



Accessory Dwelling Units

An Accessory Dwelling Unit or ADU (sometimes called an in-law, secondary, or granny unit) can come in three configurations. Those configurations include a standalone structure detached from the primary dwelling unit (aka detached ADUs) or an addition to the primary dwelling unit (aka attached ADUs) or a conversion of the interior of the primary dwelling unit into two dwelling units (aka internal conversions). ADUs provide complete independent living facilities for one or more persons. It shall include permanent provisions for living, sleeping, cooking, and sanitation, all on the same parcel as an existing single-family dwelling. ADUs are allowed in the City of Rohnert Park with a Certificate of Zoning Compliance and Building Permit.

Planning Application & Review Process

Applicants are encouraged to speak with staff about application requirements prior to submitting the documents for the Certificate of Zoning Compliance. Upon submission, the Planning, Building, and Engineering divisions of the Development Services Department, as well as the Public Safety Department shall all review and provide comments on the proposal. Only after all comments have been adequately addressed will the Certificate of Zoning Compliance be approved. After such approval, the applicant will be able to apply for any required Building Permits. For further information regarding ADUs or other building and land use regulations, please contact City of Rohnert Park Development Services at (707) 588-2236 or visit http://www.rpcity.org/city_hall/departments/development_services.

Planning Dept. Requirements

- 1) Prior to submittal, applicants should review Municipal Code Sections 17.10.060 and 17.07.020.X.
- 2) The ADU must be architecturally compatible with the main unit, comply with the City's adopted design guidelines, and have independent exterior access.
- 3) Floor area for an attached ADU may not exceed 50% of the floor area of the main unit. Floor area for a detached ADU may not exceed 1,200 square feet (subject to Floor Area Ratio (F.A.R.) and lot coverage limitations).
- 4) ADUs must comply with the setback, F.A.R., and lot coverage requirements found in the Development Standards (Municipal Code Section 17.10.020). For detached ADUs the maximum height is 12 feet, the rear setback is 10 feet and the side setback is 5 feet. If the ADU is considered attached (either physically attached or located within 5 feet of the main structure), then the development standards for the main structure shall apply.
- 5) One additional off-street parking space is required for ADUs (except internal conversions), however this requirement is waived if within 1/2 mile of a bus or rail stop.
- 6) An attached garage cannot be converted into an ADU.
- 7) Detached ADUs may only be built behind the front elevation of the main structure.
- 8) For all ADUs, the property owner must file a deed restriction stating:
 - a. the ADU will not be sold separately,
 - b. the ADU is restricted to the approved size (unless separately approved), and
 - c. one of the units (either primary or the new ADU) must remain owner occupied.
- 9) ADUs are not considered new residential uses for the purposes of calculating service connection fees or capacity charges for utilities.
- 10) Certificate of Zoning Compliance applications will be considered ministerially within 120 days of receiving a complete application.
- 11) After Planning approval, the owner must apply for an address assignment for the ADU.

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Building Dept. Requirements

- 1) All ADUs must have an egress entry/exit.
- 2) Attached ADUs or internal conversions shall maintain fire-resistant construction standards as required by the California Residential Code (CRC) Section 302.3-302.14. Detached ADUs shall maintain fire-resistant construction standards as required by the CRC Section 302.1.
- 3) Attached ADUs or internal conversions require smoke & carbon monoxide alarms be installed in accordance with NFPA 72 and 720, for both the primary and accessory dwelling unit. Detached ADUs require smoke & carbon monoxide alarms be installed in accordance with NFPA 72 and 720, only within the ADU.
- 4) Attached ADUs or internal conversions require water-conserving plumbing fixtures be installed in accordance California State Law (Section 1101.1-1101.8 Civil Code), for both the primary and accessory dwelling unit. Detached ADUs require water-conserving plumbing fixtures be installed in accordance California State Law (Section 1101.1-1101.8 Civil Code), only within the ADU.
- 5) Internal conversions may utilize the primary dwelling unit's existing utility connections for electric, water, sewer and gas. Detached and attached ADUs can utilize existing gas and electric service equipment if the existing equipment is sized to accommodate servicing the primary and accessory dwelling unit. Otherwise the existing utility connections are required to be upgraded or have a second utility connection added (if allowed by the service provider). In addition all main electrical service panels manufactured by Federal Pacific or Zinsco are required to be replaced. New metering is required if utilities will be billed to the ADU separately from the primary structure. Utility connections for water and sewer are detailed in Engineering Department Requirements below.

Engineering Dept. Requirements

- 1) Detached and attached ADUs require the installation of a new water line lateral and water meter. During design, please review the City of Rohnert Park's water meter handout for required configuration. An encroachment permit will be required when completing this work.
- 2) Detached and attached ADUs require the installation of additional sewer cleanouts on the existing sewer lateral to services the newly added ADUs. The new sewer line from the ADUs should tie into the existing sewer lateral before it enters the structure. An encroachment permit may be required if modifications to the sewer lateral are located within the public right of way.
- 3) When submitting for an ADU building permit, all utility connection locations must be illustrated on the plans. This includes showing the existing water lateral and sewer lateral route and sizes to the existing home. Also, show the proposed new water and sewer line routing and sizing to the ADU.

Public Safety Requirements

- 1) Automatic residential fire sprinkler systems may be required if the thresholds or standards outlined the [California State Fire Marshal's Information Bulletin 17-001](#) are exceeded.

Submittal Requirements

Planning: The following are required for a complete ADU (Certificate of Zoning Compliance) application.

Document Format: Provide 11x17 paper copies and a digital copy (PDF or flash drive is acceptable) of the application package.

Application Form: (1 copy) Completed Zoning and Land Use Application. Property owner signatures must be included.

Plot Plan: (5 copies) Scale drawing showing site dimensions, property lines, setbacks, existing and proposed buildings or additions, parking, and driveways.

Elevations: (5 copies) Scale drawing showing all four sides of all proposed buildings, with types of materials and color schemes shown. (1 copy must be colored).

Floor Plan: (5 copies) Scale layout drawing of existing and proposed floor space including uses.

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Building: The following items are required for a complete building permit application.

Document Format: Please provide 24x36 paper copies.

Building Plans: (7 copies) Scale drawings showing:

General Information / Building Analysis

Site Plan

Architectural Plans

Structural Plans

Floor / Wall / Ceiling / Roof framing plans (including truss layout)

Exterior Elevations

Details / Specifications (architectural/structural)

Mechanical Plans

Electrical Plans

Plumbing Plans

Structural Calculations: (2 copies) If applicable need to be stamped and signed by California licensed architect or registered engineer (designer). Submitted as a separate 8.5" x 11" document.

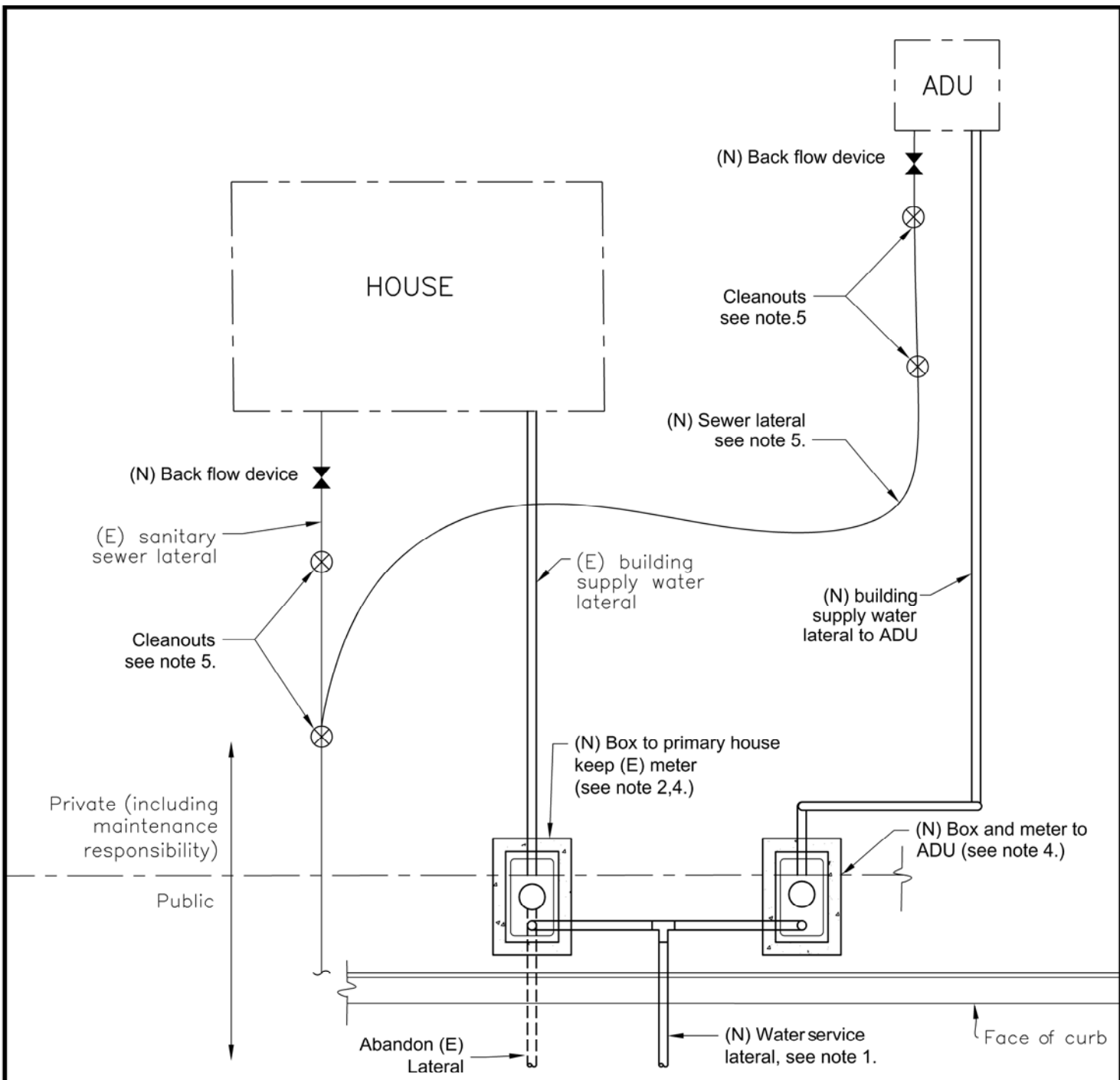
Truss Package: (2 copies) If applicable need to be stamped and signed by the designer. Submitted as a separate 8.5" x 11" document.

CALGreen Checklist: (1 copy) If applicable need to be must be printed on the plans and submitted as a separate 8.5" x 11" document. They must also be signed by designer and/or owner.

Energy Code Documentation: (1 copy) If applicable need to be must be printed on the plans and submitted as a separate 8.5" x 11" document.

Special Inspection Form: (2 copies) If applicable need to be filled out by the designer as a separate 8.5" x 11" documents. They must also be signed by designer.

Geotechnical Report: (1 copy) If applicable need to be stamped by a Geotechnical Engineer. Internal conversions do not require geotechnical reports. Attached and detached ADUs do not require geotechnical reports if under 500 sq ft and utilize the same type of foundation as the existing primary dwelling.



PLAN VIEW

NOTES:

1. Upsize (E) water service lateral to 1-1/2" min. or as specified by City Engineer.
2. Connect (N) water service lateral to primary house's (E) meter and to (N) water meter for ADU per City Std 863a.
3. Connect (N) meter, to ADU with (N) building supply water lateral per City Standard 863a.
4. All meter boxes must be equivalent to Christy B30 box with FL30D cover.
5. All sanitary sewer components on private property must conform to current Building Code requirements.

CITY OF ROHNERT PARK	
ADU NEW WATER SERVICE WITH EXISTING LATERAL LESS THAN 1 1/2"	
SCALE: NONE	DATE: JULY 2017
Approved:	ADU CASE 2

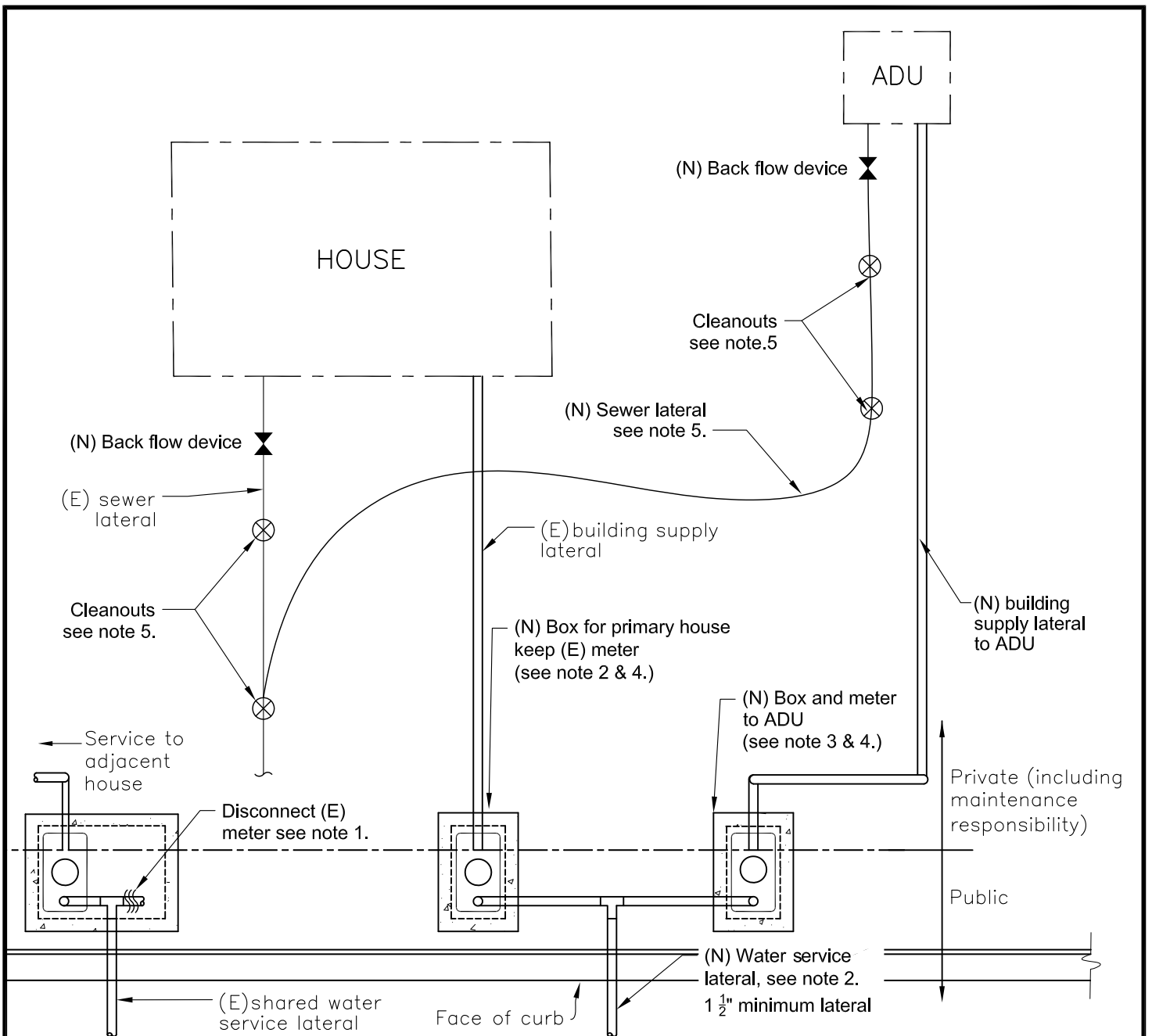


FIGURE 1
PLAN VIEW

NOTES

1. Disconnect & relocate meter serving primary house from dual meter box, and (E) shared water service lateral. Coordination with Public Works to shut off service is required (see Figure 1A)
2. Reconnect (E) meter & (N) box to primary building water supply. Connect (E) meter & ADU's (N) meter to (N) water service lateral.
3. Connect (N) meter, to ADU with (N) building supply lateral per City Standard 863a
4. Meter boxes must be equivalent to ChristyB30 box & FL30D cover.
5. All sanitary sewer components on private property must conform to current Building Code Requirements.

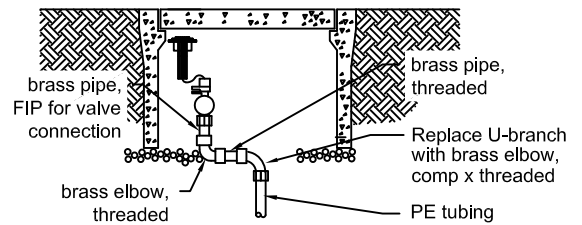


FIGURE 1A

CITY OF ROHNERT PARK

ADU NEW WATER SERVICE FOR EXISTING SHARED METER BOX & LATERAL

SCALE: NONE DATE: JUNE 2017

Approved: _____ ADU CASE 1



CITY OF ROHNERT PARK

Application for Address Assignment

To: City of Rohnert Park Planning Division

Date of Request _____

Project Title: _____

Planning/Building Project Address _____

From: _____

(Contact Person for Project)

Phone No. _____

Subdivision Name/Tract No. (Required if Applicable) _____

Assessor's Parcel Number: _____

Attached is:

_____ One (1) 8 1/2 x 11 site plan showing lot layout and adjacent frontage. Also included are the building(s) footprint as well as **all** possible tenant spaces. (If a specific address or bank of addresses is desirable, please attach your preference on a separate sheet. The request will be evaluated based on current assignments in that area.

Please note: All new tenant spaces will receive an individual address as opposed to a suite letter. For existing buildings, tenant spaces will be addressed according to past practice in that area. Separate addresses are not provided for residential secondary dwelling units. The original numerical address identification will remain with the primary residence. The second unit will be identified as the numerical plus the letter A.

-Office Use Only-

File/Permit No.: _____

Proposed Address(s) Assignment (see also attached schematic) _____

Routed by: _____ Date: _____

Routed to: _____ Pacific Gas and Electric _____ Cotati-Rohnert Park Unified School District
_____ Sonoma County Assessor _____ United States Post Office
_____ City of Rohnert Park Public Safety _____ City of Rohnert Park Engineering Division
_____ City of Rohnert Park Building Division

Please review and provide comments, alternate recommendation or approval by _____

RECORDED AT REQUEST OF
CITY OF ROHNERT PARK

WHEN RECORDED RETURN TO:

City of Rohnert Park-Development Services Department, Attn: Planning
130 Avram Avenue
Rohnert Park, CA 94928

DECLARATION OF RESTRICTIONS OF OCCUPANCY

Declarant(s) _____ and _____ is/are the fee title owner(s) of the property at _____, Rohnert Park (“the Property”) also identified as Sonoma County Assessor’s Parcel No. _____ . The Property is described in the deed to Declarant recorded as Document No. _____ in the Office of the Sonoma County Recorder.

RECITALS

- A. Declarant has requested a permit to construct an Accessory Dwelling Unit (ADU), as defined in the City of Rohnert Park Zoning Code, on the Property.
- B. The purpose of this Declaration is to set forth as restrictions on the Property, and as covenants running with the land, those conditions which relate to the uses of the two or more dwelling units on the Property.

NOW, THEREFORE, based on the foregoing, Declarant agrees as follows:

- 1. The ADU on the Property shall not be sold separately from the principal residence on the property.
- 2. The increased floor area of an ADU attached to the primary dwelling unit shall not exceed 50 percent of the existing living area of the primary dwelling unit, with a maximum increase in floor area of 1200 square feet. The total area of floor-space for an ADU detached from the primary dwelling unit shall not exceed 1200 square feet.
- 3. The owner, or one of the owners, of the fee title of the Property shall occupy the primary dwelling unit as their principal residence. In the event the Declarant does not live in the primary dwelling, the Declarant agrees that the ADU shall at all times remain vacant and unused until such time as the Property is transferred to an owner who complies with the first sentence of this paragraph 3.
- 4. These restrictions shall run with the land and are binding upon the heirs, assigns, and successors in interest to the Property.

5. A violation of the restrictions set forth in paragraphs 1 through 4, or any one of them, shall void the approval of the ADU and is a sufficient basis to warrant legal action against the responsible owner by the City of Rohnert Park.

Dated: _____ By: _____

Dated: _____ By: _____

Attach Notary Certificates (Acknowledgements)

APPROVED:

Dated: _____ By: _____

Planning Manger
City of Rohnert Park, California