal Cost:</b>	<b>\$155,900</b>	FCI:	<b>0.221</b>
Replacement Cost:	<b>\$705,000</b>	Condition Score:	<b>C</b>
Replacement Cost/SF:	<b>\$1,247</b>	Condition Rating:	<b>POOR</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Unifomat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2050	EXTERIOR DOORS AND GRILLES	<b>\$3,580</b>	-	\$4,050	-	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	<b>\$32,110</b>	-	-	-	-	-	\$42,710
D2060	PROCESS SUPPORT PLUMBING SYSTEMS	<b>\$14,890</b>	-	-	-	-	-	\$19,810
D5010	FACILITY POWER GENERATION	<b>\$88,890</b>	-	-	-	-	-	\$118,230
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	<b>\$16,430</b>	\$17,750	-	-	-	-	-
<b>TOTALS</b>		<b>\$155,900</b>	<b>\$17,750</b>	<b>\$4,050</b>	-	-	-	<b>\$180,750</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$155,900</b>	<b>\$202,550</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

**Well 35-Pump Station 3**

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
301	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.302	Pump House	The 400A metered main switchboard is past its expected useful life.	Replace the existing metered main switchboard with a new metered main switchboard.	1	EA	\$7,570	\$17,750	1
298	B2050 - EXTERIOR DOORS AND GRILLES	B2050.20.002	Exterior	Metal door is damaged or deteriorated.	Repair door and repaint.	1	EA	\$1,650	\$4,050	2
299	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.012	Pump House	Water treatment system is at the end of its expected useful service life.	Provide equipment replacement and installation.	1	EA	\$14,800	\$42,710	6
300	D2060 - PROCESS SUPPORT PLUMBING SYSTEMS	D2060.10.001	Pump House	Air compressor is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6
54	D5010 - FACILITY POWER GENERATION	D5010.10.002		The 60kW Diesel engine (including battery, charger, muffler, day tank) is at or is approaching end of its expected useful life.	Replace the existing generator with an appropriately sized new generator.	1	EA	\$40,970	\$118,230	6

**City of Rohnert Park  
Facility Condition Assessment**

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**Well 35-Pump Station 3**

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Record ID 54  
System D5010 - FACILITY POWER GENERATION

Year Installed / Industry Life / Remaining Useful Life 2006 / 25 / 9

Item No. D5010.10.002

Floor/Room:

**Priority: 7**

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$118,230  
Deficiency Description: *The 60kW Diesel engine (including battery, charger, muffler, day tank) is at or is approaching end of its expected useful life.*

Description of Work: *Replace the existing generator with an appropriately sized new generator.*

Comments:



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Record ID 298  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. B2050.20.002

Floor/Room: 1 / Exterior

**Priority: 2**

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$4,050  
Deficiency Description: *Metal door is damaged or deteriorated.*

Description of Work: *Repair door and repaint.*

Comments:



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Record ID 299  
System D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. D2010.20.012

Floor/Room: 1 / Pump House

**Priority: 7**

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$42,710  
Deficiency Description: *Water treatment system is at the end of its expected useful service life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Well 35-Pump Station 3

Record ID: 300  
System: D2060 - PROCESS SUPPORT PLUMBING SYSTEMS  
Year Installed / Industry Life / Remaining Useful Life: - / 25 / -  
Item No.: D2060.10.001  
Floor/Room: 1 / Pump House  
**Priority:** 7  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$19,810  
Deficiency Description: *Air compressor is approaching the end of its expected useful life.*  
  
Description of Work: *Provide equipment replacement and installation.*  
  
Comments:



Record ID: 301  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1990 / 20 / -12  
Item No.: D5020.10.302  
Floor/Room: 1 / Pump House  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$17,750  
Deficiency Description: *The 400A metered main switchboard is past its expected useful life.*  
  
Description of Work: *Replace the existing metered main switchboard with a new metered main switchboard.*  
  
Comments: *Age is estimated.*



**City of Rohnert Park  
Facility Condition Assessment**

Well 41

**Capital Renewal Cost: \$101,110**

FCI: **0.657**

Replacement Cost: **\$154,000**

Condition Score: **D**

Replacement Cost/SF: **\$1,534**

Condition Rating: **CRITICAL**

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2050	EXTERIOR DOORS AND GRILLES	\$10,420	-	\$11,780	-	-	-	-
B3010	ROOFING	\$7,240	-	-	\$2,470	\$6,340	-	-
C2010	WALL FINISHES	\$5,950	-	-	\$7,030	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$32,110	-	-	-	-	-	\$42,710
D2060	PROCESS SUPPORT PLUMBING SYSTEMS	\$14,890	-	-	-	-	\$19,060	-
D3060	VENTILATION	\$10,480	-	-	-	-	\$13,420	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$19,750	\$21,340	-	-	-	-	-
G2020	PARKING LOTS	\$270	-	-	\$320	-	-	-
<b>TOTALS</b>		<b>\$101,110</b>	<b>\$21,340</b>	<b>\$11,780</b>	<b>\$9,820</b>	<b>\$6,340</b>	<b>\$32,480</b>	<b>\$42,710</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$101,110</b>	<b>\$124,470</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

Well 41

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
424	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.311	Pump House	The 800A metered main switchboard is past its expected useful life.	Replace the existing metered main switchboard with a new metered main switchboard.	1	EA	\$9,100	\$21,340	1
183	B2050 - EXTERIOR DOORS AND GRILLES	B2050.20.001	Exterior	The exterior door is approaching the end of its useful life.	Replace the door.	1	EA	\$4,800	\$11,780	2
186	B3010 - ROOFING	B3010.90.009	Exterior	Wood fascia and trim are chipped and have peeling paint.	Clean, repair, and paint the trim and/or fascia.	25	LF	\$960	\$2,470	3
180	C2010 - WALL FINISHES	C2010.20.002	Exterior	The existing veneer plywood is damaged or worn.	Clean, prepare, and paint the plywood paneling.	800	SF	\$2,740	\$7,030	3
184	G2020 - PARKING LOTS	G2020.10.013	Pavement	Pervious concrete surface is clogged.	Power wash surface to remove debris.	200	SF	\$120	\$320	3
179	B3010 - ROOFING	B3010.10.002	Roof	Metal roofing is at or approaching end of expected useful service life.	Remove and replace metal roofing.	150	SF	\$2,370	\$6,340	4
423	D2060 - PROCESS SUPPORT PLUMBING SYSTEMS	D2060.10.001	Pump House	Air compressor is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,060	5
422	D3060 - VENTILATION	D3060.30.030		Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$13,420	5
182	D5040 - LIGHTING	D5040.50.302	Exterior	The exterior light fixture is past its expected useful life.	Replace the existing light fixture with an LED lighting fixture.	1	EA	-	-	7
420	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.012	Pump House	Water treatment system is at the end of its expected useful service life.	Provide equipment replacement and installation.	1	EA	\$14,800	\$42,710	6

**City of Rohnert Park  
Facility Condition Assessment**

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**Well 41**

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Record ID 179  
System B3010 - ROOFING

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. B3010.10.002  
Floor/Room: Roof / Roof  
**Priority: 4**  
Quantity/Unit of Measure: 150/SF  
Total Deficiency Cost: \$6,340  
Deficiency Description: *Metal roofing is at or approaching end of expected useful service life.*

Description of Work: *Remove and replace metal roofing.*

Comments:



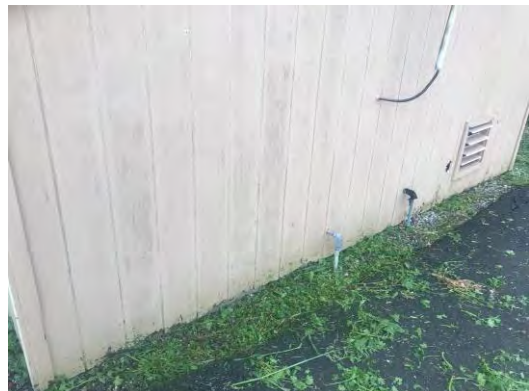
Record ID 180  
System C2010 - WALL FINISHES

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. C2010.20.002  
Floor/Room: 1 / Exterior  
**Priority: 3**  
Quantity/Unit of Measure: 800/SF  
Total Deficiency Cost: \$7,030  
Deficiency Description: *The existing veneer plywood is damaged or worn.*

Description of Work: *Clean, prepare, and paint the plywood paneling.*

Comments:



Record ID 182  
System D5040 - LIGHTING

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D5040.50.302  
Floor/Room: 1 / Exterior  
**Priority: 6**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: N/A - See Executive Summary  
Deficiency Description: *The exterior light fixture is past its expected useful life.*

Description of Work: *Replace the existing light fixture with an LED lighting fixture.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Well 41

Record ID 183  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / 15 / -

Item No. B2050.20.001

Floor/Room: 1 / Exterior

Priority: 2

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$11,780

Deficiency Description: *The exterior door is approaching the end of its useful life.*

Description of Work: *Replace the door.*

Comments:



Record ID 184  
System G2020 - PARKING LOTS

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. G2020.10.013

Floor/Room: Site / Pavement

Priority: 3

Quantity/Unit of Measure: 200/SF

Total Deficiency Cost: \$320

Deficiency Description: *Pervious concrete surface is clogged.*

Description of Work: *Power wash surface to remove debris.*

Comments:



Record ID 186  
System B3010 - ROOFING

Year Installed / Industry Life / Remaining Useful Life - / 40 / -

Item No. B3010.90.009

Floor/Room: Roof / Exterior

Priority: 3

Quantity/Unit of Measure: 25/LF

Total Deficiency Cost: \$2,470

Deficiency Description: *Wood fascia and trim are chipped and have peeling paint.*

Description of Work: *Clean, repair, and paint the trim and/or fascia.*

Comments:





# City of Rohnert Park Facility Condition Assessment

## Well 41

Record ID 420  
System D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. D2010.20.012

Floor/Room: 1 / Pump House

Priority: 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$42,710

Deficiency Description: *Water treatment system is at the end of its expected useful service life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 422  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D3060.30.030

Floor/Room:

Priority: 5

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$13,420

Deficiency Description: *Sidewall propeller fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 423  
System D2060 - PROCESS SUPPORT PLUMBING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 25 / -

Item No. D2060.10.001

Floor/Room: 1 / Pump House

Priority: 5

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$19,060

Deficiency Description: *Air compressor is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Well 41**

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Record ID: 424  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1990 / 20 / -12  
Item No.: D5020.10.311  
Floor/Room: 1 / Pump House  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$21,340  
Deficiency Description: *The 800A metered main switchboard is past its expected useful life.*

Description of Work: *Replace the existing metered main switchboard with a new metered main switchboard.*

Comments: *Age is estimated.*



**City of Rohnert Park  
Facility Condition Assessment**

Well 42

**Capital Renewal Cost: \$135,860**

FCI: **0.354**

Replacement Cost: **\$384,000**

Condition Score: **D**

Replacement Cost/SF: **\$1,534**

Condition Rating: **CRITICAL**

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Unifomat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	\$8,940	-	-	\$10,550	-	-	-
B2050	EXTERIOR DOORS AND GRILLES	\$140	-	-	\$180	-	-	-
B3010	ROOFING	\$13,390	-	-	\$15,810	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	\$32,110	-	-	-	-	-	\$42,710
D2060	PROCESS SUPPORT PLUMBING SYSTEMS	\$14,890	-	-	-	-	-	\$19,810
D3060	VENTILATION	\$20,960	-	\$11,850	-	-	\$13,420	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	\$45,430	-	-	-	-	-	\$60,440
<b>TOTALS</b>		<b>\$135,860</b>	<b>-</b>	<b>\$11,850</b>	<b>\$26,540</b>	<b>-</b>	<b>\$13,420</b>	<b>\$122,960</b>
<b>TOTAL (Priority 1-6 without escalation)</b>		<b>\$135,860</b>	<b>\$174,770</b>					
			<b>TOTAL (Priority 1-6 with escalation)</b>					

**City of Rohnert Park  
Facility Condition Assessment**

Well 42

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
407	D3060 - VENTILATION	D3060.30.030	Pump House	Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$11,850	2
160	B2010 - EXTERIOR WALLS	B2010.20.004	Exterior	Concrete masonry units exterior walls are damaged and in need of repair.	Repair concrete masonry units exterior walls and repaint.	100	SF	\$4,120	\$10,550	3
162	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.008	Exterior	Exterior aluminum door is damaged or deteriorating.	Refurbish/repair aluminum door.	1	EA	\$30	\$90	3
161	B2050 - EXTERIOR DOORS AND GRILLES	B2050.10.008	Exterior	Exterior aluminum door is damaged or deteriorating.	Refurbish/repair aluminum door.	1	EA	\$30	\$90	3
159	B3010 - ROOFING	B3010.10.001	Roof	Asphalt composition roof is in fair to poor condition with evidence of ponding, blisters & leaks.	Remove and replace asphalt composition shingle roofing.	300	SF	\$6,170	\$15,810	3
402	D3060 - VENTILATION	D3060.30.030	Pump House	Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$13,420	5
408	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.012	Pump House	Water treatment system is at the end of its expected useful service life.	Provide equipment replacement and installation.	1	EA	\$14,800	\$42,710	6
401	D2060 - PROCESS SUPPORT PLUMBING SYSTEMS	D2060.10.001	Pump House	Air compressor is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$6,860	\$19,810	6
409	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.001	Pump House	The all-in-one combination service entrance device is past its expected useful life.	Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.	1	EA	\$3,510	\$10,140	6
405	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.10.214	1	The 15kVA transformer is past its expected useful life.	Replace the existing transformer with a new transformer.	1	EA	\$4,140	\$11,960	6
404	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.1012	Pump House	The 225A panelboard is past its expected useful life.	Replace the existing panelboard with a new panelboard.	1	EA	\$11,190	\$32,300	6
403	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001	Pump House	The load center is past its expected useful life.	Replace the existing load center with a new load center.	1	EA	\$2,090	\$6,040	6

**City of Rohnert Park  
Facility Condition Assessment**

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**Well 42**

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Record ID 159  
System B3010 - ROOFING

Year Installed / Industry Life / Remaining Useful Life - / 30 / -

Item No. B3010.10.001  
Floor/Room: Roof / Roof  
**Priority: 3**  
Quantity/Unit of Measure: 300/SF  
Total Deficiency Cost: \$15,810  
Deficiency Description: *Asphalt composition roof is in fair to poor condition with evidence of ponding, blisters & leaks.*

Description of Work: *Remove and replace asphalt composition shingle roofing.*

Comments:



Record ID 160  
System B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. B2010.20.004  
Floor/Room: 1 / Exterior  
**Priority: 3**  
Quantity/Unit of Measure: 100/SF  
Total Deficiency Cost: \$10,550  
Deficiency Description: *Concrete masonry units exterior walls are damaged and in need of repair.*

Description of Work: *Repair concrete masonry units exterior walls and repaint.*

Comments:



Record ID 161  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. B2050.10.008  
Floor/Room: 1 / Exterior  
**Priority: 3**  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$90  
Deficiency Description: *Exterior aluminum door is damaged or deteriorating.*

Description of Work: *Refurbish/repair aluminum door.*

Comments:



# City of Rohnert Park Facility Condition Assessment

## Well 42

Record ID 162  
System B2050 - EXTERIOR DOORS AND GRILLES

Year Installed / Industry Life / Remaining Useful Life - / - / -

Item No. B2050.10.008

Floor/Room: 1 / Exterior

Priority: 3

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$90

Deficiency Description: *Exterior aluminum door is damaged or deteriorating.*

Description of Work: *Refurbish/repair aluminum door.*

Comments:



Record ID 401  
System D2060 - PROCESS SUPPORT PLUMBING SYSTEMS

Year Installed / Industry Life / Remaining Useful Life - / 25 / -

Item No. D2060.10.001

Floor/Room: 1 / Pump House

Priority: 7

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$19,810

Deficiency Description: *Air compressor is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 402  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D3060.30.030

Floor/Room: 1 / Pump House

Priority: 5

Quantity/Unit of Measure: 1/EA

Total Deficiency Cost: \$13,420

Deficiency Description: *Sidewall propeller fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

**Well 42**

Record ID: 403  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1999 / 30 / 7  
 Item No.: D5020.30.4001  
 Floor/Room: 1 / Pump House  
**Priority:** 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$6,040  
 Deficiency Description: *The load center is past its expected useful life.*

Description of Work: *Replace the existing load center with a new load center.*

Comments:



Record ID: 404  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1999 / 30 / 7  
 Item No.: D5020.30.1012  
 Floor/Room: 1 / Pump House  
**Priority:** 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$32,300  
 Deficiency Description: *The 225A panelboard is past its expected useful life.*

Description of Work: *Replace the existing panelboard with a new panelboard.*

Comments:



Record ID: 405  
 System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
 Year Installed / Industry Life / Remaining Useful Life: 1999 / 30 / 7  
 Item No.: D5020.10.214  
 Floor/Room: 1  
**Priority:** 7  
 Quantity/Unit of Measure: 1/EA  
 Total Deficiency Cost: \$11,960  
 Deficiency Description: *The 15kVA transformer is past its expected useful life.*

Description of Work: *Replace the existing transformer with a new transformer.*

Comments: *Age is estimated.*



# City of Rohnert Park Facility Condition Assessment

## Well 42

Record ID: 407  
System: D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life: - / 20 / -

Item No.: D3060.30.030  
Floor/Room: 1 / Pump House

**Priority:** 2

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$11,850

Deficiency Description: *Sidewall propeller fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 408  
System: D2010 - DOMESTIC WATER DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: - / 30 / -

Item No.: D2010.20.012  
Floor/Room: 1 / Pump House

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$42,710

Deficiency Description: *Water treatment system is at the end of its expected useful service life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID: 409  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION

Year Installed / Industry Life / Remaining Useful Life: 1999 / 30 / 7

Item No.: D5020.10.001  
Floor/Room: 1 / Pump House

**Priority:** 7

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$10,140

Deficiency Description: *The all-in-one combination service entrance device is past its expected useful life.*

Description of Work: *Replace the existing all-in-one combination service entrance device with a new all-in-one combination service entrance device.*

Comments:





**City of Rohnert Park  
Facility Condition Assessment**

Well 5

<b>Capital Renewal Cost:</b>	<b>\$53,100</b>	FCI:	<b>0.345</b>
Replacement Cost:	<b>\$154,000</b>	Condition Score:	<b>D</b>
Replacement Cost/SF:	<b>\$1,534</b>	Condition Rating:	<b>CRITICAL</b>

**CIP DEFICIENCY COST SUMMARY**

Construction Increase - Cumulative Escalation

			8%	13%	18%	23%	28%	33%
<b>Uniformat Code</b>	<b>Building System Class</b>	<b>Current Costs</b>	<b>Priority 1 0-12 Months</b>	<b>Priority 2 1-2 Years</b>	<b>Priority 3 2-3 Years</b>	<b>Priority 4 3-4 Years</b>	<b>Priority 5 4-5 Years</b>	<b>Priority 6 6-10 Years</b>
B2010	EXTERIOR WALLS	<b>\$5,970</b>	-	\$1,700	\$5,280	-	-	-
D2010	DOMESTIC WATER DISTRIBUTION	<b>\$32,110</b>	-	-	-	-	-	\$42,710
D3060	VENTILATION	<b>\$10,480</b>	-	-	-	\$12,900	-	-
D5020	ELECTRICAL SERVICE AND DISTRIBUTION	<b>\$4,540</b>	\$4,910	-	-	-	-	-
<b>TOTALS</b>		<b>\$53,100</b>	<b>\$4,910</b>	<b>\$1,700</b>	<b>\$5,280</b>	<b>\$12,900</b>	<b>-</b>	<b>\$42,710</b>
TOTAL (Priority 1-6 without escalation)		<b>\$53,100</b>	<b>\$67,500</b>					
			TOTAL (Priority 1-6 with escalation)					

**City of Rohnert Park  
Facility Condition Assessment**

Well 5

**DEFICIENCY TABLE**

(1) Deficiency Cost = Qty x Unit Cost

(2) Total Deficiency Cost = (Deficiency Cost) x (General Construction Factor) x (City Cost Index) x (Non Construction Cost) x (Escalation)

General Construction Factor [1.4] = Estimating Contingency, General Conditions, Overhead and Profit, Insurance and Bonds

City Cost Index [1.192] = A Compensation for Cost Variation per Geographical Location

Non Construction Cost [1.3] = Includes Architect/Engineer Fees, Construction Management, Client Administration, Permits, Testing, etc.

Record ID	System	Item No.	Location	Deficiency Description	Description of Work	Qty	Unit	Deficiency Cost (1)	Total Deficiency Cost (2)	Priority
320	D5020 - ELECTRICAL SERVICE AND DISTRIBUTION	D5020.30.4001		The load center is past its expected useful life.	Replace the existing load center with a new load center	1	EA	\$2,090	\$4,910	1
324	B2010 - EXTERIOR WALLS	B2010.20.005	Exterior	CMU walls are showing signs of wear.	Clean and repaint CMU walls.	200	SF	\$690	\$1,700	2
82	B2010 - EXTERIOR WALLS	B2010.20.005	Exterior	CMU walls are showing signs of wear.	Clean and repaint CMU walls.	600	SF	\$2,060	\$5,280	3
323	D3060 - VENTILATION	D3060.30.030		Sidewall propeller fan is approaching the end of its expected useful life.	Provide equipment replacement and installation.	1	EA	\$4,830	\$12,900	4
322	D2010 - DOMESTIC WATER DISTRIBUTION	D2010.20.012		Water treatment system is at the end of its expected useful service life.	Provide equipment replacement and installation.	1	EA	\$14,800	\$42,710	6

# City of Rohnert Park Facility Condition Assessment

## Well 5

Record ID: 82  
System: B2010 - EXTERIOR WALLS  
Year Installed / Industry Life / Remaining Useful Life: - / 50 / -  
Item No.: B2010.20.005  
Floor/Room: 1 / Exterior  
**Priority:** 3  
Quantity/Unit of Measure: 600/SF  
Total Deficiency Cost: \$5,280  
Deficiency Description: *CMU walls are showing signs of wear.*

Description of Work: *Clean and repaint CMU walls.*

Comments:



Record ID: 320  
System: D5020 - ELECTRICAL SERVICE AND DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: 1990 / 30 / -2  
Item No.: D5020.30.4001  
Floor/Room:  
**Priority:** 1  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$4,910  
Deficiency Description: *The load center is past its expected useful life.*

Description of Work: *Replace the existing load center with a new load center*

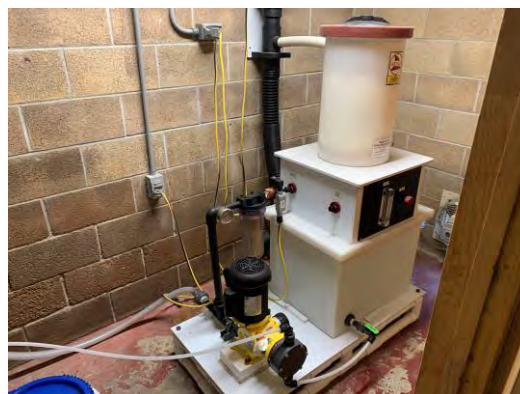
Comments: *Age is estimated.*



Record ID: 322  
System: D2010 - DOMESTIC WATER DISTRIBUTION  
Year Installed / Industry Life / Remaining Useful Life: - / 30 / -  
Item No.: D2010.20.012  
Floor/Room:  
**Priority:** 7  
Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$42,710  
Deficiency Description: *Water treatment system is at the end of its expected useful service life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



**City of Rohnert Park  
Facility Condition Assessment**

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**Well 5**

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Record ID 323  
System D3060 - VENTILATION

Year Installed / Industry Life / Remaining Useful Life - / 20 / -

Item No. D3060.30.030

Floor/Room:

**Priority:** 4

Quantity/Unit of Measure: 1/EA  
Total Deficiency Cost: \$12,900  
Deficiency Description: *Sidewall propeller fan is approaching the end of its expected useful life.*

Description of Work: *Provide equipment replacement and installation.*

Comments:



Record ID 324  
System B2010 - EXTERIOR WALLS

Year Installed / Industry Life / Remaining Useful Life - / 50 / -

Item No. B2010.20.005

Floor/Room: 1 / Exterior

**Priority:** 2

Quantity/Unit of Measure: 200/SF  
Total Deficiency Cost: \$1,700  
Deficiency Description: *CMU walls are showing signs of wear.*

Description of Work: *Clean and repaint CMU walls.*

Comments: *Deteriorating cmu from gas chlorine.*



# Copeland Bridge at Commerce Boulevard

## Detailed Report

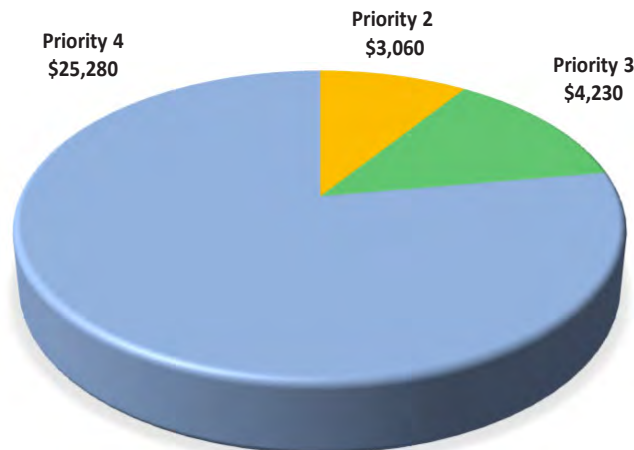
Address: 6700 Commerce Boulevard, Rohnert Park, CA 94928

### FCA Summary

Capital Renewal Cost: \$26,830  
 Replacement Cost: \$186,000  
 Replacement Cost/SF: \$387

Copeland Creek at Commerce Boulevard						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$0	\$3,060	\$4,230	\$25,280	\$0	\$0	\$32,570
0.00%	9.40%	12.99%	77.62%	0.00%	0.00%	100%

CAPITAL RENEWAL COSTS BY PRIORITY CHART





## Conditions Assessment Report Rohnert Park – Copeland Bridge @ Commerce Blvd.

---

6700 Commerce Blvd.  
Rohnert Park, CA 94928  
ZFA Project: 22148.01

July 1, 2022

*Prepared For:*

Andrew Pascual

Kitchell CEM

2450 Venture Oaks Way, Suite 500

Sacramento, CA 95833

*Prepared By:*

Evan Taylor, Designer

Kevin Zucco, Executive Principal

1212 fourth street  
suite z  
santa rosa ca 95404  
707 526 0992

6700 Commerce Blvd., Rohnert Park, CA 94928

## **INTRODUCTION**

A general conditions assessment structural review of the bridge at Copeland Creek crossing parallel to Commerce Blvd, Rohnert Park, CA (see Appendix B1: Location Map and Site Map) was performed as requested by the City of Rohnert Park Public Works Department as part of due diligence. One site visit was completed on March 28, 2022 to visually review the general condition of the structure; however, no destructive testing or removal of finishes was performed or included in scope. Non-structural elements such as Mechanical, Electrical, Plumbing, Equipment Anchorage or Architectural elements were not included within the scope of this review.

The following documents were provided for review:

- No original documents were provided for this bridge.
- Bridge plaque noting manufacturer Continental Bridge and load rating = 1,000lbs point load.

The bridge is approximately 6' x 64' steel frame with wood floorboards supported by concrete abutments. See Appendix B1: Location Map and Site Map.

## **STRUCTURE OVERVIEW**

### General Site Description

The bridge is located parallel to Commerce Blvd. where it crosses Copeland Creek in Rohnert Park, CA. The original structure was constructed between 1993 and 2005 as determined via google earth data.

### Structural System and Materials Description

#### *General*

The original structure is a steel frame bridge crossing Copeland Creek in the N-S direction parallel to Commerce Blvd., Rohnert Park. The bridge appears to have been prefabricated in one piece and placed on cast in place concrete abutments. The guardrails serve as trusses spanning between abutments each end for gravity loads. Guardrail vertical member spacing is 54" on center. Guardrail horizontal member spacing is 52" on center.

#### *Seismic Force-Resisting System*

The lateral (seismic and wind) force resisting system is a horizontal steel truss below the deck gravity framing. The horizontal truss spans to and is anchored to the abutments at each end.

#### *Foundations*

The foundation consists of a concrete abutment supporting each end of the bridge. The approximate dimensions are 8' x 30". The bridge structure anchored via (2) cast in place ¾" diameter anchor bolts each end each side through steel plates with expansion slots at one end of the bridge.

#### *Field Verification and Condition Assessment*

Based on the site visit, the structure does not exhibit immediate signs of danger or collapse. However, several conditions warrant maintenance or attention.

## **FINDINGS AND RECOMMENDATIONS**

The bridge was constructed under a previous building code and should not be expected to meet current code requirements. However, the structure likely meets life safety performance criteria. Overall bridge conditions are

6700 Commerce Blvd., Rohnert Park, CA 94928

satisfactory and show only minor deterioration through exposure and wear from regular use. **The overall FCI Grade A: Good.**

The following structural items were observed during the site visit (see Appendix B2: Images). Items are listed in order of exterior approximately from the top of structure down to the interior separated by level. See the Priority Glossary for each finding and recommendation.

### Bridge 1 Crossing Copeland Creek @ Commerce Blvd.:

#### Findings and Recommendations:

- a. BRIDGE DECK: ~10% of the deck boards show signs of splitting or rot. *See image 9.*  
RECOMMENDATION: Replace deteriorating deck board with preservative treated or exposure resistant species and regularly inspect and replace as needed.  
**PRIORITY: 2 Crucial – Short Term**
  
- b. BEARING PLATES AND ANCHOR BOLTS: In each corner, significant debris buildup was present covering the bearing plates and anchor bolts connecting the bridge to the concrete abutments, resulting in minor rusting occurring on anchoring hardware. *See image 10.*  
RECOMMENDATION: Keep area clear of debris through regular cleaning. Protect exposed steel with all-weather paint as needed.  
**PRIORITY: 3 Impending – Short Term**
  
- c. SURFACE RUSTING: All exposed steel on the structure shows signs of surface rusting. If left, will lead to more degradation over time including pitting and cracking, eventually compromising structural integrity. *See images 6, 7, 12, 14.*  
RECOMMENDATION: Regularly inspect and protect/maintain all exposed steel by removing rust and coating with all-weather paint as needed. Specific attention should be prioritized to welded or bolted connections.  
**PRIORITY: 4 Necessary – Long Term**

#### CLOSING

The structural review is based on that which was visible in the field and available original structural drawings. No attempt was made to uncover hidden conditions or perform any destructive or non-destructive testing. The items discussed in this report are subject to revision should more information become available. No structural analysis for loads or capacities was performed under the scope of this review.

We understand you may have questions regarding this evaluation and are available for comment and explanations. Please call with any questions you may have. Thank you for choosing ZFA Structural Engineers to assist you with this building condition assessment.

Kevin Zucco  
Executive Principal  
ZFA Structural Engineers

Evan Taylor  
Designer



6700 Commerce Blvd., Rohnert Park, CA 94928

ZFA Structural Engineers

# ***APPENDIX B1 – LOCATION MAP AND SITE MAP***

6700 Commerce Blvd., Rohnert Park, CA 94928



## ***APPENDIX B2 – IMAGES***



Image 1: West Elevation



Image 2: North Elevation



Image 3: East Elevation



Image 4: South Elevation



Image 5: Truss Typical Brace/Post Top Connection



Image 6: Truss Typical Brace/Post Bottom Connection

6700 Commerce Blvd., Rohnert Park, CA 94928



Image 7: Typical Handrail Member Weld



Image 8: Bridge End





Image 9: Cracked and Rotted Floorboard



Image 10: Typical Bearing Plate and Anchor Bolt

6700 Commerce Blvd., Rohnert Park, CA 94928



Image 11: Bearing Plate



Image 12: Gravity Purlin Connection

6700 Commerce Blvd., Rohnert Park, CA 94928



Image 13: Horizontal Truss at Underside of Bridge



Image 14: Horizontal Bracing under Gravity Framing



Image 15: Maximum Horizontal Member Spacing



Image 16: Memorial Plaque



Image 17: Bridge Capacity Plaque

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# Copeland Creek at City Hall

## Detailed Report

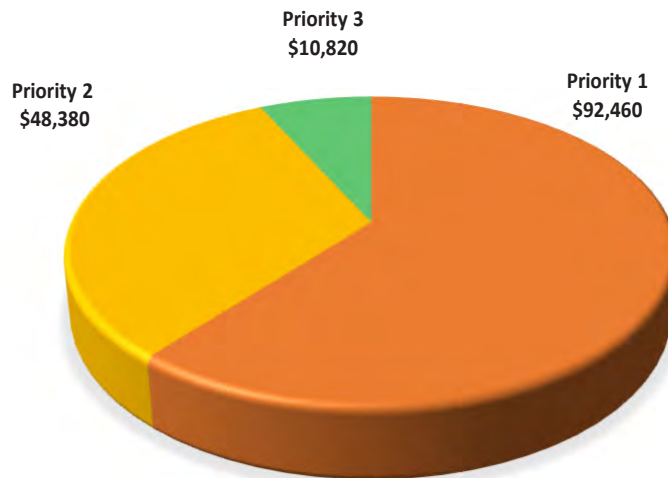
Address: 130 Avram Avenue, Rohnert Park, CA 94928

### FCA Summary

Capital Renewal Cost: \$137,580  
 Replacement Cost: \$186,000  
 Replacement Cost/SF: \$387

Copeland Creek at City Hall						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$92,460	\$48,380	\$10,820	\$0	\$0	\$0	\$151,660
60.97%	31.90%	7.13%	0.00%	0.00%	0.00%	100%

CAPITAL RENEWAL COSTS BY PRIORITY CHART





## Conditions Assessment Report Rohnert Park – Copeland Creek @ City Hall

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130 Avram Ave.  
Rohnert Park, CA 94928  
ZFA Project: 22148.01

July 1, 2022

*Prepared For:*

Andrew Pascual

Kitchell CEM

2450 Venture Oaks Way, Suite 500

Sacramento, CA 95833

*Prepared By:*

Evan Taylor, Designer

Kevin Zucco, Executive Principal

1212 fourth street  
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707 526 0992



130 Avram Ave., Rohnert Park, CA 94928

## **INTRODUCTION**

A general conditions assessment structural review of the bridge at Copeland Creek crossing near City Hall, Rohnert Park, CA (see Appendix B1: Location Map and Site Map) was performed as requested by the City of Rohnert Park Public Works Department as part of a city-wide property assessment effort. One site visit was completed on March 28, 2022 to visually review the general condition of the structure; however, no destructive testing or removal of finishes was performed or included in scope. Non-structural elements such as Mechanical, Electrical, Plumbing, Equipment Anchorage or Architectural elements were not included within the scope of this review.

The following documents were provided for review:

- Original Construction Drawings – Dated February 1977 by M. Hudis & Associates

The bridge is 6'x 86'and constructed of two main glue-laminated (glulam) beams over the span with flat wood decking and concrete abutments. See Appendix B1: Location Map and Site Map.

## **STRUCTURE OVERVIEW**

### General Site Description

The bridge is located near City Hall where it crosses Copeland Creek in Rohnert Park, CA. The original structure was constructed circa 1985.

### Structural System and Materials Description

#### *General*

The original structure is a 42" tall wood frame bridge crossing Copeland Creek in the N-S direction to the North of City Hall, Rohnert Park. The bridge is placed on cast in place concrete abutments and uses two pressure-treated glulam beams for gravity load. 4x4 handrail post vertical member spacing is 64" on center. 2x6 horizontal handrail/guardrails are connected to posts with 1/2" diameter bolts and are spaced at 20" on center with a chain link mesh with approximate 1-2" openings spanning between verticals and handrail/guardrails.

#### *Seismic Force-Resisting System*

The lateral (seismic and wind) force resisting system is straight sheathing decking and weak-axis bending in the glulam beams, which are anchored to the abutments and center support. The glulam beams are laterally braced at 18' intervals via tension rod "X" bracing.

#### *Foundations*

The foundation consists of a reinforced concrete abutment (approximately 20" wide x 16' long x unknown depth) supporting each end of the bridge via steel bracket and 1/2" diameter through bolts. The prefabricated steel brackets connecting the glulam beams are cast in place into concrete supports.

#### *Field Verification and Condition Assessment*

Based on the site visit, the structure does not exhibit immediate signs of danger or collapse. However, several conditions warrant maintenance or attention.

## **FINDINGS AND RECOMMENDATIONS**

130 Avram Ave., Rohnert Park, CA 94928

The bridge was constructed under a previous building code and should not be expected to meet current code requirements. However, the structure likely meets life safety performance criteria. Overall bridge conditions are satisfactory and show only minor deterioration through exposure and wear from regular use. **The overall FCI Grade B: Fair. – Facilities will begin to show more signs of wear. More frequent component failure will occur.**

The following structural items were observed during the site visit (see Appendix B2: Images). Items are listed in order of exterior approximately from the top of structure down to the interior separated by level. See the Priority Glossary for each finding and recommendation.

## Bridge 2 Crossing Copeland Creek @ City Hall:

### Findings and Recommendations:

- a. GUARDRAIL/HANDRAIL MEMBERS AND POSTS: Guardrail members and posts do not appear to meet well-established code criteria of 50 pounds per linear foot or a 200# point load. *See image5.*  
RECOMMENDATION: Redesign guardrail/handrail members and connections to meet current code and replace as needed with preservative treated or exposure resistant species. Provide positive mesh attachments at 12" on center maximum spacing at all supports.  
**PRIORITY: 1 Immediate – Short Term**
  
- b. BRIDGE GUARDRAIL: ~50% of the guardrail posts and horizontal members show signs of splitting, cracking, or rot. *See images 5, 7, 8, 11.*  
RECOMMENDATION: Replace deteriorating guardrail posts and horizontal members and regularly inspect and replace as needed.  
**PRIORITY: 2 Crucial – Short Term**
  
- c. GLULAM BEAMS: Verify wood preservative for the glulam beams  
RECOMMENDATION: As part of standard maintenance, continue regular inspections and retreat all exposed conditions with wood preservative every 5 years or per manufacturer's recommendations in accordance with AWPA standards C1 and C2.  
**PRIORITY: 3 Impending – Short Term**
  
- d. BEARING PLATES AND ANCHOR BOLTS: In each corner, significant debris buildup was present covering the bearing plates and anchor bolts connecting the bridge to the concrete abutments, resulting in minor rusting occurring on anchoring hardware. *See images 9, 10.*  
RECOMMENDATION: Keep area clear of debris through regular cleaning. Protect exposed steel with all-weather paint as needed.  
**PRIORITY: 3 Impending – Short Term**

## CLOSING

The structural review is based on that which was visible in the field and available original structural drawings. No attempt was made to uncover hidden conditions or perform any destructive or non-destructive testing. The items discussed in this report are subject to revision should more information become available. No structural analysis for loads or capacities was performed under the scope of this review.

130 Avram Ave., Rohnert Park, CA 94928

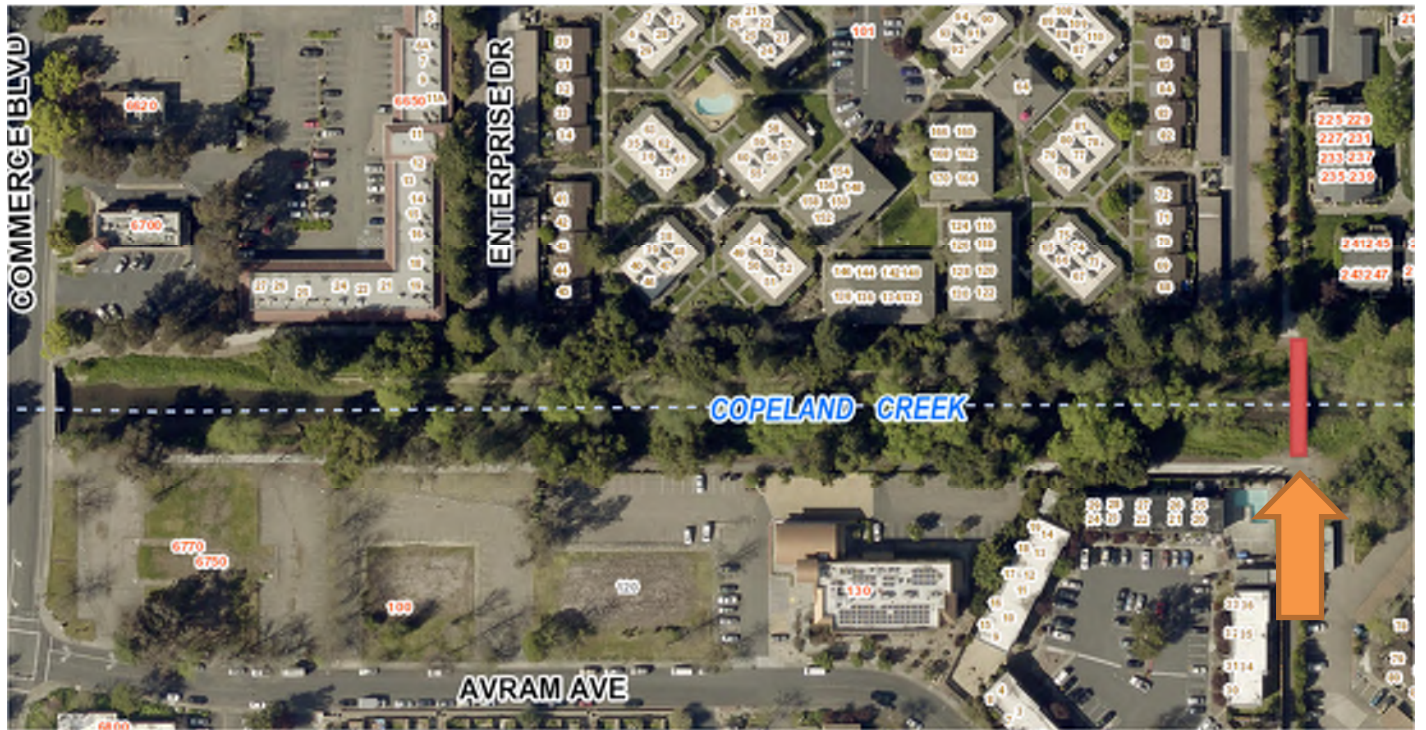
We understand you may have questions regarding this evaluation and are available for comment and explanations. Please call with any questions you may have. Thank you for choosing ZFA Structural Engineers to assist you with this building condition assessment.

Kevin Zucco  
Executive Principal  
ZFA Structural Engineers

Evan Taylor  
Designer  
ZFA Structural Engineers

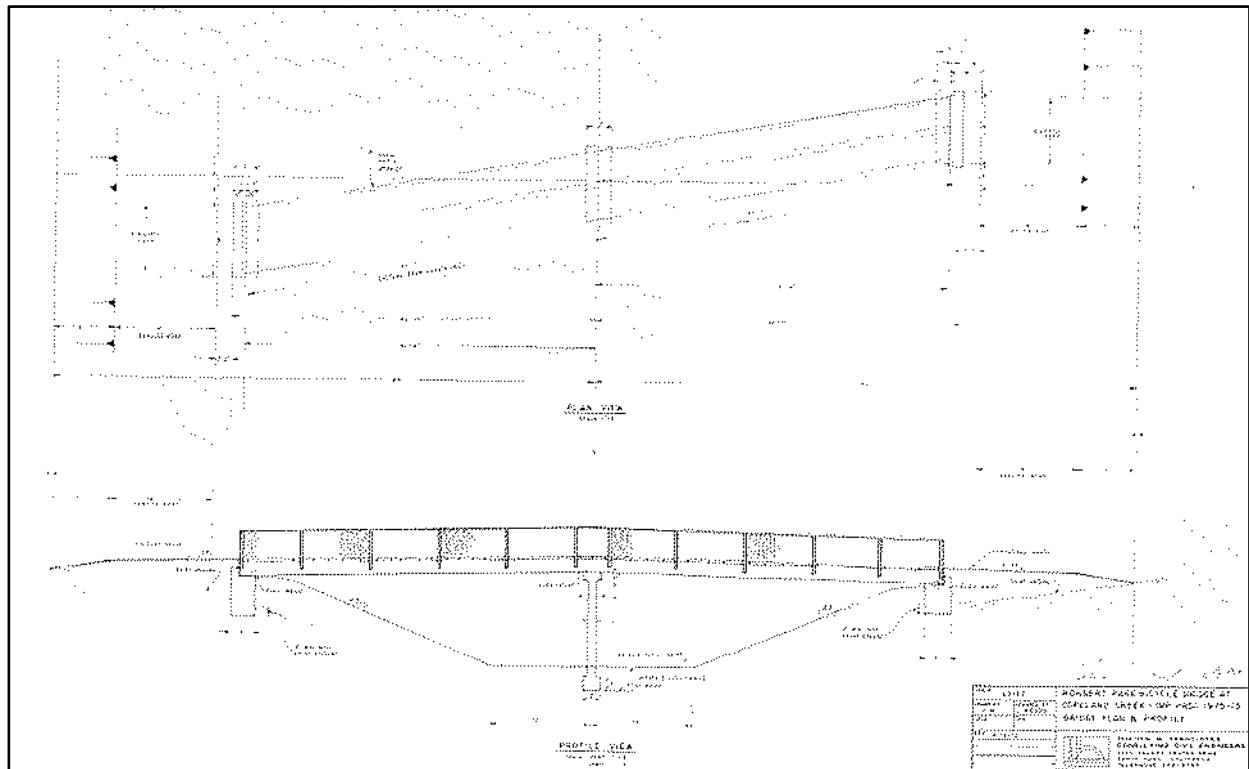
# ***APPENDIX B1 – LOCATION MAP AND SITE MAP***

130 Avram Ave., Rohnert Park, CA 94928

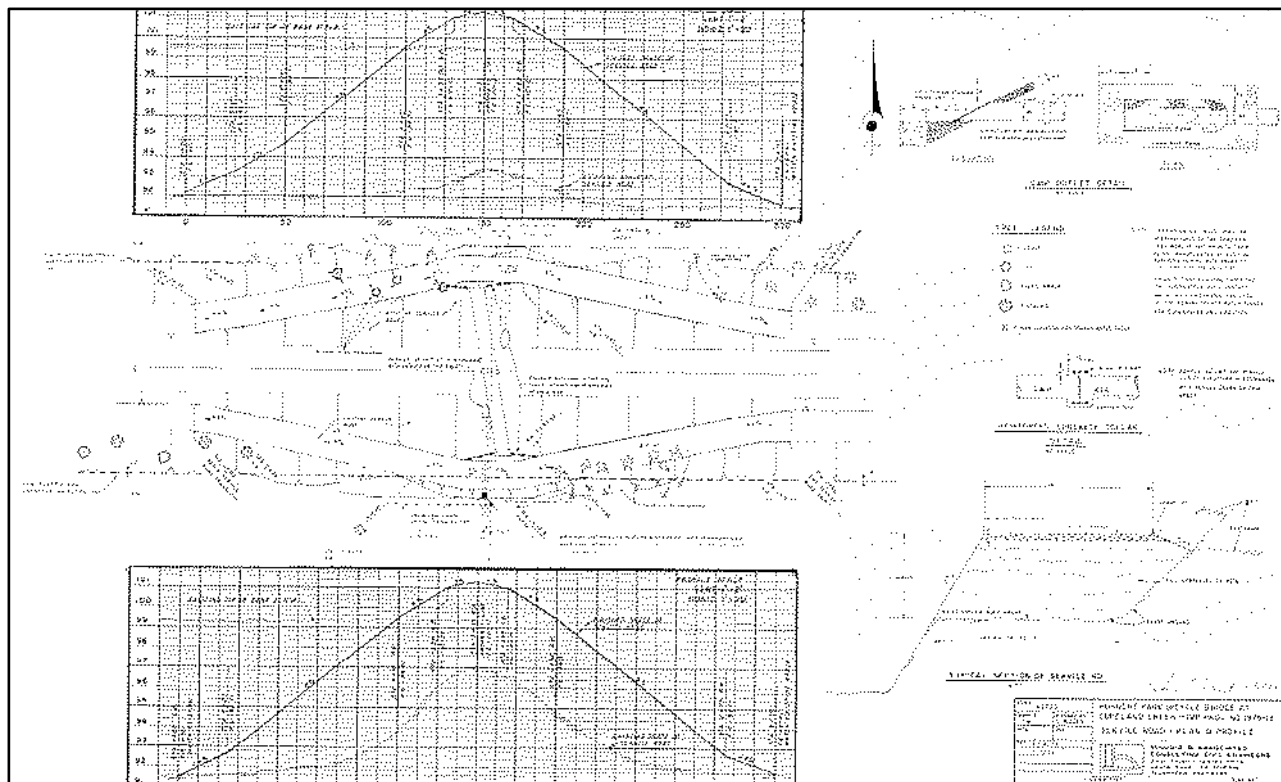


## ***APPENDIX B2 – IMAGES***

130 Avram Ave., Rohnert Park, CA 94928

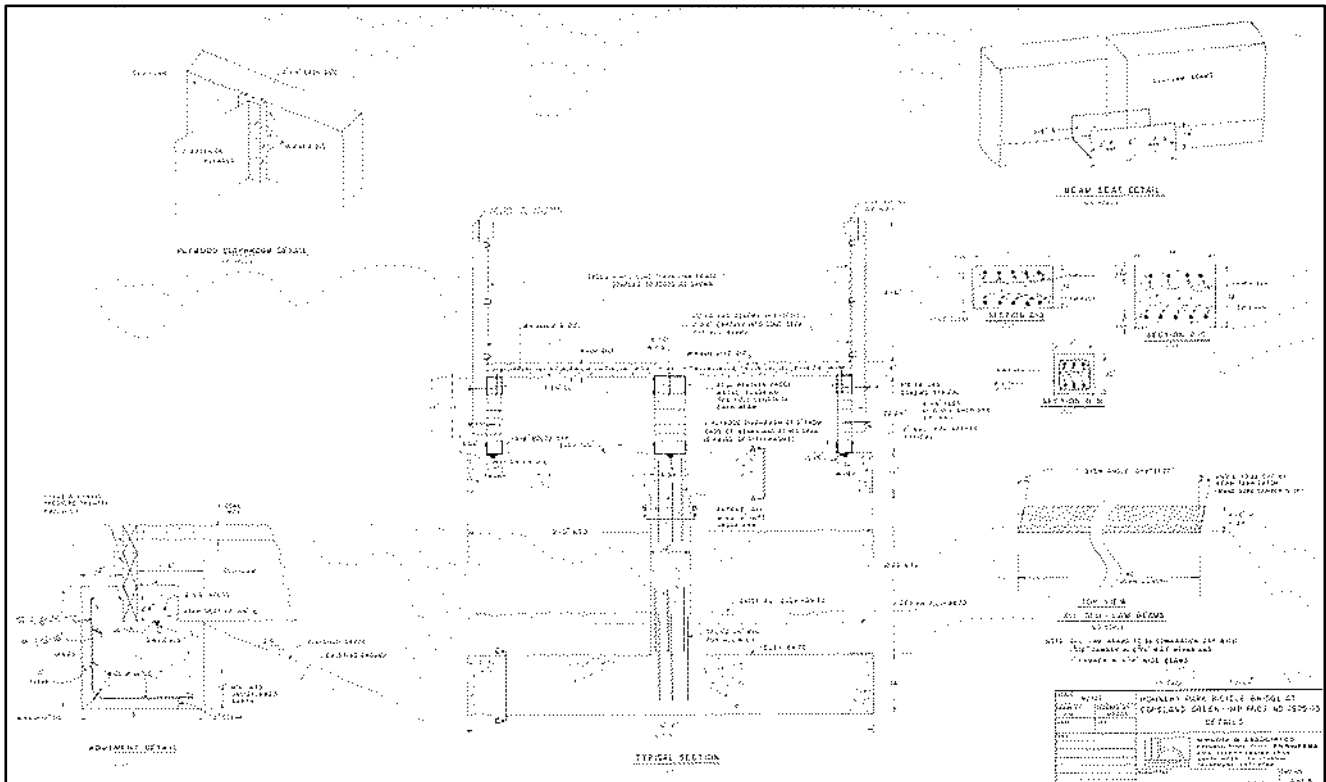


Plan and Elevation Views – Original Construction



Details – Original Construction

130 Avram Ave., Rohnert Park, CA 94928



Details – Original Construction





Image 1: West Elevation



Image 2: North Elevation



Image 3: East Elevation



Image 4: South Elevation

130 Avram Ave., Rohnert Park, CA 94928



Image 5: Handrail Joints



Image 6: Handrail Post Connection

130 Avram Ave., Rohnert Park, CA 94928



Image 7: Handrail Member Condition



Image 8: Bridge End

130 Avram Ave., Rohnert Park, CA 94928



Image 9: Typical Bearing Plate and Anchor Bolt



Image 10: Typical Bearing Plate and Anchor Bolt



Image 11: Handrail Post Condition



Image 12: Underside of Bridge

130 Avram Ave., Rohnert Park, CA 94928



Image 13: Lateral Bracing



Image 14: Abutment

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# Copeland Creek at Seed Farm Drive

## Detailed Report

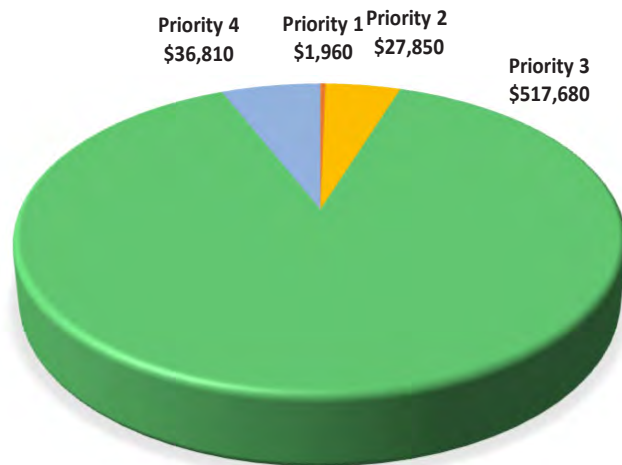
**Address: 602 Santa Alecia Drive, Rohnert Park, CA 94928**

### FCA Summary

Capital Renewal Cost: \$495,080  
 Replacement Cost: \$186,000  
 Replacement Cost/SF: \$387

Copeland Creek at Seed Farm						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$1,960	\$27,850	\$517,680	\$36,810	\$0	\$0	\$584,300
0.34%	4.77%	88.60%	6.30%	0.00%	0.00%	100%

CAPITAL RENEWAL COSTS BY PRIORITY CHART





## Conditions Assessment Report

### Rohnert Park – Copeland Creek @ Seed Farm Dr.

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602 Santa Alecia Dr.  
Rohnert Park, CA 94928  
ZFA Project: 22148.01

July 1, 2022

*Prepared For:*

Andrew Pascual

Kitchell CEM

2450 Venture Oaks Way, Suite 500

Sacramento, CA 95833

*Prepared By:*

Evan Taylor, Designer

Kevin Zucco, Executive Principal

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suite z  
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707 526 0992

602 Santa Alecia Dr., Rohnert Park, CA 94928

## **INTRODUCTION**

A general conditions assessment structural review of the bridge at Copeland Creek crossing near Seed Farm Dr., Rohnert Park, CA (see Appendix B1: Location Map and Site Map) was performed as requested by the City of Rohnert Park Public Works Department as part of due diligence. One site visit was completed on March 28, 2022 to visually review the general condition of the structure; however, no destructive testing or removal of finishes was performed or included in scope. Non-structural elements such as Mechanical, Electrical, Plumbing, Equipment Anchorage or Architectural elements were not included within the scope of this review.

The following documents were provided for review:

- Original Construction Drawings – Dated May 1985 by M. Hudis & Associates

The bridge is approximately 6' x 82' steel frame with wood floorboards supported by concrete abutments. See Appendix B1: Location Map and Site Map.

## **STRUCTURE OVERVIEW**

### General Site Description

The bridge is located near Seed Farm Dr. where it crosses Copeland Creek in Rohnert Park, CA. The original structure was constructed circa 1985.

### Structural System and Materials Description

#### *General*

The original structure is a steel frame bridge crossing Copeland Creek in the N-S direction near Seed Farm Dr., Rohnert Park. The bridge appears to have been prefabricated in two pieces, spliced at mid-span and placed on cast in place concrete abutments. The guardrails serve as trusses spanning between abutments each end for gravity loads. Guardrail vertical member spacing is 54" on center. Guardrail horizontal member spacing is 48" on center.

#### *Seismic Force-Resisting System*

The lateral (seismic and wind) force resisting system is a horizontal steel truss below the deck gravity framing. The horizontal truss spans to and is anchored to the abutments each end.

#### *Foundations*

The foundation consists of a concrete abutment supporting each end of the bridge. The approximate dimensions are 8' x 30". The bridge structure anchored via (2) cast in place 1" diameter anchor bolts each end each side through steel plates with expansion slots at one end of the bridge.

#### *Field Verification and Condition Assessment*

Based on the site visit, the structure does not exhibit immediate signs of danger or collapse. However, several conditions warrant maintenance or attention.

## **FINDINGS AND RECOMMENDATIONS**

The bridge was constructed under a previous building code and should not be expected to meet current code requirements. However, the structure likely meets life safety performance criteria. Overall bridge conditions are

602 Santa Alecia Dr., Rohnert Park, CA 94928

satisfactory and show only minor deterioration through exposure and wear from regular use. **The overall FCI Grade B: Fair.**

The following structural items were observed during the site visit (see Appendix B2: Images). Items are listed in order of exterior approximately from the top of structure down to the interior separated by level. See the Priority Glossary for each finding and recommendation.

### Bridge 3 Crossing Copeland Creek @ Seed Farm Dr.:

#### Findings and Recommendations:

- a. SPLIT BRACED MEMBER: One of the center diagonal braces is split along the weld seam.  
RECOMMENDATION: Provide a welded repair along the seam or cut out and replace split diagonal brace similar to detail 4/S1 from original drawings provided. *See image 7.*  
**PRIORITY: 1 Immediate – Short Term**
  
- b. BRIDGE DECK: ~15% of the deck boards show signs of splitting or rot. *See image 9.*  
RECOMMENDATION: Replace deteriorating deck board with preservative treated or exposure resistant species and regularly inspect and replace as needed.  
**PRIORITY: 2 Crucial – Short Term**
  
- c. Guardrail Horizontal Member Spacing: Review maximum horizontal member spacing with current code requirements (non-structural). *See image 15.*  
RECOMMENDATION: Review code requirements and add additional members to limit gaps between members as needed to reduce risk of bridge users fitting through.  
**PRIORITY: 2 Crucial – Short Term**
  
- d. Long Term Deflection: Due to the long span and center splice, the bridge is essentially flat and does not retain a camber. Additionally, the bridge deflects horizontally when subject to user imposed horizontal momentum. *See image 16.*  
RECOMMENDATION: Regularly review measure bridge deflections. If additional deflections occur, bridge strengthening will be required.  
**PRIORITY: 3 Impending – Short Term**
  
- e. SURFACE RUSTING: All exposed steel on the structure shows signs of surface rusting. If left, will lead to more degradation over time including pitting and cracking, eventually compromising structural integrity.  
RECOMMENDATION: Regularly inspect and protect/maintain all exposed steel by removing rust and coating with all-weather paint as needed Specific attention should be prioritized to welded or bolted connections. *See images 5, 7, 8.*  
**PRIORITY: 4 Necessary – Long Term**
  
- f. BENT ANCHOR BOLTS: At one bearing plate, the anchor bolt alignment or expansion slots were insufficient and resulted in slightly bent anchor bolts. This may have happened during construction.  
RECOMMENDATION: Monitor bent anchor bolts at regular inspections. If the bolts bend further, abutment anchorage connection strengthening will be required. *See image 11.*  
**PRIORITY: 4 Necessary – Long Term**

602 Santa Alecia Dr., Rohnert Park, CA 94928

## CLOSING

The structural review is based on that which was visible in the field and available original structural drawings. No attempt was made to uncover hidden conditions or perform any destructive or non-destructive testing. The items discussed in this report are subject to revision should more information become available. No structural analysis for loads or capacities was performed under the scope of this review.

We understand you may have questions regarding this evaluation and are available for comment and explanations. Please call with any questions you may have. Thank you for choosing ZFA Structural Engineers to assist you with this building condition assessment.

Kevin Zucco  
Executive Principal  
ZFA Structural Engineers

Evan Taylor  
Designer  
ZFA Structural Engineers

# ***APPENDIX B1 – LOCATION MAP AND SITE MAP***

602 Santa Alecia Dr., Rohnert Park, CA 94928



## ***APPENDIX B2 – IMAGES***







Image 1: West Elevation



Image 2: North Elevation



Image 3: East Elevation



Image 4: South Elevation

602 Santa Alecia Dr., Rohnert Park, CA 94928



Image 5: Truss Typical Brace/Post Top Connection



Image 6: Truss Typical Brace/Post Bottom Connection

602 Santa Alecia Dr., Rohnert Park, CA 94928



Image 7: Split Lateral Brace



Image 8: Bridge End



Image 9: Rotten Floorboard



Image 10: Typical Bearing Plate and Anchor Bolt



Image 11: Bearing Plate with Bent Anchor Bolts



Image 12: Deteriorating Finish

602 Santa Alecia Dr., Rohnert Park, CA 94928



Image 13: Horizontal Truss at Underside of Bridge



Image 14: Horizontal Bracing under Gravity Framing



602 Santa Alecia Dr., Rohnert Park, CA 94928



Image 15: Maximum Horizontal Member Spacing



Image 16: Bridge Camber

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# Copeland Creek at Railroad

## Detailed Report

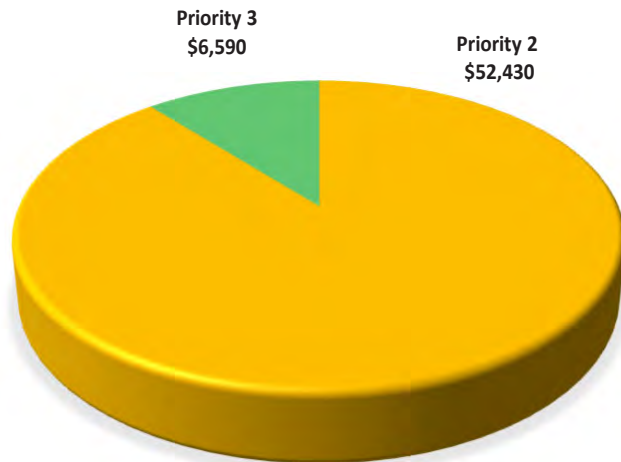
Address: 836 Santa Alicia Drive, Rohnert Park, CA 94928

### FCA Summary

Capital Renewal Cost: \$51,970  
 Replacement Cost: \$186,000  
 Replacement Cost/SF: \$387

Copeland Creek at Railroad Crossing						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$0	\$52,430	\$6,590	\$0	\$0	\$0	\$59,020
0.00%	88.83%	11.17%	0.00%	0.00%	0.00%	100%

CAPITAL RENEWAL COSTS BY PRIORITY CHART





## Conditions Assessment Report Rohnert Park – Copeland Creek @ Railroad

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836 Santa Alicia Dr.  
Rohnert Park, CA 94928  
ZFA Project: 22148.01

July 1, 2022

*Prepared For:*

Andrew Pascual

Kitchell CEM

2450 Venture Oaks Way, Suite 500

Sacramento, CA 95833

*Prepared By:*

Evan Taylor, Designer

Kevin Zucco, Executive Principal

836 Santa Alicia Dr., Rohnert Park, CA 94928

## **INTRODUCTION**

A general conditions assessment structural review of the bridge at Copeland Creek crossing at Seed Farm Dr., Rohnert Park, CA (see Appendix B1: Location Map and Site Map) was performed as requested by the City of Rohnert Park Public Works Department as part of a city-wide property assessment effort. One site visit was completed on March 28, 2022 to visually review the general condition of the structure; however, no destructive testing or removal of finishes was performed or included in the scope. Non-structural elements such as Mechanical, Electrical, Plumbing, Equipment Anchorage or Architectural elements were not included within the scope of this review.

The following documents were provided for review:

- No original construction drawings were provided for this bridge

The bridge is approximately 6'x 40' is constructed of two main glue-laminated (glulam) beams over the span with flat wood decking and concrete abutments. See Appendix B1: Location Map and Site Map.

## **STRUCTURE OVERVIEW**

### General Site Description

The bridge is located at Copeland Creek crossing at Seed Farm Dr., Rohnert Park, CA. The original structure was constructed prior to 1993 as determined via google earth data.

### Structural System and Materials Description

#### *General*

The original structure is an approximate 42" tall wood frame bridge crossing Copeland Creek in the E-W direction at the railroad crossing perpendicular to Seed Farm Dr., Rohnert Park. The bridge is placed on cast in place concrete abutments and uses two pressure-treated glulams for gravity load. 4x4 handrail post vertical member spacing is 64" on center. 2x6 horizontal handrail/guardrails are connected to posts with 1/2" diameter bolts and are spaced at 20" on center with a chain link mesh with approximate 1-2" openings spanning between verticals and handrail/guardrails.

#### *Seismic/Wind Force-Resisting System*

The lateral (seismic and wind) force resisting system is straight sheathing decking and weak-axis bending in the glulam beams, which are anchored to the abutments. The glulam beams are laterally braced at 18' intervals via 4x "X" bracing.

#### *Foundations*

The foundation consists of a reinforced concrete abutment (approximately 20" wide x 15' long x unknown depth) supporting each end of the bridge via steel bracket and 1/2" diameter through bolts. The prefabricated steel brackets connecting the glulam beams are cast in place into concrete supports.

#### *Field Verification and Condition Assessment*

Based on the site visit, the structure does not exhibit immediate signs of danger or collapse. However, several conditions warrant maintenance or attention.

## **FINDINGS AND RECOMMENDATIONS**

The bridge was constructed under a previous building code and should not be expected to meet current code requirements. However, the structure likely meets life safety performance criteria. Overall bridge conditions are

836 Santa Alicia Dr., Rohnert Park, CA 94928

satisfactory and show only minor deterioration through exposure and wear from regular use. **The overall FCI Grade B: Fair – Facilities will begin to show more signs of wear. More frequent component failure will occur.**

The following structural items were observed during the site visit (see Appendix B2: Images). Items are listed in order of exterior approximately from the top of structure down to the interior separated by level. See the Priority Glossary for each finding and recommendation.

#### **Bridge 4 Crossing Copeland Creek @ Railroad:**

##### Findings and Recommendations:

- a. **ABUTMENT EROSION:** The west abutment foundation shows minor signs of erosion at the base.  
**RECOMMENDATION:** Review west abutment foundation for the extent of scour / undermining at the next scheduled maintenance review. *See image 12.*  
**PRIORITY: 2 Crucial – Short Term**
  
- b. **GLULAM BEAMS:** The original construction documents specify wood preservative for the glulam beams  
**RECOMMENDATION:** As part of standard maintenance, continue regular inspections and retreat all exposed conditions with wood preservative every 5 years or per manufacturer's recommendations in accordance with AWPA standards C1 and C2.  
**PRIORITY: 3 Impending – Short Term**

#### CLOSING

The structural review is based on that which was visible in the field and available original structural drawings. No attempt was made to uncover hidden conditions or perform any destructive or non-destructive testing. The items discussed in this report are subject to revision should more information become available. No structural analysis for loads or capacities was performed under the scope of this review.

We understand you may have questions regarding this evaluation and are available for comment and explanations. Please call with any questions you may have. Thank you for choosing ZFA Structural Engineers to assist you with this building condition assessment.

Kevin Zucco  
Executive Principal  
ZFA Structural Engineers

Evan Taylor  
Designer  
ZFA Structural Engineers

## ***APPENDIX B1 – LOCATION MAP AND SITE MAP***

836 Santa Alicia Dr., Rohnert Park, CA 94928





## ***APPENDIX B2 – IMAGES***

836 Santa Alicia Dr., Rohnert Park, CA 94928



Image 1: West Elevation



Image 2: North Elevation

836 Santa Alicia Dr., Rohnert Park, CA 94928



Image 3: East Elevation



Image 4: South Elevation

836 Santa Alicia Dr., Rohnert Park, CA 94928



Image 5: Handrail Joints



Image 6: Handrail Post Connection

836 Santa Alicia Dr., Rohnert Park, CA 94928



Image 7: Handrail Member Joint



Image 8: Bridge End



Image 9: Deck Boards



Image 10: Typical Bearing Plate and Anchor Bolt

836 Santa Alicia Dr., Rohnert Park, CA 94928



Image 11: Underside of Bridge



Image 12: Abutment Erosion

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# Copeland Bridge at Snyder Lane

## Detailed Report

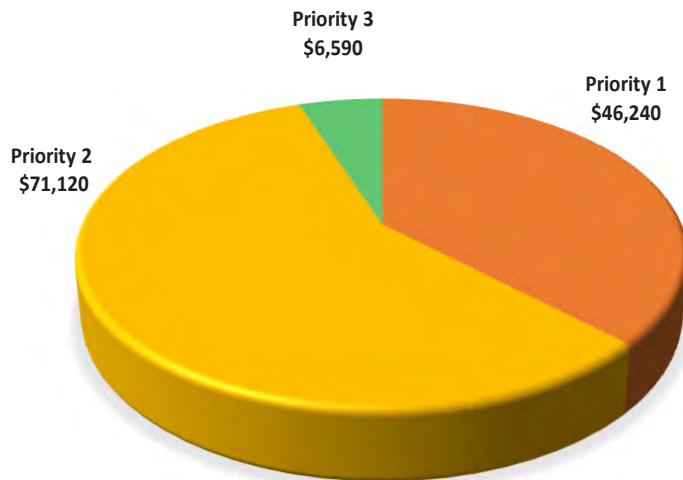
Address: 1028 Copeland Creek Drive, Rohnert Park, CA 94928

### FCA Summary

Capital Renewal Cost: \$111,310  
 Replacement Cost: \$186,000  
 Replacement Cost/SF: \$387

Copeland Creek at Snyder Lane						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$46,240	\$71,120	\$6,590	\$0	\$0	\$0	\$123,950
37.31%	57.38%	5.32%	0.00%	0.00%	0.00%	100%

CAPITAL RENEWAL COSTS BY PRIORITY CHART





## Conditions Assessment Report Rohnert Park – Copeland Creek @ Snyder Lane

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1028 Copeland Creek Dr.  
Rohnert Park, CA 94928  
ZFA Project: 22148.01

July 1, 2022

*Prepared For:*

Andrew Pascual

Kitchell CEM

2450 Venture Oaks Way, Suite 500

Sacramento, CA 95833

*Prepared By:*

Evan Taylor, Designer

Kevin Zucco, Executive Principal

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707 526 0992

1028 Copeland Creek Dr., Rohnert Park, CA 94928

## **INTRODUCTION**

A general conditions assessment structural review of the bridge at Copeland Creek crossing at Snyder Ln., Rohnert Park, CA (see Appendix B1: Location Map and Site Map) was performed as requested by the City of Rohnert Park Public Works Department as part of a city-wide property assessment effort. One site visit was completed on March 29, 2022 to visually review the general condition of the structure; however, no destructive testing or removal of finishes was performed or included in the scope. Non-structural elements such as Mechanical, Electrical, Plumbing, Equipment Anchorage or Architectural elements were not included within the scope of this review.

The following documents were provided for review:

- Original Construction Drawings – Dated January 1980 by M. Hudis & Associates

The bridge is approximately 6'x 90' is constructed of two main glue-laminated (glulam) beams over the span with flat wood decking and concrete abutments, including one interior concrete support. See Appendix B1: Location Map and Site Map.

## **STRUCTURE OVERVIEW**

### General Site Description

The bridge is located near Snyder Lane where it crosses Copeland Creek in Rohnert Park, CA. The original structure was constructed circa 1980.

### Structural System and Materials Description

#### *General*

The original structure is an approximate 42" tall wood frame bridge crossing Copeland Creek in the N-S direction near Snyder Ln. in Rohnert Park. The bridge is placed on cast in place concrete abutments and uses two pressure-treated glulams spliced over the center support for gravity load. 4x4 handrail post vertical member spacing is 68" on center. 2x6 pressure treated horizontal handrail/guardrails are connected to posts with 1/2" diameter bolts and are spaced at 30" on center with a chain link mesh with approximate 1-2" openings spanning between verticals and handrail/guardrails.

#### *Seismic/Wind Force-Resisting System*

The lateral (seismic and wind) force resisting system is straight sheathing decking and weak-axis bending in the glulam beams, which are anchored to the abutments and center support. The glulam beams are laterally braced at 18' intervals via 4x4 "X" bracing.

#### *Foundations*

The foundation consists of a reinforced concrete abutment (approximately 20" wide x 15' long x unknown depth) supporting each end of the bridge and a reinforced concrete wall (32" thick x 8' wide) supporting the center splice of the bridge via steel bracket and 1/2" diameter through bolts. The prefabricated steel brackets connecting the glulam beams are cast in place into concrete supports.

#### *Field Verification and Condition Assessment*

Based on the site visit, the structure does not exhibit immediate signs of danger or collapse. However, several conditions warrant maintenance or attention.

## **FINDINGS AND RECOMMENDATIONS**

1028 Copeland Creek Dr., Rohnert Park, CA 94928

The bridge was constructed under a previous building code and should not be expected to meet current code requirements. However, the structure likely meets life safety performance criteria. Overall bridge conditions are satisfactory and show only minor deterioration through exposure and wear from regular use. **The overall FCI Grade B: Fair – Facilities will begin to show more signs of wear. More frequent component failure will occur.**

The following structural items were observed during the site visit (see Appendix B2: Images). Items are listed in order of exterior approximately from the top of structure down to the interior separated by level. See the Priority Glossary for each finding and recommendation.

### Bridge 5 Crossing Copeland Creek @ Snyder Lane:

#### Findings and Recommendations:

- a. GUARDRAIL/HANDRAIL MEMBERS AND POSTS: Guardrail members and posts do not appear to meet well-established code criteria of 50 pounds per linear foot or a 200# point load. Chain link mesh attachments at supports is inconsistent. *See image 8.*  
RECOMMENDATION: Redesign guardrail/handrail members and connections to meet current code and replace as needed with preservative treated or exposure resistant species. Provide positive mesh attachments at 12" on center maximum spacing at all supports.  
**PRIORITY: 1 Immediate – Short Term**
- b. BRIDGE GUARDRAIL: ~5% of the guardrail posts and horizontal members show signs of splitting, cracking, or rot. *See images 6, 7, 10, 12.*  
RECOMMENDATION: Replace deteriorating deck board with preservative treated or exposure resistant species and regularly inspect and replace as needed.  
**PRIORITY: 2 Crucial – Short Term**
- c. BRIDGE DECK: ~5% of the deck boards show signs of splitting or rot. *See image 9.*  
RECOMMENDATION: Replace deteriorating deck board with preservative treated or exposure resistant species and regularly inspect and replace as needed.  
**PRIORITY: 2 Crucial – Short Term**
- d. HANDRAIL SPLICE CONNECTION: Per the construction documents, the handrail splices are specified with 2 bolts. Site visit confirmed nails and screws were used. *See images 5, 7.*  
RECOMMENDATION: Replace members per above.  
**PRIORITY: 2 Crucial – Short Term**
- e. CHAIN LINK MESH FAILURE: The chain link mesh is failed in two locations.  
RECOMMENDATION: Repair or replace the torn chain link mesh per above. *See image 8.*  
**PRIORITY: 2 Crucial – Short Term**
- f. GLULAM BEAMS: The original construction documents specify wood preservative for the glulam beams  
RECOMMENDATION: As part of standard maintenance, continue regular inspections and retreat all exposed conditions with wood preservative every 5 years or per manufacturer's recommendations in accordance with AWPA standards C1 and C2.  
**PRIORITY: 3 Impending – Short Term**

1028 Copeland Creek Dr., Rohnert Park, CA 94928

- g. CENTER SPAN SUPPORT EROSION: The Center span support foundation showed minor signs of erosion at the base. *See image 16.*

RECOMMENDATION: Review center support foundation for the extent of scour / undermining at the next scheduled maintenance review. Compact new soil/rock material to 90% around and underneath foundation when dry. Continue regular inspections.

**PRIORITY: 3 Impending – Short Term**

## CLOSING

The structural review is based on that which was visible in the field and available original structural drawings. No attempt was made to uncover hidden conditions or perform any destructive or non-destructive testing. The items discussed in this report are subject to revision should more information become available. No structural analysis for loads or capacities was performed under the scope of this review.

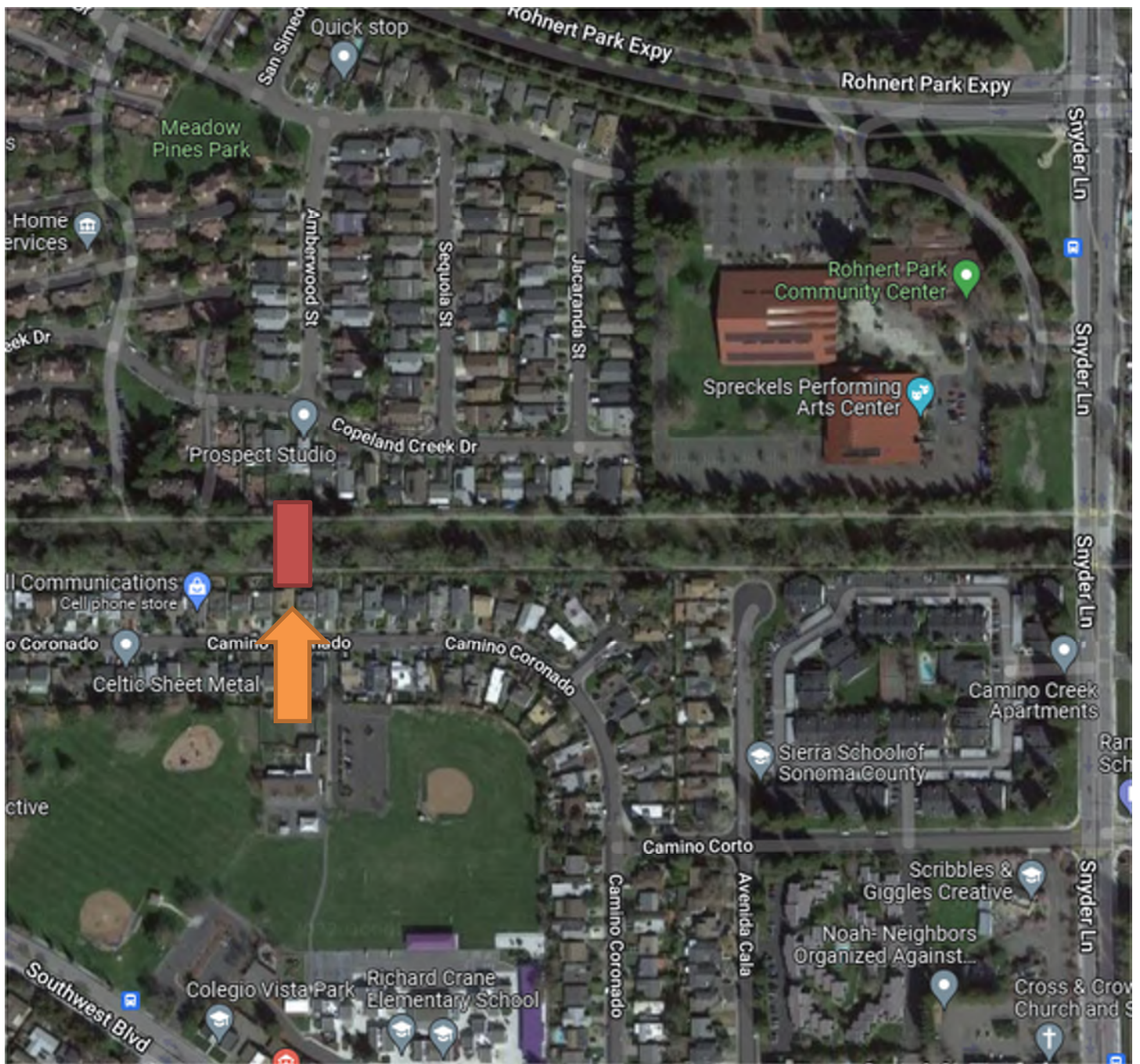
We understand you may have questions regarding this evaluation and are available for comment and explanations. Please call with any questions you may have. Thank you for choosing ZFA Structural Engineers to assist you with this building condition assessment.

Kevin Zucco  
Executive Principal  
ZFA Structural Engineers

Evan Taylor  
Designer  
ZFA Structural Engineers

# ***APPENDIX B1 – LOCATION MAP AND SITE MAP***

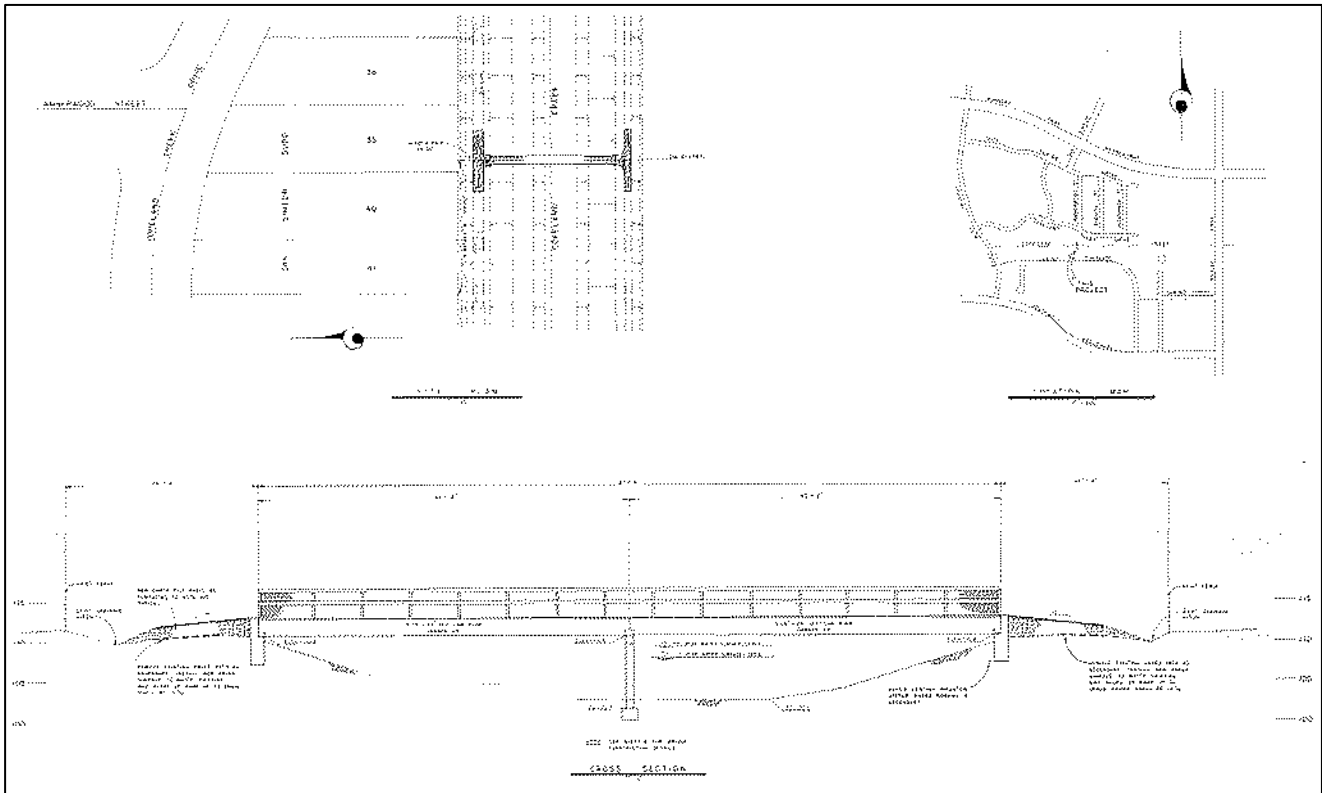
1028 Copeland Creek Dr., Rohnert Park, CA 94928



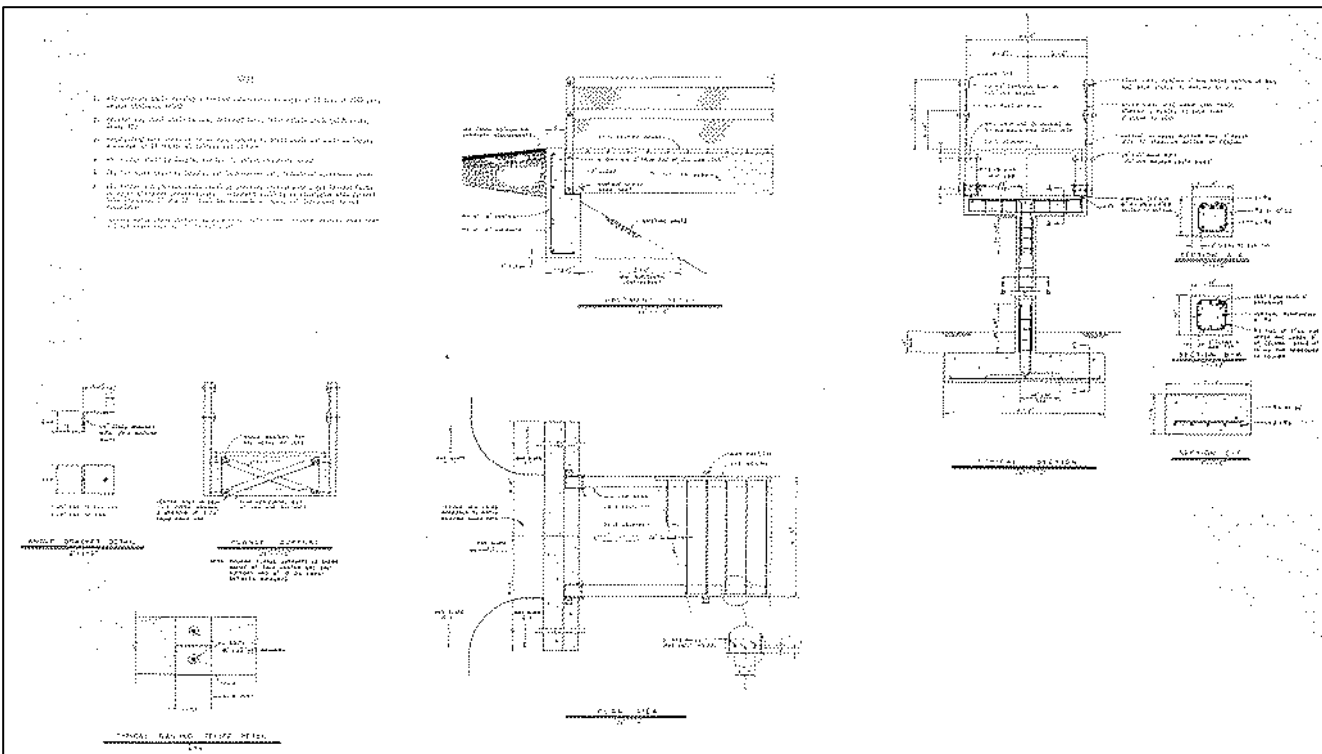
## ***APPENDIX B2 – IMAGES***



1028 Copeland Creek Dr., Rohnert Park, CA 94928



Plan and Elevation Views – Original Construction



Details – Original Construction



Image 1: West Elevation



Image 2: North Elevation



Image 3: East Elevation



Image 4: South Elevation

1028 Copeland Creek Dr., Rohnert Park, CA 94928



Image 5: Handrail Joints



Image 6: Handrail Post Connection

1028 Copeland Creek Dr., Rohnert Park, CA 94928



Image 7: Handrail Member Joint



Image 8: Bridge End

1028 Copeland Creek Dr., Rohnert Park, CA 94928



Image 9: Cracked and Rotted Deck Board



Image 10: Typical Bearing Plate and Anchor Bolt

1028 Copeland Creek Dr., Rohnert Park, CA 94928



Image 11: Center Girder Splice



Image 12: Handrail Post Condition

1028 Copeland Creek Dr., Rohnert Park, CA 94928



Image 13: Underside of Bridge



Image 14: Internal Bracket at Center Splice



1028 Copeland Creek Dr., Rohnert Park, CA 94928



Image 15: Abutment



Image 16: Center Support

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# Hinebaugh Creek at Commerce Boulevard

## Detailed Report

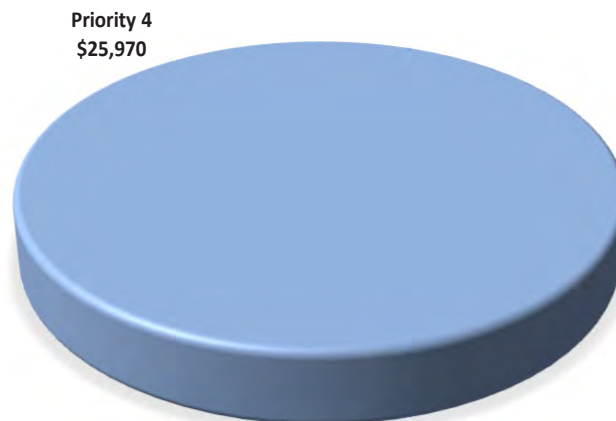
**Address: 6125 Commerce Boulevard, Rohnert Park, CA 94928**

### FCA Summary

Capital Renewal Cost: \$21,110  
 Replacement Cost: \$186,000  
 Replacement Cost/SF: \$387

Hinebaugh Creek at Commerce Boulevard						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$0	\$0	\$0	\$25,970	\$0	\$0	\$25,970
0.00%	0.00%	0.00%	100.00%	0.00%	0.00%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**





## Conditions Assessment Report

### Rohnert Park – Hinebaugh Creek @ Commerce Blvd.

---

6125 Commerce Blvd.  
Rohnert Park, CA 94928  
ZFA Project: 22148.01

July 1, 2022

*Prepared For:*

Andrew Pascual

Kitchell CEM

2450 Venture Oaks Way, Suite 500

Sacramento, CA 95833

*Prepared By:*

Evan Taylor, Designer

Kevin Zucco, Executive Principal

1212 fourth street  
suite z  
santa rosa ca 95404  
707 526 0992

6125 Commerce Blvd., Rohnert Park, CA 94928

## **INTRODUCTION**

A general conditions assessment structural review of the bridge at Hinebaugh Creek crossing parallel to Commerce Blvd, Rohnert Park, CA (see Appendix B1: Location Map and Site Map) was performed as requested by the City of Rohnert Park Public Works Department as part of due diligence. One site visit was completed on March 29, 2022 to visually review the general condition of the structure; however, no destructive testing or removal of finishes was performed or included in scope. Non-structural elements such as Mechanical, Electrical, Plumbing, Equipment Anchorage or Architectural elements were not included within the scope of this review.

The following documents were provided for review:

- No original documents were provided for this bridge.
- Bridge plaque noting manufacturer EXCEL and load rating = 6,000lbs capacity.

The bridge is approximately 6 ft x 68 ft steel frame with wood floorboards supported by concrete abutments. See Appendix B1: Location Map and Site Map.

## **STRUCTURE OVERVIEW**

### General Site Description

The bridge is located parallel to Commerce Blvd. where it crosses Hinebaugh Creek in Rohnert Park, CA. The original structure was constructed between 2005 and 2007 as determined via google earth data.

### Structural System and Materials Description

#### *General*

The original structure is a steel frame bridge crossing Hinebaugh Creek in the N-S direction parallel to Commerce Blvd., Rohnert Park. The bridge appears to have been prefabricated in one piece and placed on cast in place concrete abutments. The guardrails serve as trusses spanning between abutments each end for gravity loads. Guardrail vertical member spacing is 54" on center. Guardrail horizontal member spacing is 74" on center.

#### *Seismic Force-Resisting System*

The lateral (seismic and wind) force resisting system is a horizontal steel truss below the deck gravity framing. The horizontal truss spans to and is anchored to the abutments.

#### *Foundations*

The foundation consists of a concrete abutment supporting each end of the bridge. The approximate dimensions are 15' x 30". The bridge structure anchored via (2) cast in place ¾" diameter anchor bolts each end each side through steel plates with expansion slots at one end of the bridge.

#### *Field Verification and Condition Assessment*

Based on the site visit, the structure does not exhibit immediate signs of danger or collapse. However, several conditions warrant maintenance or attention.

## **FINDINGS AND RECOMMENDATIONS**

The bridge was constructed under a previous building code and should not be expected to meet current code requirements. However, the structure likely meets life safety performance criteria. Overall bridge conditions are

6125 Commerce Blvd., Rohnert Park, CA 94928

satisfactory and show only minor deterioration through exposure and wear from regular use. **The overall FCI Grade A: Good.**

The following structural items were observed during the site visit (see Appendix B2: Images). Items are listed in order of exterior approximately from the top of structure down to the interior separated by level. See the Priority Glossary for each finding and recommendation.

### **Bridge 6 Crossing Hinebaugh Creek @ Commerce Blvd.:**

#### Findings and Recommendations:

- a. **SURFACE RUSTING:** All exposed steel on the structure shows signs of surface rusting. If left, will lead to more degradation over time including pitting and cracking, eventually compromising structural integrity. See *images 6, 7, 9.*

**RECOMMENDATION:** Regularly inspect and protect/maintain all exposed steel by removing rust and coating with all-weather paint as needed. Specific attention should be prioritized to welded or bolted connections.

**PRIORITY: 4 Necessary – Long Term**

### CLOSING

The structural review is based on that which was visible in the field and available original structural drawings. No attempt was made to uncover hidden conditions or perform any destructive or non-destructive testing. The items discussed in this report are subject to revision should more information become available. No structural analysis for loads or capacities was performed under the scope of this review.

We understand you may have questions regarding this evaluation and are available for comment and explanations. Please call with any questions you may have. Thank you for choosing ZFA Structural Engineers to assist you with this building condition assessment.

Kevin Zucco  
Executive Principal  
ZFA Structural Engineers

Evan Taylor  
Designer  
ZFA Structural Engineers

# ***APPENDIX B1 – LOCATION MAP AND SITE MAP***

6125 Commerce Blvd., Rohnert Park, CA 94928





## ***APPENDIX B2 – IMAGES***



Image 1: West Elevation



Image 2: North Elevation



Image 3: East Elevation



Image 4: South Elevation

6125 Commerce Blvd., Rohnert Park, CA 94928



Image 5: Truss Typical Brace/Post Top Connection



Image 6: Typical Handrail Member Weld



Image 7: Bridge End



Image 8: Typical Bearing Plate and Anchor Bolt

6125 Commerce Blvd., Rohnert Park, CA 94928



Image 9: Bearing Plate



Image 10: Gravity Purlin Connection



Image 11: Floorboard Gravity Framing



Image 12: Bridge Capacity Plaque

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# Hinebaugh Creek at Five Creek Intersection

## Detailed Report

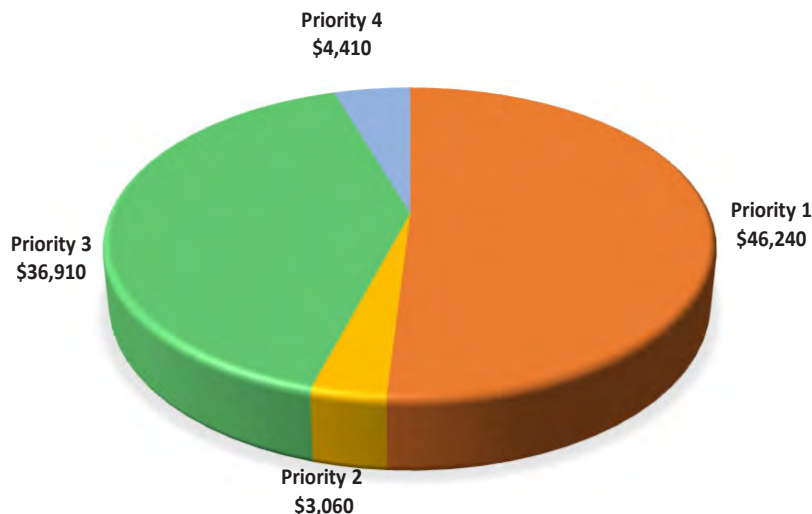
Address: 6170 San Mateo Court, Rohnert Park, CA 94928

### FCA Summary

Capital Renewal Cost: \$80,360  
 Replacement Cost: \$186,000  
 Replacement Cost/SF: \$387

Hinebaugh Creek at Five Creek Intersection						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$46,240	\$3,060	\$36,910	\$4,410	\$0	\$0	\$90,620
51.03%	3.38%	40.73%	4.87%	0.00%	0.00%	100%

CAPITAL RENEWAL COSTS BY PRIORITY CHART





## Conditions Assessment Report

### Rohnert Park – Hinebaugh Creek @ Five Creek Intersection

---

6170 San Mateo Ct.  
Rohnert Park, CA 94928  
ZFA Project: 22148.01

July 1, 2022

*Prepared For:*

Andrew Pascual

Kitchell CEM

2450 Venture Oaks Way, Suite 500

Sacramento, CA 95833

*Prepared By:*

Evan Taylor, Designer

Kevin Zucco, Executive Principal

1212 fourth street  
suite z  
santa rosa ca 95404  
707 526 0992

6170 San Mateo Ct., Rohnert Park, CA 94928

## **INTRODUCTION**

A general conditions assessment structural review of the bridge at Hinebaugh Creek crossing at Five Creek Intersection, Rohnert Park, CA (see Appendix B1: Location Map and Site Map) was performed as requested by the City of Rohnert Park Public Works Department as part of a city-wide property assessment effort. One site visit was completed on March 29, 2022 to visually review the general condition of the structure; however, no destructive testing or removal of finishes was performed or included in the scope. Non-structural elements such as Mechanical, Electrical, Plumbing, Equipment Anchorage or Architectural elements were not included within the scope of this review.

The following documents were provided for review:

- Original Construction Drawings – Dated June 1985 by M. Hudis & Associates

The bridge is approximately 6'x 150' is constructed of two main glue-laminated (glulam) beams over the span with flat wood decking and concrete abutments including two interior concrete column supports. See Appendix B1: Location Map and Site Map.

## **STRUCTURE OVERVIEW**

### General Site Description

The bridge is located at Hinebaugh Creek where it intersects Five Creek in Rohnert Park, CA. The original structure was constructed circa 1985.

### Structural System and Materials Description

#### *General*

The original structure is an approximate 42" tall wood frame bridge crossing Hinebaugh Creek in the N-S direction at the Five Creek intersection, Rohnert Park. The bridge is placed on cast in place concrete abutments and uses two pressure-treated glulams spliced over the center supports for gravity load. 4x4 handrail post vertical member spacing is 64" on center. 2x6 horizontal handrail/guardrails are connected to posts with ½" diameter bolts and are spaced at 20" on center with a chain link mesh with approximate 1-2" openings spanning between verticals and handrail/guardrails.

#### *Seismic/Wind Force-Resisting System*

The lateral (seismic and wind) force resisting system is straight sheathing decking and weak-axis bending in the glulam beams, which are anchored to the abutments and center support. The glulam beams are laterally braced at 18' intervals via 4x4 "X" bracing.

#### *Foundations*

The foundation consists of a reinforced concrete abutment (approximately 20" wide x 10' long x unknown depth) supporting each end of the bridge and reinforced concrete columns (18" square with 6' wide bearing area at the top) supporting the center splices of the bridge via steel bracket and ½" diameter through bolts. The prefabricated steel brackets connecting the glulam beams are cast in place into concrete supports.

#### *Field Verification and Condition Assessment*

Based on the site visit, the structure does not exhibit immediate signs of danger or collapse. However, several conditions warrant maintenance or attention.

6170 San Mateo Ct., Rohnert Park, CA 94928

## **FINDINGS AND RECOMMENDATIONS**

The bridge was constructed under a previous building code and should not be expected to meet current code requirements. However, the structure likely meets life safety performance criteria. Overall bridge conditions are satisfactory and show only minor deterioration through exposure and wear from regular use. **The overall FCI Grade B: Fair – Facilities will begin to show more signs of wear. More frequent component failure will occur.**

The following structural items were observed during the site visit (see Appendix B2: Images). Items are listed in order of exterior approximately from the top of structure down to the interior separated by level. See the Priority Glossary for each finding and recommendation.

### **Bridge 7 Crossing Hinebaugh Creek @ Five Creek Intersection:**

#### Findings and Recommendations:

- a. **GUARDRAIL/HANDRAIL MEMBERS AND POSTS:** Guardrail members and posts do not appear to meet well-established code criteria of 50 pounds per linear foot or a 200# point load. Chain link mesh attachments at supports is inconsistent. *See image 8.*  
**RECOMMENDATION:** Redesign guardrail/handrail members and connections to meet current code and replace as needed with preservative treated or exposure resistant species. Provide positive mesh attachments at 12" on center maximum spacing at all supports.  
**PRIORITY: 1 Immediate – Short Term**
- b. **BRIDGE GUARDRAIL:** ~10% of the guardrail posts and horizontal members show signs of splitting, cracking, or rot. *See images 7, 8, 9, 12.*  
**RECOMMENDATION:** Replace deteriorating deck board with preservative treated or exposure resistant species and regularly inspect and replace as needed.  
**PRIORITY: 2 Crucial – Short Term**
- c. **GLULAM BEAMS:** The original construction documents specify wood preservative for the glulam beams  
**RECOMMENDATION:** As part of standard maintenance, continue regular inspections and retreat all exposed conditions with wood preservative every 5 years or per manufacturer's recommendations in accordance with AWPA standards C1 and C2.  
**PRIORITY: 3 Impending – Short Term**
- d. **BEARING PLATES AND ANCHOR BOLTS:** At the South end, minor debris buildup was present covering the bearing plates and anchor bolts connecting the bridge to the concrete abutments, resulting in minor rusting occurring on anchoring hardware. *See image 4.*  
**RECOMMENDATION:** Keep area clear of debris through regular cleaning. Protect exposed steel with all-weather paint as needed.  
**PRIORITY: 3 Impending – Short Term**
- e. **CENTER SPAN SUPPORT:** The Center span support foundations were below water level at the time of review.  
**RECOMMENDATION:** Review center support foundation for scour / undermining at next scheduled maintenance review.  
**PRIORITY: 4 Necessary – Long Term**

## CLOSING

The structural review is based on that which was visible in the field and available original structural drawings. No attempt was made to uncover hidden conditions or perform any destructive or non-destructive testing. The items discussed in this report are subject to revision should more information become available. No structural analysis for loads or capacities was performed under the scope of this review.

We understand you may have questions regarding this evaluation and are available for comment and explanations. Please call with any questions you may have. Thank you for choosing ZFA Structural Engineers to assist you with this building condition assessment.

Kevin Zucco  
Executive Principal  
ZFA Structural Engineers

Evan Taylor  
Designer  
ZFA Structural Engineers

# ***APPENDIX B1 – LOCATION MAP AND SITE MAP***

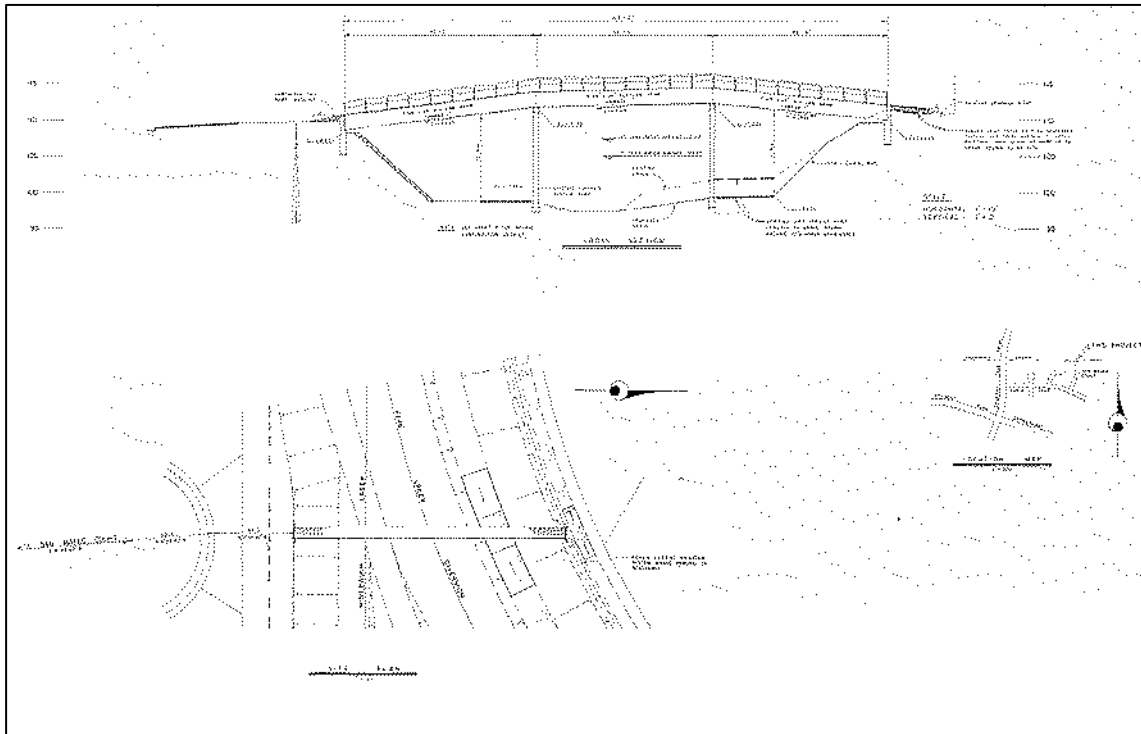
6170 San Mateo Ct., Rohnert Park, CA 94928



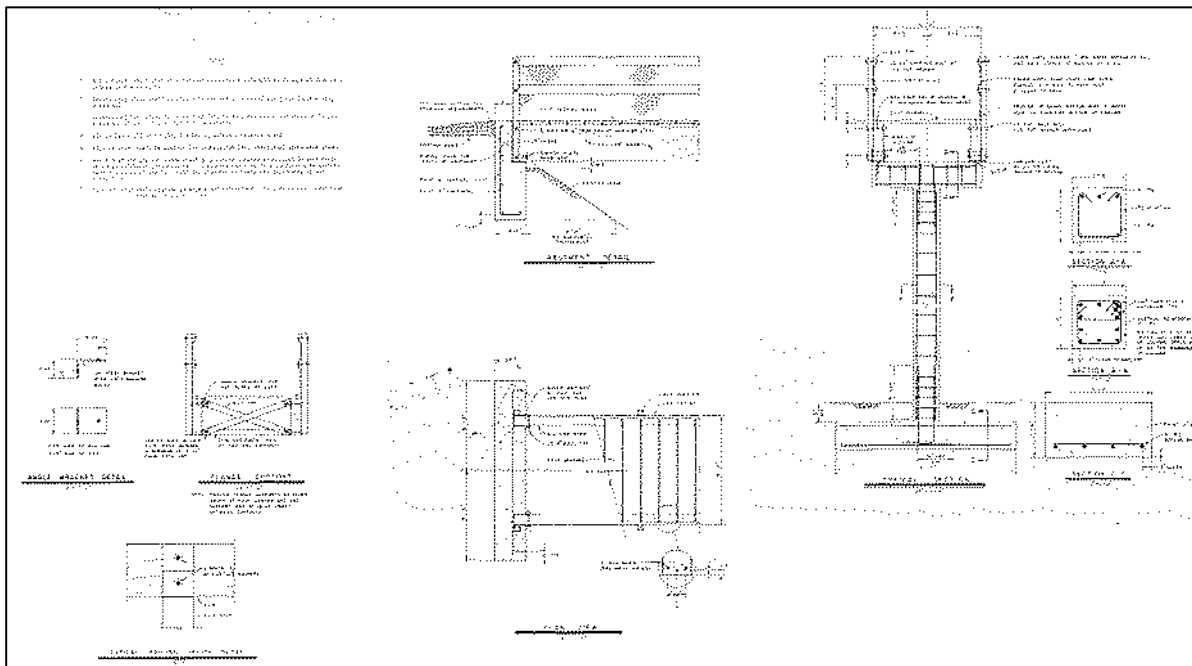
## ***APPENDIX B2 – IMAGES***



6170 San Mateo Ct., Rohnert Park, CA 94928



Plan and Elevation Views – Original Construction



Details – Original Construction



Image 1: West Elevation



Image 2: North Elevation



Image 3: East Elevation



Image 4: South Elevation

6170 San Mateo Ct., Rohnert Park, CA 94928



Image 5: Handrail Joints



Image 6: Handrail Post Connection

6170 San Mateo Ct., Rohnert Park, CA 94928



Image 7: Handrail Member Joint



Image 8: Bridge End



Image 9: Deteriorating Handrail Post



Image 10: Typical Bearing Plate and Anchor Bolt

6170 San Mateo Ct., Rohnert Park, CA 94928



Image 11: Center Girder Splice



Image 12: Handrail Condition

6170 San Mateo Ct., Rohnert Park, CA 94928



Image 13: Underside of Bridge



Image 14: Lateral Bracing at Center Splice



6170 San Mateo Ct., Rohnert Park, CA 94928



Image 15: Abutment



Image 16: Center Support

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# Five Creek at Eagle Park

## Detailed Report

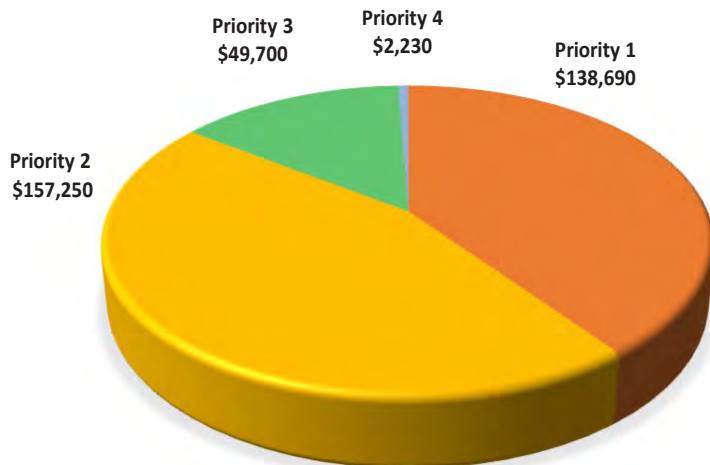
Address: 1125 Emily Avenue, Rohnert Park, CA 94928

### FCA Summary

Capital Renewal Cost: \$311,470  
 Replacement Cost: \$297,000  
 Replacement Cost/SF: \$387

Five Creek at Eagle Park						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$138,690	\$157,250	\$49,700	\$2,230	\$0	\$0	\$347,870
39.87%	45.20%	14.29%	0.64%	0.00%	0.00%	100%

CAPITAL RENEWAL COSTS BY PRIORITY CHART





## Conditions Assessment Report

### Rohnert Park – Five Creek @ Eagle Park

---

1125 Emily Ave.  
Rohnert Park, CA 94928  
ZFA Project: 22148.01

July 1, 2022

*Prepared For:*

Andrew Pascual

Kitchell CEM

2450 Venture Oaks Way, Suite 500

Sacramento, CA 95833

*Prepared By:*

Evan Taylor, Designer

Kevin Zucco, Executive Principal

1125 Emily Ave., Rohnert Park, CA 94928

## **INTRODUCTION**

A general conditions assessment structural review of the bridge at Five Creek crossing at Eagle Park, Rohnert Park, CA (see Appendix B1: Location Map and Site Map) was performed as requested by the City of Rohnert Park Public Works Department as part of a city-wide property assessment effort. One site visit was completed on March 29, 2022 to visually review the general condition of the structure; however, no destructive testing or removal of finishes was performed or included in the scope. Non-structural elements such as Mechanical, Electrical, Plumbing, Equipment Anchorage or Architectural elements were not included within the scope of this review.

The following documents were provided for review:

- Original Construction Drawings – Dated December 1984 by M. Hudis & Associates

The bridge is approximately 6' x 82' and constructed of two main glue-laminated (glulam) beams over the span with flat wood decking and concrete abutments, including one interior concrete support. See Appendix B1 Location Map and Site Map.

## **STRUCTURE OVERVIEW**

### General Site Description

The bridge is located at Eagle Park where it abuts Five Creek in Rohnert Park, CA. The original structure was constructed circa 1985.

### Structural System and Materials Description

#### *General*

The original structure is an approximate 42" tall wood frame bridge crossing Five Creek in the E-W direction at the East side of Eagle Park, Rohnert Park. The bridge is placed on cast in place concrete abutments and uses two pressure-treated glulam beams spliced over the center support for gravity load. 4x4 handrail post vertical member spacing is 64" on center. 2x6 horizontal handrail/guardrails are connected to posts with ½" diameter bolts and are spaced at 20" on center with a chain link mesh with approximate 1-2" openings spanning between verticals and handrail/guardrails.

#### *Seismic/Wind Force-Resisting System*

The lateral (seismic and wind) force resisting system is straight sheathing decking and weak-axis bending in the glulam beams, which are anchored to the abutments and center support. The glulam beams are laterally braced at 18' intervals via 2x "X" bracing.

#### *Foundations*

The foundation consists of a reinforced concrete abutment (approximately 20" wide x 16' long x unknown depth) supporting each end of the bridge and a reinforced concrete wall (12" thick x 6' wide) supporting the center splice of the bridge via steel bracket and ½" diameter through bolts. The prefabricated steel brackets connecting the glulam beams are cast in place into concrete supports.

#### *Field Verification and Condition Assessment*

Based on the site visit, the structure does not exhibit immediate signs of danger or collapse. However, several conditions warrant maintenance or attention.

1125 Emily Ave., Rohnert Park, CA 94928

## **FINDINGS AND RECOMMENDATIONS**

The bridge was constructed under a previous building code and should not be expected to meet current code requirements. However, the structure likely meets life safety performance criteria. Overall bridge conditions are satisfactory and show only minor deterioration through exposure and wear from regular use. **The overall FCI Grade B: Fair – Facilities will begin to show more signs of wear. More frequent component failure will occur.**

The following structural items were observed during the site visit (see Appendix B2: Images). Items are listed in order of exterior approximately from the top of structure down to the interior separated by level. See the Priority Glossary for each finding and recommendation.

### **Bridge 8 Crossing Five Creek @ Eagle Park:**

#### Findings and Recommendations:

- a. **GUARDRAIL/HANDRAIL MEMBERS AND POSTS:** Guardrail members and posts do not appear to meet well-established code criteria of 50 pounds per linear foot or a 200# point load. Chain link mesh attachments at supports is inconsistent. *See image 8.*  
**RECOMMENDATION:** Redesign guardrail/handrail members and connections to meet current code and replace as needed with preservative treated or exposure resistant species. Provide positive mesh attachments at 12" on center maximum spacing at all supports.  
**PRIORITY: 1 Immediate – Short Term**
- b. **BRIDGE GUARDRAIL:** ~10% of the guardrail posts and horizontal members show signs of splitting, cracking, or rot. *See image 12.*  
**RECOMMENDATION:** Replace deteriorating guardrail posts and horizontal members with preservative treated wood or exposure resistant species for exposure and regularly inspect and replace as needed.  
**PRIORITY: 2 Crucial – Short Term**
- c. **BRIDGE DECK:** ~10% of the deck boards shows signs of splitting or rot. *See image 9.*  
**RECOMMENDATION:** Replace deteriorating deck board with preservative treated or exposure resistant species and regularly inspect and replace as needed.  
**PRIORITY: 2 Crucial – Short Term**
- d. **GUARDRAIL SPLICE CONNECTION:** Per the construction documents, the guardrail splices are specified with 2 bolts. Site visit confirmed only one bolt was used in various locations. *See image 7.*  
**RECOMMENDATION:** Replace members per above  
**PRIORITY: 2 Crucial – Short Term**
- e. **GLULAM BEAMS:** The original construction documents specify wood preservative for the glulam beams  
**RECOMMENDATION:** As part of standard maintenance, continue regular inspections and retreat all exposed conditions with wood preservative every 5 years or per manufacturer's recommendations in accordance with AWPA standards C1 and C2.  
**PRIORITY: 3 Impending – Short Term**
- f. **BEARING PLATES AND ANCHOR BOLTS:** In each corner, significant debris buildup was present covering the bearing plates and anchor bolts connecting the bridge to the concrete abutments, resulting in minor rusting occurring on anchoring hardware. *See image 10.*

1125 Emily Ave., Rohnert Park, CA 94928

RECOMMENDATION: Keep area clear of debris through regular cleaning. Protect exposed steel with all-weather paint as needed.

**PRIORITY: 3 Impending – Short Term**

- g. CENTER SPAN SUPPORT: The Center span support foundation was below water level at the time of review.

RECOMMENDATION: Review center support foundation for scour / undermining at next scheduled maintenance review.

**PRIORITY: 4 Necessary – Long Term**

## CLOSING

The structural review is based on that which was visible in the field and available original structural drawings. No attempt was made to uncover hidden conditions or perform any destructive or non-destructive testing. The items discussed in this report are subject to revision should more information become available. No structural analysis for loads or capacities was performed under the scope of this review.

We understand you may have questions regarding this evaluation and are available for comment and explanations. Please call with any questions you may have. Thank you for choosing ZFA Structural Engineers to assist you with this building condition assessment.

Kevin Zucco  
Executive Principal  
ZFA Structural Engineers

Evan Taylor  
Designer  
ZFA Structural Engineers

# ***APPENDIX B1 – LOCATION MAP AND SITE MAP***

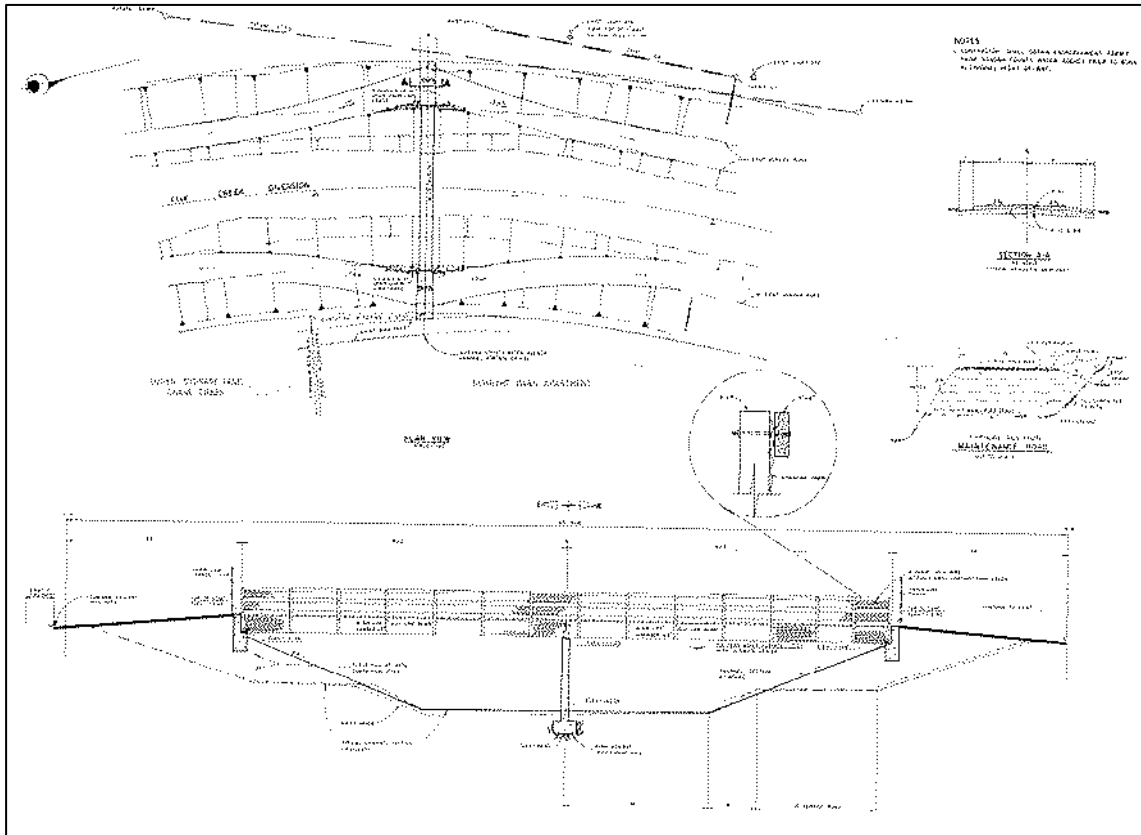


1125 Emily Ave., Rohnert Park, CA 94928

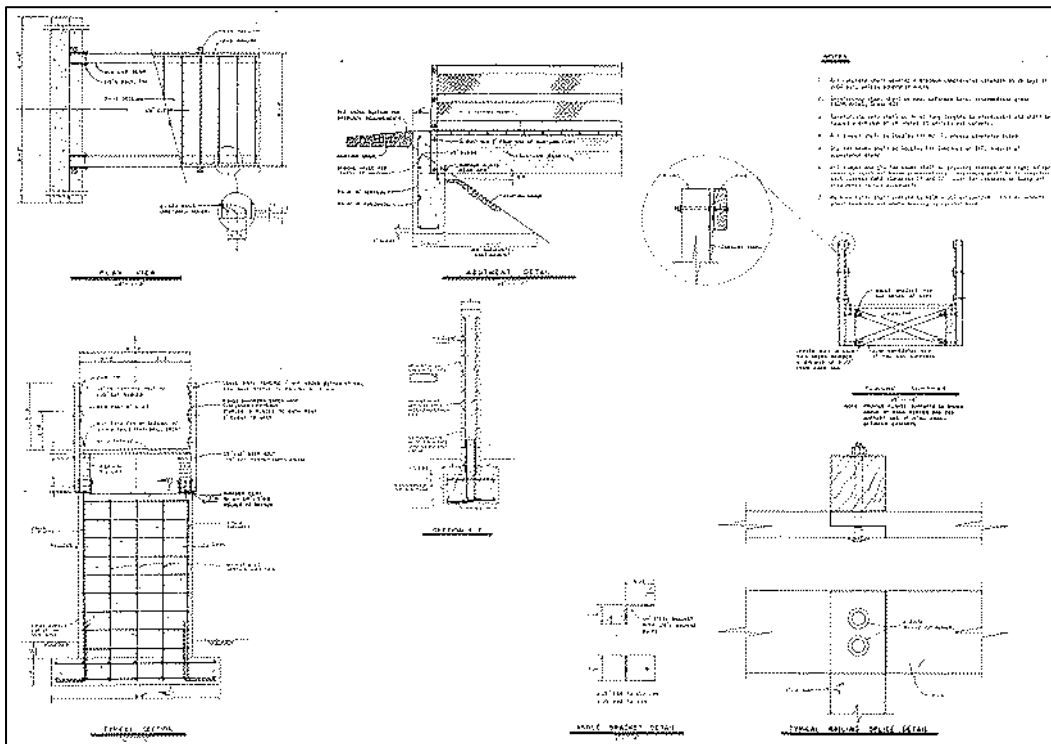


## ***APPENDIX B2 – IMAGES***

1125 Emily Ave., Rohnert Park, CA 94928

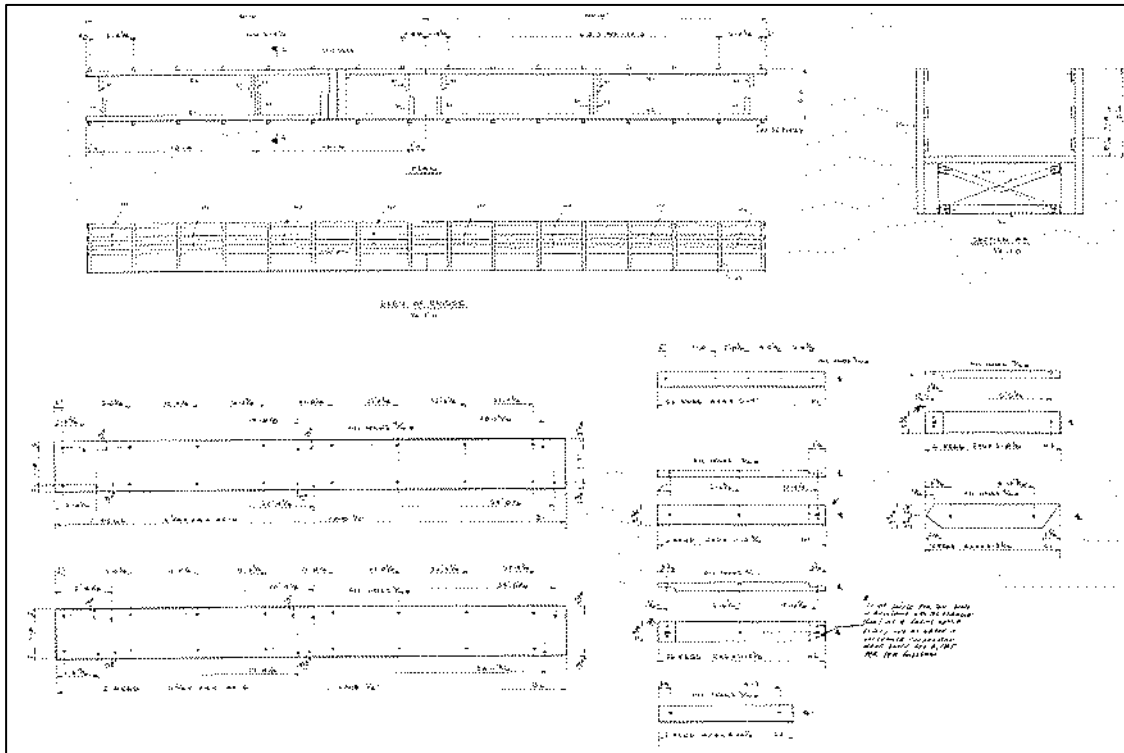


Plan and Elevation Views – Original Construction



Details – Original Construction

1125 Emily Ave., Rohnert Park, CA 94928



Details – Original Construction



Image 1: West Elevation



Image 2: North Elevation



Image 3: East Elevation



Image 4: South Elevation

1125 Emily Ave., Rohnert Park, CA 94928



Image 5: Handrail Joints



Image 6: Handrail Post Connection



Image 7: Handrail Member Joint



Image 8: Bridge End



1125 Emily Ave., Rohnert Park, CA 94928



Image 9: Cracked and Rotted Deck Board



Image 10: Typical Bearing Plate and Anchor Bolt



Image 11: Center Girder Splice



Image 12: Handrail Post Condition

1125 Emily Ave., Rohnert Park, CA 94928



Image 13: Underside of Bridge



Image 14: Lateral Bracing at Center Splice

1125 Emily Ave., Rohnert Park, CA 94928



Image 15: Abutment



Image 16: Center Support

# Coleman Creek at Golis Park

## Detailed Report

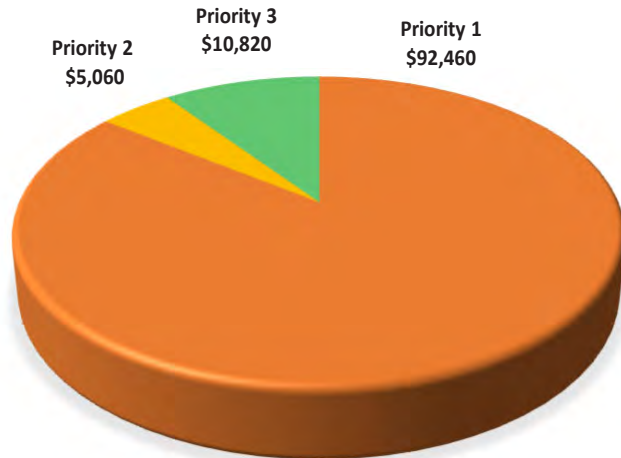
**Address: 1450 Golf Course Drive, Rohnert Park, CA 94928**

### FCA Summary

Capital Renewal Cost: \$99,240  
 Replacement Cost: \$186,000  
 Replacement Cost/SF: \$387

Coleman Creek at Golis Park						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$92,460	\$5,060	\$10,820	\$0	\$0	\$0	\$108,340
85.34%	4.67%	9.99%	0.00%	0.00%	0.00%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**





## Conditions Assessment Report Rohnert Park – Coleman Creek @ Golis Park

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1450 Golf Course Dr.  
Rohnert Park, CA 94928  
ZFA Project: 22148.01

July 1, 2022

*Prepared For:*

Andrew Pascual

Kitchell CEM

2450 Venture Oaks Way, Suite 500

Sacramento, CA 95833

*Prepared By:*

Evan Taylor, Designer

Kevin Zucco, Executive Principal

1212 fourth street  
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santa rosa ca 95404  
707 526 0992

1450 Golf Course Dr., Rohnert Park, CA 94928

## **INTRODUCTION**

A general conditions assessment structural review of the bridge at Coleman Creek crossing at Golis Park, Rohnert Park, CA (see Appendix B1: Location Map and Site Map) was performed as requested by the City of Rohnert Park Public Works Department as part of a city-wide property assessment effort. One site visit was completed on March 29, 2022 to visually review the general condition of the structure; however, no destructive testing or removal of finishes was performed or included in the scope. Non-structural elements such as Mechanical, Electrical, Plumbing, Equipment Anchorage or Architectural elements were not included within the scope of this review.

The following documents were provided for review:

- No original documents were provided for this bridge.

The bridge is approximately 6' x 35' is constructed with of two main glue-laminated (glulam) beams over the span with flat wood decking and concrete abutments. See Appendix B1: Location Map and Site Map.

## **STRUCTURE OVERVIEW**

### General Site Description

The bridge is located at Golis Park where it abuts Coleman Creek in Rohnert Park, CA. The original structure was constructed prior to 1993 as determined via google earth data.

### Structural System and Materials Description

#### *General*

The original structure is an approximate 42" tall wood frame bridge crossing Coleman Creek in the E-W direction at the West side of Golis Park, Rohnert Park. The bridge is placed on cast in place concrete abutments and uses two pressure-treated glulams for gravity load. 4x4 handrail post vertical member spacing is 72" on center. 3x6 pressure treated horizontal handrail/guardrails are connected to posts with ½" diameter bolts and are spaced at 40" on center with a chain link mesh with approximate 1-2" openings spanning between verticals and handrail/guardrails.

#### *Seismic/Wind Force-Resisting System*

The lateral (seismic and wind) force resisting system is straight sheathing decking and weak-axis bending in the glulam beams, which are anchored to the abutments and center support. The glulam beams are laterally braced at 10' intervals via 4x4 "Z" bracing.

#### *Foundations*

The foundation consists of a reinforced concrete abutment (approximately 20" wide x 6' long x unknown depth) supporting each end of the bridge via steel bracket and ½" diameter through bolts. The prefabricated steel brackets connecting the glulam beams are cast in place into concrete supports.

#### *Field Verification and Condition Assessment*

Based on the site visit, the structure does not exhibit immediate signs of danger or collapse. However, several conditions warrant maintenance or attention.

## **FINDINGS AND RECOMMENDATIONS**

1450 Golf Course Dr., Rohnert Park, CA 94928

The bridge was constructed under a previous building code and should not be expected to meet current code requirements. However, the structure likely meets life safety performance criteria. Overall bridge conditions are satisfactory and show only minor deterioration through exposure and wear from regular use. **The overall FCI Grade B: Fair – Facilities will begin to show more signs of wear. More frequent component failure will occur.**

The following structural items were observed during the site visit (see Appendix B2: Images). Items are listed in order of exterior approximately from the top of structure down to the interior separated by level. See the Priority Glossary for each finding and recommendation.

### Bridge 9 Crossing Coleman Creek @ Golis Park:

#### Findings and Recommendations:

- a. GUARDRAIL/HANDRAIL MEMBERS AND POSTS: Guardrail members and posts do not appear to meet well-established code criteria of 50 pounds per linear foot or a 200# point load. Chain link mesh attachments at supports is inconsistent. *See images 8.*
- b. RECOMMENDATION: Redesign guardrail/handrail members and connections to meet current code and replace as needed with preservative treated or exposure resistant species. Provide positive mesh attachments at 12" on center maximum spacing at all supports.  
**PRIORITY: 1 Immediate – Short Term**
- c. BRIDGE GUARDRAIL: ~10% of the guardrail posts and horizontal members show signs of splitting, cracking, or rot at the handrail connections. *See image 10.*  
RECOMMENDATION: Replace deteriorating handrail posts with preservative treated wood or exposure resistant species for exposure and regularly inspect and replace as needed.  
**PRIORITY: 2 Crucial – Short Term**
- d. GLULAM BEAMS: The original construction documents specify wood preservative for the glulam beams  
RECOMMENDATION: As part of standard maintenance, continue regular inspections and retreat all exposed conditions with wood preservative every 5 years or per manufacturer's recommendations in accordance with AWPA standards C1 and C2.  
**PRIORITY: 3 Impending – Short Term**
- e. BEARING PLATES AND ANCHOR BOLTS: In each corner, significant debris buildup was present covering the bearing plates and anchor bolts connecting the bridge to the concrete abutments, resulting in minor rusting occurring on anchoring hardware. *See image 9.*  
RECOMMENDATION: Keep area clear of debris through regular cleaning. Protect exposed steel with all-weather paint as needed.  
**PRIORITY: 3 Impending – Short Term**

### CLOSING

The structural review is based on that which was visible in the field and available original structural drawings. No attempt was made to uncover hidden conditions or perform any destructive or non-destructive testing. The items discussed in this report are subject to revision should more information become available. No structural analysis for loads or capacities was performed under the scope of this review.



1450 Golf Course Dr., Rohnert Park, CA 94928

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We understand you may have questions regarding this evaluation and are available for comment and explanations. Please call with any questions you may have. Thank you for choosing ZFA Structural Engineers to assist you with this building condition assessment.

Kevin Zucco  
Executive Principal  
ZFA Structural Engineers

Evan Taylor  
Designer  
ZFA Structural Engineers

# ***APPENDIX B1 – LOCATION MAP AND SITE MAP***

1450 Golf Course Dr., Rohnert Park, CA 94928



## ***APPENDIX B2 – IMAGES***

1450 Golf Course Dr., Rohnert Park, CA 94928



Image 1: West Elevation



Image 2: North Elevation

1450 Golf Course Dr., Rohnert Park, CA 94928



Image 3: East Elevation



Image 4: South Elevation



Image 5: Handrail Joints



Image 6: Handrail Post Connection

1450 Golf Course Dr., Rohnert Park, CA 94928



Image 7: Guardrail Member Joint



Image 8: Bridge End





Image 9: Typical Bearing Plate and Anchor Bolt



Image 10: Handrail Post Condition

1450 Golf Course Dr., Rohnert Park, CA 94928



Image 11: Underside of Bridge



Image 12: Lateral Bracing

# Laguna De Santa at City Limits

## Detailed Report

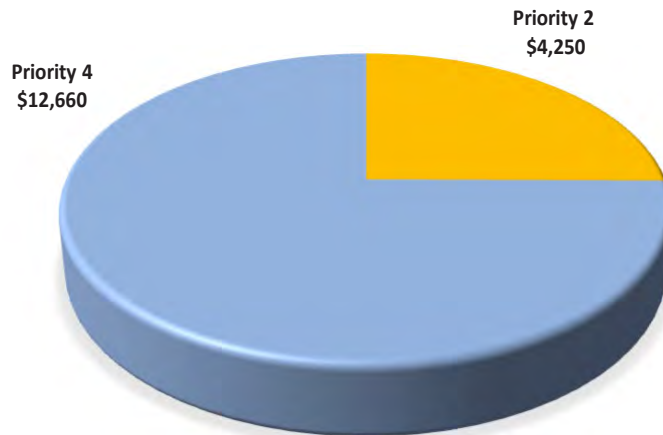
**Address: 7300 Commerce Boulevard, Rohnert Park, CA 94928**

### FCA Summary

Capital Renewal Cost: \$14,050  
 Replacement Cost: \$186,000  
 Replacement Cost/SF: \$387

Laguna De Santa at City Limits						
Capital Renewal Costs by Priority						
Priority 1	Priority 2	Priority 3	Priority 4	Priority 5	Priority 6	Total
8% Escalation	13% Escalation	18% Escalation	23% Escalation	28% Escalation	33% Escalation	
\$0	\$4,250	\$0	\$12,660	\$0	\$0	\$16,910
0.00%	25.13%	0.00%	74.87%	0.00%	0.00%	100%

**CAPITAL RENEWAL COSTS BY PRIORITY CHART**





## Conditions Assessment Report Rohnert Park – Laguna De Santa @ City Limits

---

7300 Commerce Blvd.  
Rohnert Park, CA 94928  
ZFA Project: 22148.01

July 1, 2022

*Prepared For:*

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7300 Commerce Blvd., Rohnert Park, CA 94928

## **INTRODUCTION**

A general conditions assessment structural review of the bridge at Laguna De Santa crossing perpendicular to Commerce Blvd, Rohnert Park, CA (see Appendix B1: Location Map and Site Map) was performed as requested by the City of Rohnert Park Public Works Department as part of due diligence. One site visit was completed on March 29, 2022 to visually review the general condition of the structure; however, no destructive testing or removal of finishes was performed or included in scope. Non-structural elements such as Mechanical, Electrical, Plumbing, Equipment Anchorage or Architectural elements were not included within the scope of this review.

The following documents were provided for review:

- No original documents were provided for this bridge.
- Bridge plaques noting manufacturer information are missing.

The bridge is approximately 6 ft x 32 ft steel frame with wood floorboards supported by concrete abutments. See Appendix B1: Location Map and Site Map.

## **STRUCTURE OVERVIEW**

### General Site Description

The bridge is located crossing perpendicular to Commerce Blvd. where it crosses Laguna De Santa in Rohnert Park, CA. The original structure was constructed prior to 2005 as determined via google earth data.

### Structural System and Materials Description

#### *General*

The original structure is a steel frame bridge crossing Copeland Creek in the E-W direction crossing perpendicular to Commerce Blvd., Rohnert Park. The bridge appears to have been prefabricated in one piece and placed on cast in place concrete abutments. The guardrails serve as trusses spanning between abutments each end for gravity loads. Guardrail vertical member spacing is 52" on center. Guardrail horizontal member spacing is 64" on center.

#### *Seismic Force-Resisting System*

The lateral (seismic and wind) force resisting system is a horizontal steel truss below the deck gravity framing. The horizontal truss spans to and is anchored to the abutments.

#### *Foundations*

The foundation consists of a concrete abutment supporting each end of the bridge. The approximate dimensions are 8' x 30". The bridge structure anchored via (2) cast in place ¾" diameter anchor bolts each end each side through steel plates with expansion slots at one end of the bridge.

#### *Field Verification and Condition Assessment*

Based on the site visit, the structure does not exhibit immediate signs of danger or collapse. However, several conditions warrant maintenance or attention.

## **FINDINGS AND RECOMMENDATIONS**

The bridge was constructed under a previous building code and should not be expected to meet current code requirements. However, the structure likely meets life safety performance criteria. Overall bridge conditions are

7300 Commerce Blvd., Rohnert Park, CA 94928

satisfactory and show only minor deterioration through exposure and wear from regular use. **The overall FCI Grade B: Fair.**

The following structural items were observed during the site visit (see Appendix B2: Images). Items are listed in order of exterior approximately from the top of structure down to the interior separated by level. See the Priority Glossary the Priority Glossary for each finding and recommendation.

### **Bridge 10 Crossing Laguna De Santa @ City Limits:**

#### Findings and Recommendations:

- a. BRIDGE DECK: ~30% of the deck boards show signs of splitting or rot. *See image 9.*  
RECOMMENDATION: Replace deteriorating deck board with preservative treated or exposure resistant species and regularly inspect and replace as needed.  
**PRIORITY: 2 Crucial – Short Term**
  
- b. SURFACE RUSTING: All exposed steel on the structure shows signs of surface rusting. If left, will lead to more degradation over time including pitting and cracking, eventually compromising structural integrity. *See images 5, 6, 12.*  
RECOMMENDATION: Regularly inspect and protect/maintain all exposed steel by removing rust and coating with all-weather paint as needed. Specific attention should be prioritized to welded or bolted connections.  
**PRIORITY: 4 Necessary – Long Term**

### CLOSING

The structural review is based on that which was visible in the field and available original structural drawings. No attempt was made to uncover hidden conditions or perform any destructive or non-destructive testing. The items discussed in this report are subject to revision should more information become available. No structural analysis for loads or capacities was performed under the scope of this review.

We understand you may have questions regarding this evaluation and are available for comment and explanations. Please call with any questions you may have. Thank you for choosing ZFA Structural Engineers to assist you with this building condition assessment.

Kevin Zucco  
Executive Principal  
ZFA Structural Engineers

Evan Taylor  
Designer  
ZFA Structural Engineers

# ***APPENDIX B1 – LOCATION MAP AND SITE MAP***

7300 Commerce Blvd., Rohnert Park, CA 94928





## ***APPENDIX B2 – IMAGES***



Image 1: West Elevation



Image 2: North Elevation



Image 3: East Elevation



Image 4: South Elevation

7300 Commerce Blvd., Rohnert Park, CA 94928



Image 5: Truss Typical Brace/Post Top Connection



Image 6: Typical Handrail Member Weld

7300 Commerce Blvd., Rohnert Park, CA 94928



Image 7: Bridge End



Image 8: Floorboard Patch

7300 Commerce Blvd., Rohnert Park, CA 94928



Image 9: Cracked and Rotted Floorboard



Image 10: Typical Bearing Plate and Anchor Bolt

7300 Commerce Blvd., Rohnert Park, CA 94928



Image 11: Bearing Plate



Image 12: Gravity Purlin Connection

7300 Commerce Blvd., Rohnert Park, CA 94928



Image 13: Underside of Bridge





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